

Hunter's Ridge Specific Plan Amendments Added

Specific Plan Regulations	Resolution #88-45	March 1 st 1988
Specific Plan Regulations	Ordinance 908	March 15 th 1988
Amendment #1	Ordinance 1075	April 20 th 1993
Amendment #2	Ordinance 1123	August 16 th 1994
Amendment #3	Ordinance 1158	June 20 th 1995
Amendment #4	Ordinance 1170	December 19 th 1995
Amendment #5	Ordinance 1218	May 20 th 1997
Amendment #6	City Council Minutes	April 7 th 1998
Amendment #7	Ordinance 1286	May 18 th 1999
Amendment #8	Ordinance 1306	November 2 nd 1999
Amendment #9	Ordinance 1340	January 16 th 2001
Amendment #10	Resolution #2001-16	March 20 th 2001
Amendment #11	Ordinance 1346	February 5 th 2002
Amendment #12	Ordinance 1373	April 16 th 2002

3/1/88

RESOLUTION NO. 88-45

A RESOLUTION OF THE CITY COUNCIL OF THE CITY
OF FONTANA APPROVING THE HUNTER'S RIDGE
SPECIFIC PLAN NO. 10 AND CERTIFYING ENVIR-
ONMENTAL IMPACT REPORT NO. 88-1.

WHEREAS, the City Planning commission has conducted the necessary public hearing and recommended to the City Council that they certify the EIR, approve the attached Hunter's Ridge Specific Plan; and

WHEREAS, the City Council of the City of Fontana has conducted a public hearing on the proposed Hunter's Ridge Specific Plan; and

WHEREAS, the related General Plan Amendment has been prepared for the City Council adoption; and

WHEREAS, the City Council is desirous of promoting appropriate new development with high quality standards and served by adequate public facilities.

NOW, THEREFORE, BE IT RESOLVED, that the Fontana City Council:

Section 1. Hereby certifies that it has read and considered the attached Environmental Impact Report and that said document has been prepared in accordance with the California Environmental Quality Act.

Section 2. Hereby authorizes and directs the Planning Department staff to file a Notice of Determination with the County Clerk of the County of San Bernardino.

Section 3. Hereby adopts the Statement of Overriding Considerations as attached.

Section 4. Hereby adopts the Project Plan Findings as attached.

Section 5. Hereby resolves to adopt Ordinance No. 908 effectuating the Hunter's Ridge Specific Plan subject to all the conditions as included in the ordinance.

APPROVED AND ADOPTED this 1st day of March, 1988.

Nathan A. Simon
Mayor of the City of Fontana

ATTEST:

Patricia M. Murray
City Clerk of the City of Fontana

I, Patricia M. Murray, City Clerk of the City of Fontana and ex-Officio Clerk of the City Council, do hereby certify that the foregoing resolution was duly and regularly adopted by the City Council of the City of Fontana at a regular meeting thereof held on the 1st day of March, 1988.

3/15/88

ORDINANCE NO. 908

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY
OF FONTANA ADOPTING THE HUNTER'S RIDGE
SPECIFIC PLAN NO. 10

WHEREAS, the City Council has duly noticed and conducted a public hearing concerning the proposed adoption of the Hunter's Ridge Specific Plan and has considered written submissions and testimony with regard thereof; and

WHEREAS, the City Council has duly noticed and conducted a public hearing concerning the proposed adoption of an "Environmental Impact Report" pertaining to the Hunter's Ridge Specific Plan and has considered written submissions and testimony with regard thereto; and

WHEREAS, the Planning Commission has heretofore conducted a public hearing concerning the proposed adoption of the Hunter's Ridge Specific Plan and has recommended to the City Council that the City Council approve said Specific Plan No. 10 and General Plan Amendment No. 87-4; and

WHEREAS, the City Council has previously adopted Resolution No. 88-45 approving the above-mentioned Specific Plan and Environmental Impact Report.

NOW THEREFORE, THE CITY COUNCIL OF THE CITY OF FONTANA, CALIFORNIA, HEREBY ORDAINS AS FOLLOWS:

Section 1. The City Council finds and determines that the proposed Hunter's Ridge Specific Plan is consistent with the terms and conditions of the General Plan of the City of Fontana as amended in Amendment No. 87-4. The City Council further finds and determines that the adoption of said Specific Plan is consistent with and will further the public health, safety and welfare in that it sets forth development requirements and design standards which will ensure the orderly and planned development of the area subject to the Specific Plan.

Section 2. The City Council hereby approves and adopts as attached the Hunter's Ridge Specific Plan as set forth and incorporated herein by reference and subject to the attached conditions recommended by the Planning Commission.

Section 3. That the City Council directs that the provisions of the Hunter's Ridge Specific Plan shall not be in force and in effect until the following two actions have been completed:

- a. That General Plan Amendment No. 87-4 shall be adopted by the City Council after it conducts the necessary public hearing.

AN ORDINANCE OF THE CITY OF FONTANA AMENDING THE
 HUNTER'S RIDGE SPECIFIC PLAN REGARDING PERMITTED
 USES WITHIN PLANNING UNIT AREA 4 PARK SITE.

THE CITY COUNCIL OF THE CITY OF FONTANA DOES ORDAIN AS FOLLOWS:

SECTION 1. Chapter II of the Hunter's Ridge Specific Plan is hereby amended by adding Section C, Site Development Standards, Subsection General Provisions Matrix, Article A, to read as follows:

GENERAL PROVISIONS MATRIX

A. Park Site (PUA 4) shall include the following:

1. 36 ea. Parking lot spaces
2. 2 ea. Sand volleyball courts (trees to shade area)
3. 4 ea. Lighted tennis courts
4. 25 ea. Picnic tables grouped in 5 ea. per area (equal to Robbins Forecast, P.O. Box 2225, Irwindale, CA) with trees heavily grouped for shading
5. 1 ea. 8' concrete fitness trail around perimeter of park
6. ? ea. Security lighting as required by Police Department equal to Lumi Dyne - L-1520,250 HPS
7. 1 ea. Playground equipment equal to Miracle Playground Structure, Walt Rankin and Associates, P.O. Box 2156, La Mesa CA 92041
8. 6 ea. Grills, pedestal mount, waist high, single site grill, stationary hot drip galvanized equal to Iron Mountain Forge Metal #200
9. 1 ea. Block restroom
10. 2 ea. Drinking fountains equal to Haws Model 3380
11. 4 ea. Trash receptacles equal to Robbins Precast
12. 4 ea. Benches equal to Iron Mountain Forge #338-6GR
13. 2 ea. Bike racks equal to Miracle #175 single sided bike racks
14. 1 ea. "Park Sign" concrete graffiti proofed covered
15. 1 ea. Unattended telephone equipment building

At this time the City Council moved to Item 14C.

Management Services Director, Loron Cox gave the staff presentation.

Council Member Eshleman stated he does participate in the Southern California Auto Auction and questioned if there would be a conflict of interest.

Based upon the information provided to the City Attorney from Council Member Eshleman, the City Attorney stated he did not believe there was a material financial effect and therefore Council Member Eshleman was permitted to participate in the discussion.

Council Member Roberts indicated several of the speakers addressed the fact that the Auto Auction acts merely as a broker and does not hold ownership to the vehicle. He questioned the City Attorney's opinion regarding this point.

The City Attorney indicated this was one way of addressing the fee, however he referred to Page 13, in which four cities indicate that their method of taxation is based on gross receipts.

Mayor Boyles stated the \$2.00 tax is per vehicle and not overall. He questioned why the fee could not be passed to the buyer.

Mr. Mowers, General Manager SCAA indicated the fee being imposed is not a fair amount and would cause their business to go to the other cities which do not impose such a fee. Mr. Mower indicated this was not the proper forum to discuss this issue and he requested the opportunity to further address the issues with staff in more detail.

ACTION: Motion was made by Council Member Eshleman, seconded by Council Member Coleman directing staff to negotiate the business license fee structure with the Southern California Auto Auction and come to a fair resolution within 60 days or less.
Motion carried by a vote of 5-0.

14C DIRECT
STAFF NEGOT
W/SCAA COME
BACK WITHIN
60 DAYS
MO 93-147

Mayor Boyles called a recess at 8:52 p.m. The meeting reconvened at 9:08 p.m.

Public hearing was opened on Amendment No. 1 to the Hunter's Ridge Specific Plan.

11A(1) ADPT
NEG DEC
HUNTER'S RID
AMEND 1
MO 93-148

No written communication was received.
Associate Planner, Dennis Woods gave the staff presentation.

No one spoke in favor or opposition.
Public hearing was closed.

(2)WAIVE
READ ORD
1075 AMEND
1 HUNTERS
RIDGE/GTE

Mayor Boyles requested in the future that the amendment be specifically spelled out.

#2

8/16/94

ORDINANCE NO. 1123

AN ORDINANCE OF THE CITY OF FONTANA APPROVING SPECIFIC PLAN AMENDMENT #93-01, R-1 (HUNTER'S RIDGE SPECIFIC PLAN AMENDMENT NO. 2) AMENDING THE HUNTER'S RIDGE SPECIFIC PLAN REGARDING REALIGNMENT OF BICYCLE TRAILS, RELOCATION OF THE ELEMENTARY SCHOOL SITE, CHANGE IN THE PHASING PLAN, DELETION OF CUSTOMIZED STREET NAME AND STOP SIGNS, RELOCATION OF RESERVOIR SITE, AND CLARIFICATION OF STANDARDS.

THE CITY COUNCIL OF THE CITY OF FONTANA DOES ORDAIN AS FOLLOWS:

SECTION 1. Hunter's Ridge Specific Plan is hereby amended pursuant to the Attachment in which items identified with strike overs will be removed, and items bolded will be added.

SECTION 2. This ordinance shall take effect thirty (30) days after the date of the adoption and prior to the expiration of fifteen (15) days from passage thereof, shall be published by the City Clerk at least once in a local newspaper of general circulation, published and circulated in the City of Fontana, and thenceforth and thereafter the same shall be in full force and effect.

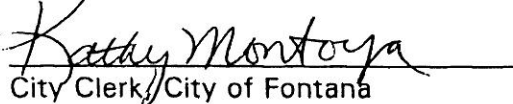
APPROVED AND ADOPTED this 16th day of ~~August~~ , 1994.

APPROVED AS TO LEGAL FORM:


City Attorney

I, Kathy Montoya, City Clerk of the City of Fontana and Ex-Officio Clerk of the City Council, do hereby certify that the foregoing Ordinance is the actual Ordinance introduced at the regular meeting of said City Council of the 2nd day of August, 1994, was finally passed and adopted not less than five (5) days thereafter on the 16th day of August, 1994, by the following vote:

AYES: Mayor Pro Tem Eshleman, Council Members Coleman, Roberts and Watson
NOES: None
ABSENT: Mayor Boyles


City Clerk, City of Fontana


Mayor Pro Tem of the City of Fontana

ATTEST:


City Clerk

AN ORDINANCE OF THE CITY OF FONTANA APPROVING SPECIFIC PLAN AMENDMENT #95-02 (HUNTER'S RIDGE SPECIFIC PLAN AMENDMENT NO. 3) AMENDING THE HUNTER'S RIDGE SPECIFIC PLAN REGARDING AGGREGATE SIDE YARD SETBACKS, PATIO COVERS, AND SIDEWALK WIDTHS.

THE CITY COUNCIL OF THE CITY OF FONTANA DOES ORDAIN AS FOLLOWS:

SECTION 1. Hunter's Ridge Specific Plan is hereby amended pursuant to the Attachment in which items identified with strikeouts will be removed, and items bolded will be added.

SECTION 2. This ordinance shall take effect thirty (30) days after the date of the adoption and prior to the expiration of fifteen (15) days from passage thereof, shall be published by the City Clerk at least once in a local newspaper of general circulation, published and circulated in the City of Fontana, and thenceforth and thereafter the same shall be in full force and effect.

APPROVED AND ADOPTED this 20th day of June, 1995.

APPROVED AS TO LEGAL FORM:

Stephen P. Deutsch
City Attorney

I, Kathy Montoya, City Clerk of the City of Fontana and Ex-Officio Clerk of the City Council, do hereby certify that the foregoing Ordinance is the actual Ordinance introduced at the regular meeting of said City Council of the 6th day of June, 1995, was finally passed and adopted not less than five (5) days thereafter on the 20th day of June, 1995, by the following vote:

AYES: Mayor Eshleman, Council Members Coleman, Hooper, Roberts, Watson

NOES: None

ABSENT: None

Kathy Montoya
City Clerk, City of Fontana

David R. Eshleman
Mayor of the City of Fontana

ATTEST:

Kathy Montoya
City Clerk

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF FONTANA APPROVING HUNTER'S RIDGE SPECIFIC PLAN AMENDMENT #4 AND HUNTER'S RIDGE DEVELOPMENT AGREEMENT #2 AMENDING THE HUNTER'S RIDGE SPECIFIC PLAN AND THE HUNTER'S RIDGE DEVELOPMENT AGREEMENT

THE CITY COUNCIL OF THE CITY OF FONTANA DOES ORDAIN AS FOLLOWS:

WHEREAS, the Planning Commission of the City of Fontana, at a meeting duly noticed and conducted on November 27, 1995, considered the Addendum to the Hunter's Ridge EIR, Hunter's Ridge Specific Plan Amendment #4, and Hunter's Ridge Development Agreement #2, to amend the Hunter's Ridge Specific Plan and the Hunter's Ridge Development Agreement and adopted a resolution recommending approval to the City Council of Hunter's Ridge Specific Plan Amendment #4 and Hunter's Ridge Development Agreement Amendment #2; and

WHEREAS, notice of the City Council public hearing concerning the subject project was given pursuant to the Government Code by publication in the Herald News, a newspaper of general circulation within the City on November 16, 1995; and

WHEREAS, all of the notices required by statute or the City Municipal Code have been given as required; and

WHEREAS, the City Council has found that the Hunter's Ridge Specific Plan Amendment #4 conforms with the Fontana General Plan;

WHEREAS, the City Council hereby finds that Hunter's Ridge Development Agreement Amendment #2 conforms with the Hunter's Ridge Specific Plan (as amended) and Fontana General Plan.

NOW, THEREFORE, the City Council of the City of Fontana does ordain as follows:

Section 1. The City Council hereby finds and determines that all appropriate actions required pursuant to the California Environmental Quality Act and the City's environmental guidelines pursuant to State CEQA Guidelines Section 15164 have been taken. The City Council has determined that Amendment #4 will result in minor changes to the Specific Plan and EIR and therefore does not trigger the preparation of a subsequent or supplemental EIR pursuant to State Guidelines Section 15162.

Section 2. The City Council hereby approves and adopts the Hunter's Ridge Specific Plan Amendment #4 and Hunter's Ridge Development Agreement #2 as on the Attachment.

AN ORDINANCE OF THE CITY OF FONTANA APPROVING HUNTER'S RIDGE SPECIFIC PLAN AMENDMENT #5 (SPA #96-02) AND DEVELOPMENT AGREEMENT AMENDMENT #3 TO MODIFY THE LANGUAGE WITHIN THE SPECIFIC PLAN AND DEVELOPMENT AGREEMENT TEXT FOR THE CONSTRUCTION OF COYOTE CANYON ROAD. THE SPECIFIC PLAN AMENDMENT ALSO INCLUDES NEW SPECIFIC PLAN TEXT TO ALLOW METAL PATIO COVERS THAT HAVE THE APPEARANCE OF WOOD STRUCTURES

THE CITY COUNCIL OF THE CITY OF FONTANA DOES ORDAIN AS FOLLOWS:

WHEREAS, the City Council has received public testimony on the project and on the environmental analysis and determines that the amendments will not have a significant effect on the environment and a Negative Declaration and State of California Department of Fish and Game De Minimis Impact Finding is recommended for this project per the Local Guidelines for Implementing the California Environmental Quality Act.

WHEREAS, the Planning Commission of the City of Fontana, at a meeting duly noticed and conducted on April 28, 1997, considered Hunter's Ridge Specific Plan Amendment #5 (SPA #96-02) and Development Agreement Amendment #3; and

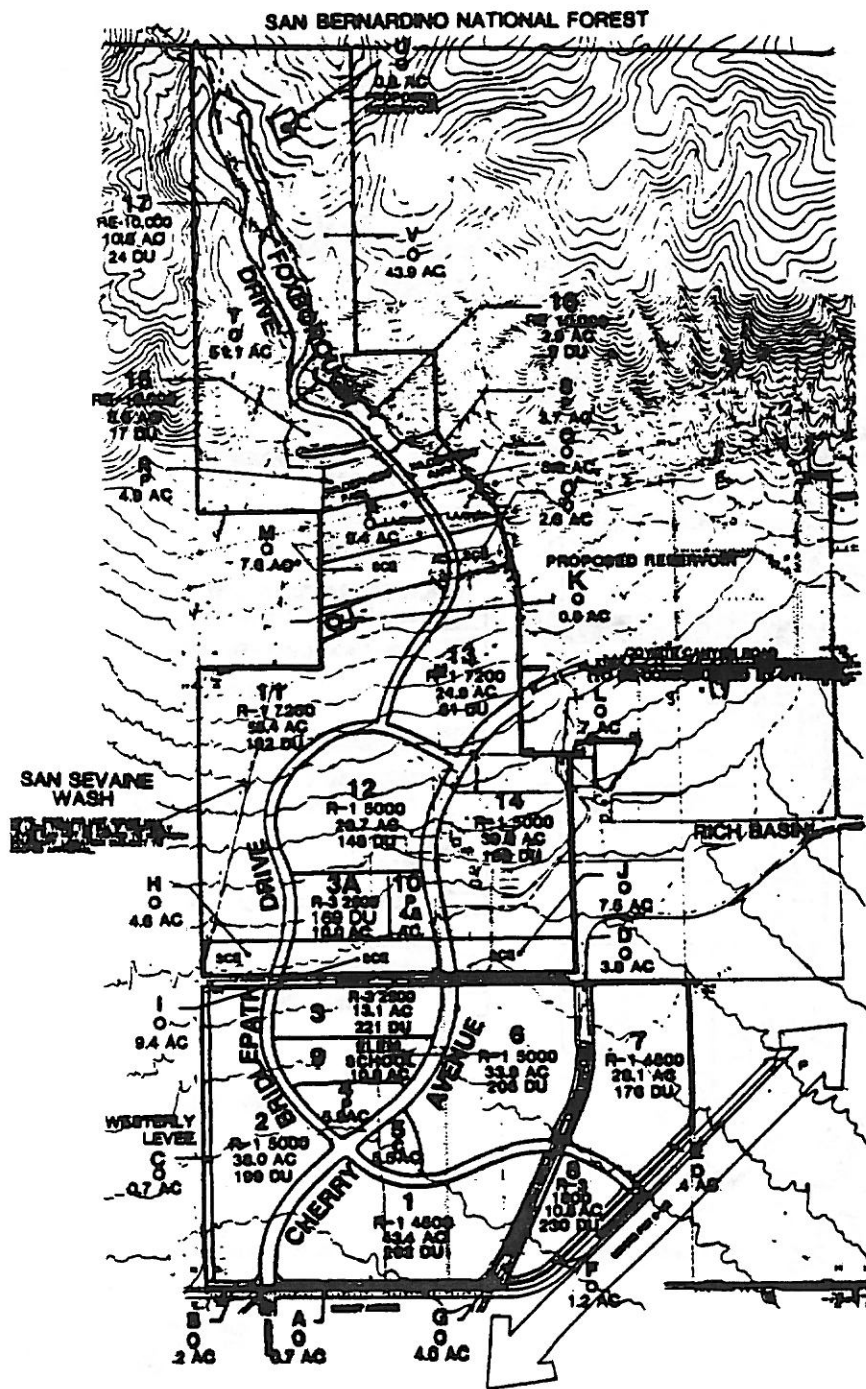
WHEREAS, the Planning Commission on April 28, 1997, recommended to the City Council that Hunter's Ridge Specific Plan Amendment #5 (SPA #96-02) and Development Agreement Amendment #3 be approved; and

WHEREAS, notice of the City Council public hearing concerning the Amendments were given pursuant to the Government Code by publication in the Herald News, a newspaper of general circulation within the City, on April 10, 1997; and

NOW, THEREFORE, be it resolved, determined, and ordered by the City Council of the City of Fontana, as follows:

SECTION 1. Find that the project will not have a significant effect on the environment, adopt the Negative Declaration and State of California Department of Fish and Game De Minimis Impact Finding, and direct staff to prepare and file a Notice of Determination.

SECTION 2. The Hunter's Ridge Specific Plan and Development Agreement is hereby amended to read as per the attached **Exhibit A:**



Land Use

LEGEND

RESIDENTIAL	# OF DU	NE AC
ESTATE RESIDENTIAL		
RE-10000	50	1
SINGLE FAMILY RESIDENTIAL		
R1-7200	273	8
R1-5000	740	13
R1-4500	438	7
MULTI FAMILY RESIDENTIAL		
R3-2500 (TOWNHOUSE)	390	2
R3-1800 (APARTMENTS)	230	1
SUB-TOTAL	2,121	34
NON-RESIDENTIAL		
COMMERCIAL (C)		
NEIGHBORHOOD COMMERCIAL		
PUBLIC (P)		
PARK		
ELEMENTARY SCHOOL		
OPEN (O)		
IMPROVED		
UNIMPROVED		
STREET		
PUBLIC		
SUB-TOTAL		
TOTAL		51

PLANNING UNIT AREA DATA
 1 — PLANNING UNIT
 AREA NUMBER/LET
 R1 4500—ZONING DISTRICT
 43.4 AC—NET ACRES
 282 DU—MAXIMUM PERMITTED DWELLING UNITS

NUMBERS 1 THROUGH 16 FOR SALE PLANS
 LETTERS A THROUGH W FOR RESIDENTIAL OR SALE PLANS

Hunter's Ridge

A SPECIFIC PLAN PREPARED FOR THE CITY OF FONTANA

REFERENCES FOR BASE INFORMATION
 * A.L.T.A. SURVEY BY ROBERT, DEAN & FROST JULY 10, 1988
 * J.P. KAPP & ASSOCIATES, INC.



EXHIBIT I-2

PROPOSED

AMENDED 12/19/95
 CITY COUNCIL ORD. NO. 1170
 AMENDED 8/2/94
 CITY COUNCIL ORD. NO. 1123

GENERAL PROVISIONS MATRIX
(Continued)

Provision

Applicable To

R C P O

19. Outside Use Areas

X X X

Outside use or display in conjunction with a permitted use is allowed under a conditional permit. Such areas are included in coverage and floor area limitations. Such areas shall be designed and maintained to blend with the overall development and, where necessary, be screened from adjacent residential uses and roadways. Outside use areas shall not be overflow storage facilities. Outside display shall be allowed only during business hours. Limited time "Parking Lot" sales may be permitted by special provision in the conditional permit setting forth frequency; duration; extent; means of accommodating vehicular and pedestrian traffic; and security provisions.

20. Patios

X

Open patio covers shall be permitted within the rear yard setback area for all single-family detached residential units. Open patio covers may encroach into the required rear yards to a depth from the rear property line as follows:

4,500 sq. ft. lots: Five (5) feet*

5,000 sq. ft. lots: Five (5) feet*

7,200 sq. ft. lots: Refer to City's Development Code

10,000 sq. ft. lots: Refer to City's Development Code

* Note: Patio covers can not exceed more than 50% of lot width. Patio covers shall be constructed with support posts only and shall not have any walls (solid, transparent, translucent, lattice or otherwise).

All open patio covers shall be architecturally compatible with residential units and shall be constructed of wood or other similar materials (i.e., open lattice). No plastic or metal patio covers shall be permitted. Only metal patio covers with a clear and distinct wood appearance (this includes wood grain and a thickness to the metal to simulate a standard wooden lattice patio) shall be permitted; all other types of metal patio covers are not permitted.

The standards herein for open patio covers are not applicable to enclosed patio covers or additions (refer to City's Development Code).

R C P O

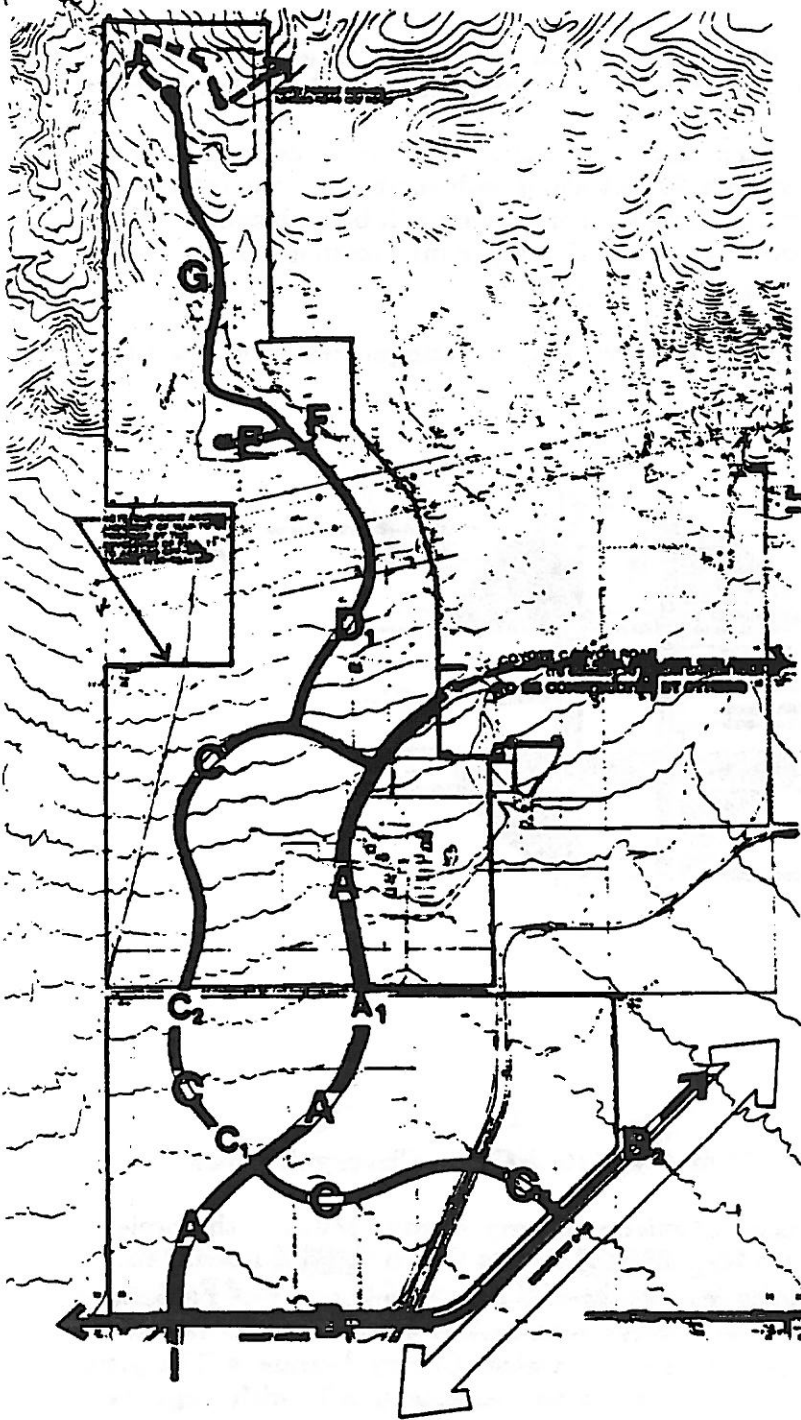
II-50

Amended 6/20/95
City Council Ord. No. 1158

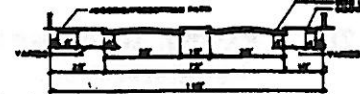
Amended 12/19/95
City Council Ord. No. 1170

PROPOSED

Circulation Plan



A MAJOR DIVIDED HIGHWAY - CHERRY AVENUE (110' ROW)



A₁ REFER TO PAGE III-9.

B₁ SECONDARY HIGHWAY - SUMMIT AVENUE (66' ROW)



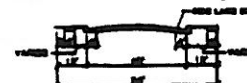
*ADDITIONAL 2' STRIDE TO BE PROVIDED FOR VISUAL SCREENING

B₂ SECONDARY HIGHWAY - DURCAN CANYON/1-15 (66' ROW)



*ADDITIONAL 2' STRIDE PER VISUAL SCREENING & SHOULD BE PROVIDED TO BE SMOOTH LANDSCAPED
*LANDSCAPE STRIPES FOR PLANNED LANDSCAPING

C BRIDLEPATH DRIVE (64' ROW)

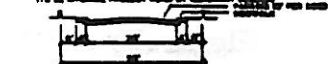


C₁ C₂ REFER TO PAGE III-9

D₁ FOXBOROUGH DRIVE (66' ROW)

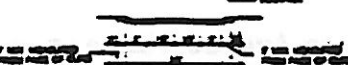


D₂ LOCAL ROAD/TYPICAL (66' ROW)

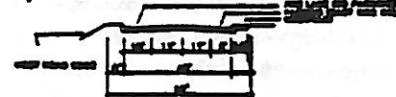


E TRAILHEAD DRIVE (66' ROW)

TO BE OFFICIAL PROJECT ROAD OF NEIGHBORHOOD DEVELOPMENT



F FOXBOROUGH DRIVE (66' ROW)



G FOXBOROUGH DRIVE (70' ROW)



Hunter's Ridge

A SPECIFIC PLAN PREPARED FOR THE CITY OF FONTANA

AMENDED:

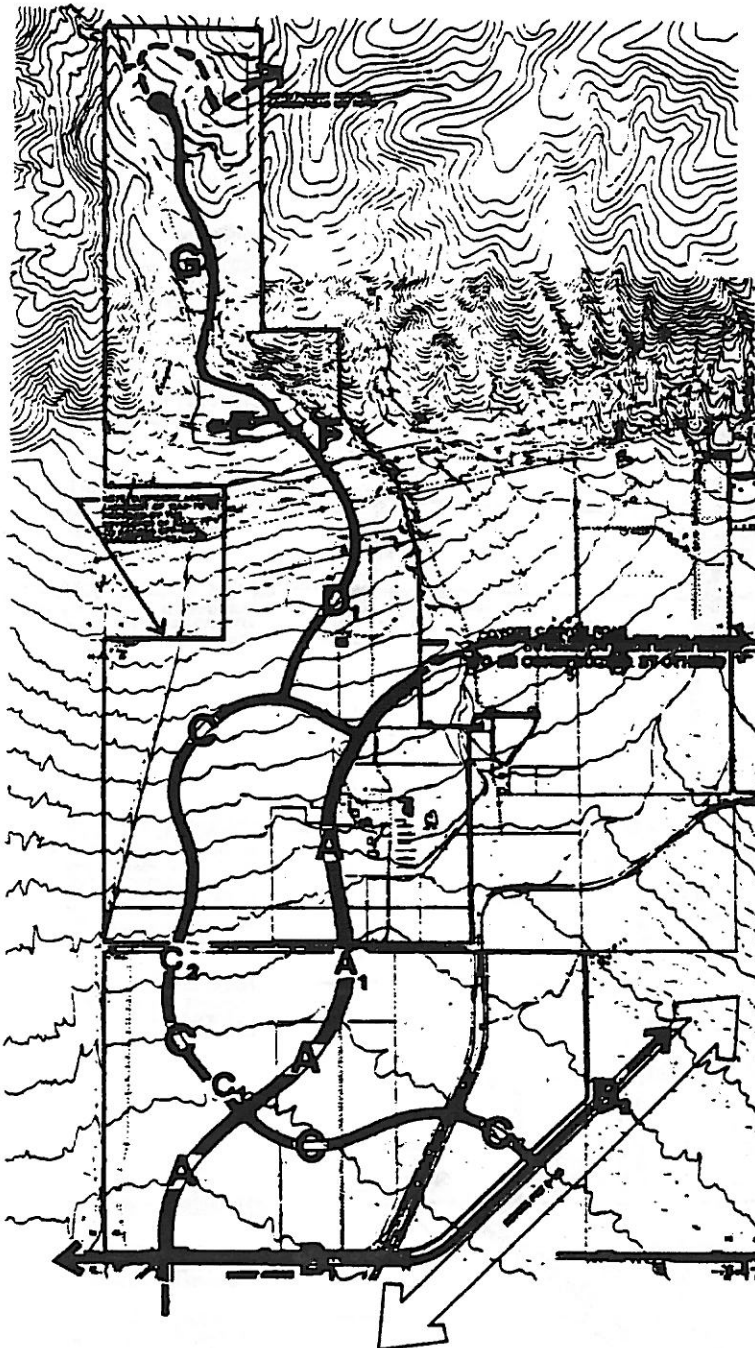
CITY COUNCIL ORDS. NOS. 1123(8/2/94)

1170(12/19/95) III-8

PROPOSED

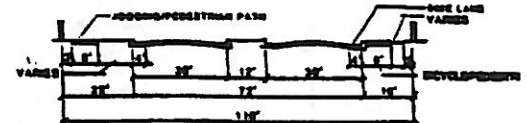


EXHIBIT III

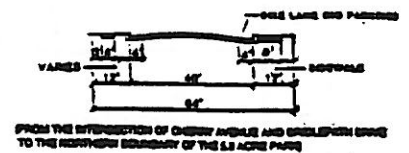


Circulation Plan

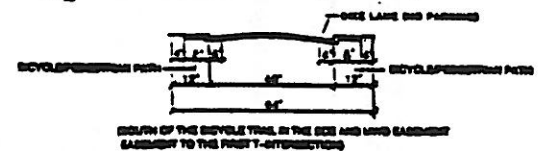
**A₁ MAJOR DIVIDED HIGHWAY
CHERRY AVENUE (110' ROW)**



C₁ BRIDLEPATH DRIVE (64' ROW)



C₂ BRIDLEPATH DRIVE (64' ROW)



Hunter's Ridge

A SPECIFIC PLAN PREPARED FOR THE CITY OF FONTANA

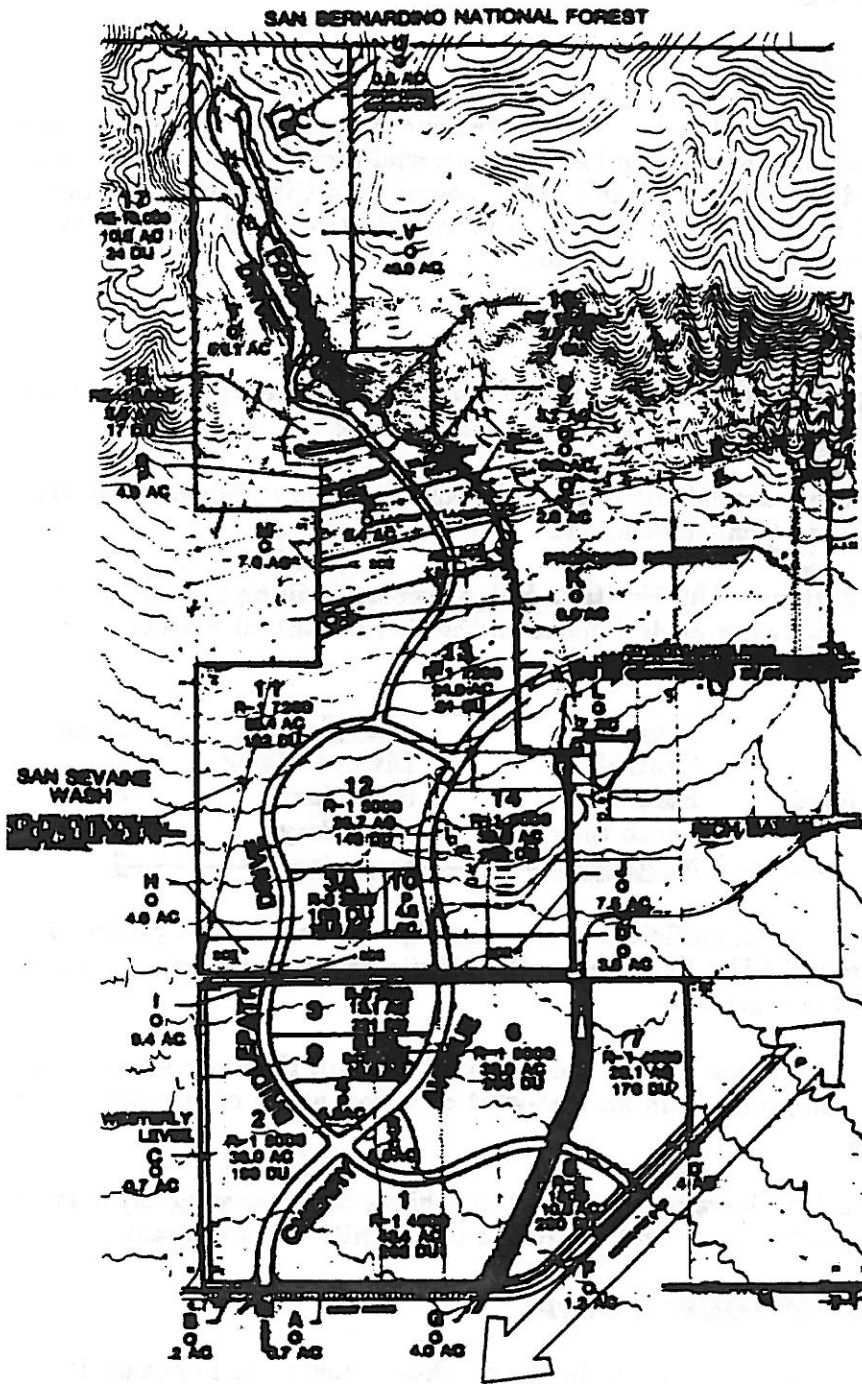
AMENDED 12/19/95
CITY COUNCIL ORD. NO. 1170
AMENDED 8/2/94
CITY COUNCIL ORD. NO. 1123



EXHIBIT III-SA

PROPOSED

III-9



Land Use

LEGEND

RESIDENTIAL			# OF DU	AC
ESTATE RESIDENTIAL				
<input type="checkbox"/>	RE-10000		50	
SINGLE FAMILY RESIDENTIAL				
<input type="checkbox"/>	R1-7200		273	
<input type="checkbox"/>	R1-8000		740	1
<input type="checkbox"/>	R1-4000		438	
MULTI FAMILY RESIDENTIAL				
<input type="checkbox"/>	R3-2000 (TOWNHOUSE)		300	
<input type="checkbox"/>	R3-1800 (APARTMENTS)		230	
SUB-TOTAL			2,121	3

NON-RESIDENTIAL

COMMERCIAL (C)		
<input type="checkbox"/>	NEIGHBORHOOD COMMERCIAL	
PUBLIC (P)		
<input type="checkbox"/>	PARK	
<input type="checkbox"/>	ELEMENTARY SCHOOL	
OPEN (O)		
<input type="checkbox"/>	IMPROVED	
<input type="checkbox"/>	UNIMPROVED	
STREET		
<input type="checkbox"/>	PUBLIC	
SUB-TOTAL		
TOTAL		

PLANNING UNIT AREA DATA
 1 PLANNING UNIT
 R1 4000—ZONING DISTRICT
 43.6 AC—NET ACRES
 300 DU—MAXIMUM PERMITTED DENSITY

NOTES: 1. FIGURES TO THE RIGHT OF THE MAP ARE APPROXIMATE. 2. FOR DISTRICTS OR ZONES NOT SHOWN ON THIS MAP, REFER TO THE CITY OF FONTANA ZONING ORDINANCE.

Hunter's Ridge

A SPECIFIC PLAN PREPARED FOR THE CITY OF FONTANA

FOR MORE INFORMATION
 * ALTA SURVEY BY ROBERT, SMITH & FRISBY, INC.
 * J.P. HARRIS & ASSOCIATES, INC.

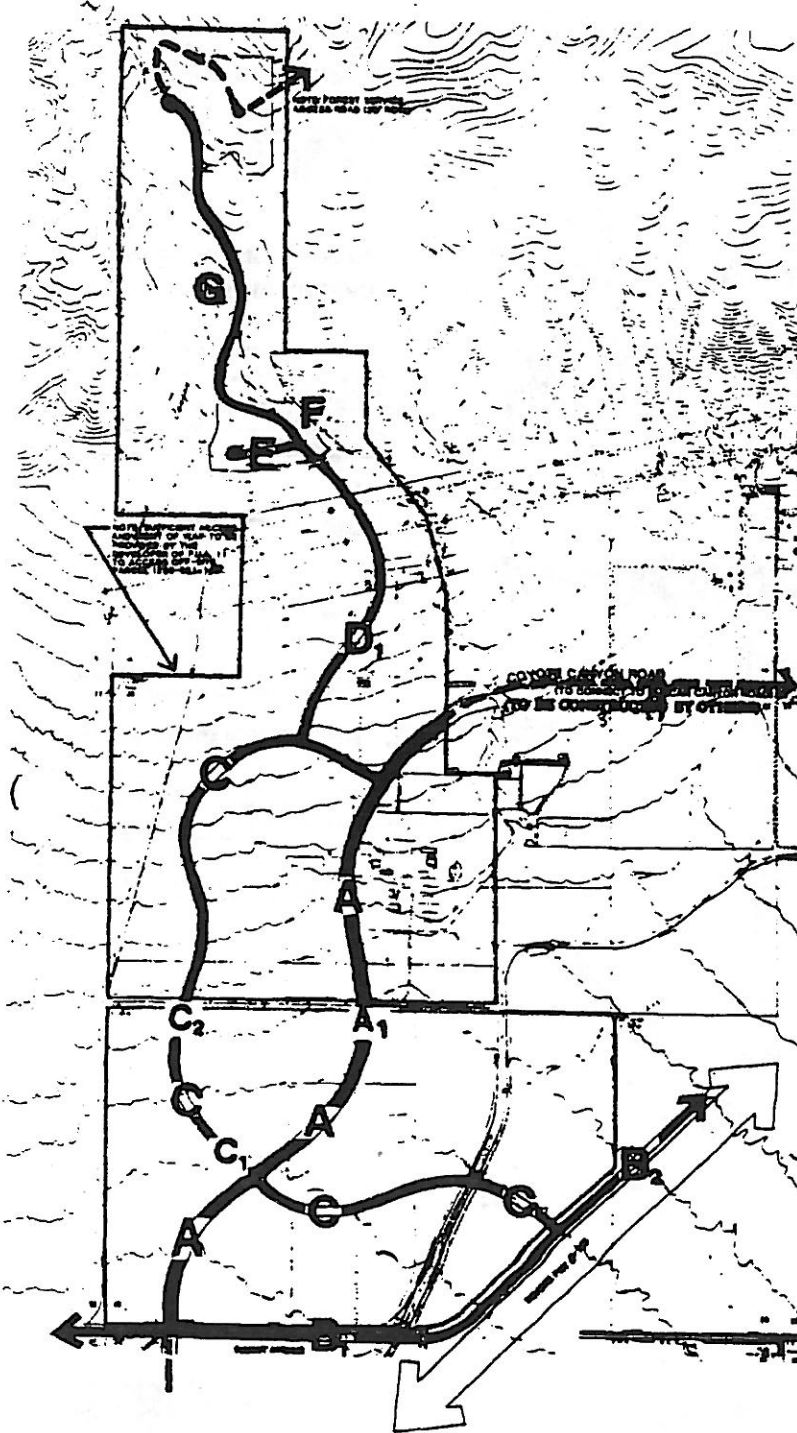


EXHIBIT V-2

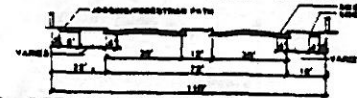
PROPOSED

AMENDED 12/19/95
 CITY COUNCIL ORD. NO. 1170
 AMENDED 8/2/94
 CITY COUNCIL ORD. NO. 1123

Circulation Plan

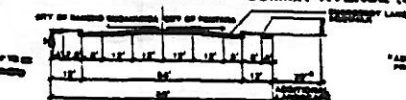


A MAJOR DIVIDED HIGHWAY - CHERRY AVENUE (110' ROW)



A₁ REFER TO PAGE V-16

B₁ SECONDARY HIGHWAY - SUMMIT AVENUE (88' ROW)



*ADDITIONAL 20' SETBACK TO BE PROVIDED FOR VISUAL SCREENING

B₂ SECONDARY HIGHWAY - DUNCAN CANYON/1-15 (88' ROW)



*ADDITIONAL 20' SETBACK FOR VISUAL SCREENING & SOUND ATTENUATION TO BE PROVIDED FOR VISUAL SCREENING

C BRIDLEPATH DRIVE (84' ROW)

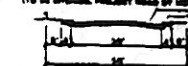


C₁ C₂ REFER TO PAGE V-16

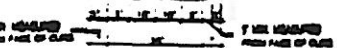
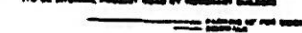
D₁ FOXBOROUGH DRIVE (88' ROW)



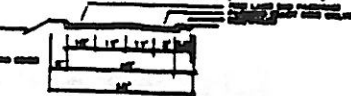
D₂ LOCAL ROAD/TYPICAL (66' ROW)



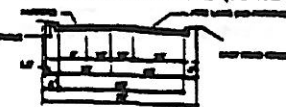
E TRAILHEAD DRIVE (80' ROW)



F FOXBOROUGH DRIVE (82' ROW)



G FOXBOROUGH DRIVE (70' ROW)



Hunter's Ridge

A SPECIFIC PLAN PREPARED FOR THE CITY OF FONTANA

AMENDED:

CITY COUNCIL ORDS. NOS. 1123(8/2/94)

1170(12/19/95)

PROPOSED

V-15



EXHIBIT V-

- a. Due to its perimeter location in the northwest corner of the city the project will become a turning point in the city circulation plan. Cherry Avenue is ~~therefore~~ proposed by the General Plan circulation element as both a north-south and east-west connector to create a "loop road" that links Cherry Avenue through the project, ~~across Coyote Canyon Road and 1-15, to Citrus Avenue.~~
- b. Due to its existing rural setting the project roads should also act as a transition from Fontana's flat land suburban communities to the rural and scenic resources provided by the San Gabriel Mountains. This may be accomplished by the modified road sections herein. These roads are intended to provide a rural effect streetscape that will safely carry the cumulative traffic and accommodate emergency pull out needs, while at the same time producing an expanded variable width parkway. A major element of this concept is the incorporation of jogging and pedestrian walkways into the road parkways and utility easements.

3. Circulation Plan Street and Highway Classifications

a. Major Divided Highway - Cherry Avenue (110-foot right-of-way)

Cherry Avenue is proposed as a four lane, divided highway connecting Cherry Avenue through the project to ~~and terminates at~~ Coyote Canyon Road and ~~eventually to Citrus Avenue.~~ Traffic volumes range from 15,000 to a maximum of 27,000 vehicles per day.

The City of Fontana Circulation element, as well as the traffic study for the project (see Hunter's Ridge EIR) identify Cherry Avenue as a secondary highway (88-foot right-of-way). However, due to the desired rural character for the road it is proposed that an enlarged parkway and median be used. This additional width produces a section that is an enlarged secondary highway or a modified divided highway.

The proposed roadway will provide a median and four (4) travel lanes. Bicycle lanes will be provided on both sides of the road (4').

The parkways are intended to vary in width and will be designed to accommodate pedestrian traffic and 8-foot jogging path. (See Open Space and Streetscape Plan for landscape guidelines for this scenic corridor).

- ~~2) Coyote Canyon Road: As mentioned above, the extension of Coyote Canyon Road as a two-lane facility (from the east property boundary and Cherry Avenue) to Duncan Canyon Road at Lytle Creek Road will provide sufficient roadway capacity to accommodate traffic as the rest of the project is built.~~

~~This road will be constructed over existing natural terrain as a thirty-one foot (31') wide paved half-section (two thirteen-foot (13') lanes and a five foot (5') graded shoulder, no curb, gutter, sidewalk or landscaping). Such construction shall serve as a secondary access road and shall be completed prior to issuance of a Certificate of Occupancy for any residential unit in Phase 2. The developer shall coordinate design and construction of the improvements with San Bernardino County and the City. The construction of Coyote Canyon Road as a full public street shall not be the responsibility of the Master Developer.~~

~~NOTE: Overpass improvements on the future Coyote Canyon Road/Duncan Canyon Road at the Devore Freeway. If required by the City, shall be the responsibility of the developers of property within an area of benefit defined by the City, in its discretion, but Hunter's Ridge development shall be exempt from any fees or other exactions in connection therewith.~~

- 3) Summit Avenue, East of Cherry Avenue: This road will be improved by the Master Developer by completing improvements to the northside of Summit Avenue. These improvements include thirty-two feet (32') of paving comprising two twelve-foot (12') travel lanes and one eight-foot (8') parking lane, curb, gutter and sidewalk within twelve-foot (12') of parkway, street lighting and a twenty-foot (20') landscape buffer. The obligations of the Master Developer as set forth herein are in lieu of any other traffic mitigation obligations (including, without limitation, fees) which may be otherwise be imposed by the City. Future requirements for full street improvements to the southside of Summit Avenue, east of Cherry Avenue to the I-15 Freeway, shall not be the responsibility of the Master Developer.

c. **Secondary Highway Landscape Treatment (88' R.O.W.)**

There are two secondary highways, both of which border the southern borders of the project: Duncan Canyon Road and Summit Avenue. ~~NOTE: A future secondary highway, Coyote Canyon Road, to the northeast, will be partially built by this project (see page V-24 for implementation).~~

1) **Duncan Canyon Road and 30' Freeway Buffer:**

(See plan and section following).

This area abuts Duncan Canyon Road and the Devore Freeway. The uses along this edge are high density residential and moderate density single family. Sound attenuation may be an issue. The plant materials used will be placed in informal groupings of upright, columnar and canopy trees with evergreen flowering shrubs and a 50-50 ratio of lawn to flowering groundcover below. The following guidelines will apply to this 30' landscape setback zone:

- a) **Landscape Buffer Zone:** A continuous buffer zone of 30 feet in depth will be provided (see following exhibit) and landscaped to soften the freeway edge, highlight the project identity, and shall tie into the scenic corridor treatments. The plant materials chosen will be rural in character and informal.
 - A community theme wall shall be built within the 30' setback to screen residential uses from freeway noises and views.
 - The height of the wall will be 6 feet (unless it is determined by the city that greater height is desired for sound attenuation).
 - A landscaped berm (6 feet maximum height, 2:1 or 3:1 if turfed) will be permitted for sound attenuation and visual screening.
 - Project signage will be allowed if incorporated into this wall or may be freestanding, but shall be limited to:
 - o Identification: project name; name of the adjacent apartment complex, and a consolidated real estate sign (6' x 4') at each end of the buffer zone.
 - o Letter Size: 12" maximum height for project name; and 6" for real estate project signs and apartment. Note: freestanding signs must conform to the Sign Guidelines contained herein.

RECORDING REQUESTED BY:

[Exempt from filing fees pursuant to
Government Code Section 6103]

City of Fontana

WHEN RECORDED MAIL TO:

The City of Fontana
8353 Sierra Avenue
Fontana, CA 92335
Attn: City Manager

(Space above for Recorder's Use)

Prior Recording Information:

Document No. 91-402395 recorded
October 22, 1991

Document No. 95-073663 recorded
March 10, 1995

Document No. 96-0027047 recorded
January 25, 1996

AMENDMENT NO. 3 TO DEVELOPMENT AGREEMENT

(HUNTER'S RIDGE)

between

THE CITY OF FONTANA
a municipal corporation

and

FIRST CITY/HUNTER'S RIDGE LIMITED PARTNERSHIP
a California limited partnership

- D. Concurrently with the City's consideration of this Amendment, City is processing a revision to the Specific Plan ("Specific Plan Amendment No. 5") and a negative declaration to the FEIR pursuant to the California Environmental Quality Act ("Negative Declaration"), in contemplation of amending the development concept for Hunter's Ridge in the manner described in this Amendment and that Specific Plan Amendment No. 5. The development concept as thereby modified is sometimes herein referred to as the "Updated Hunter's Ridge Plan".
- E. Developer and City have, as of April 4, 1995, executed an Implementation Agreement (referred to herein, as amended August 7, 1995, as the "Implementation Agreement"). Certain provisions of the Implementation Agreement were amended pursuant to Section 5.d of Development Agreement Amendment No. 2.
- F. Developer and City have, as of October 30, 1996, executed an agreement entitled "AGREEMENT RESOLVING OUTSTANDING ISSUES AND CHANGING WATER SYSTEM DEVELOPMENT OBLIGATIONS" (herein, the "Water Agreement") amending certain obligations of the City and the Developer in connection with the water delivery system for Hunter's Ridge.
- G. Developer has provided a revised traffic study, dated July 5, 1996, to the City, which discusses the improvements to Coyote Canyon Road from the Project to the I-15 freeway contemplated by mitigation provisions of the Specific Plan and the FEIR. The revised traffic study concludes that the Hunter's Ridge project does not cause a capacity deficiency which would necessitate the construction of Coyote Canyon Road.
- H. The City Council has found that this Amendment has been adopted pursuant to the authority of Government Code Sections 65864 through 65869.5 applicable to development agreements, and in conformance with all applicable law, is consistent with the City's General Plan and the Specific Plan, and will promote the general welfare and orderly development of the City.
- I. City has received waivers and consents from all merchant builders of property in Hunter's Ridge who are not parties to this Amendment agreeing to be bound to changes in the Development Agreement which are entered into by and between City and Developer; therefore, this Amendment shall apply to all property within the Hunter's Ridge Planned Community for which building permits have not been issued as of the date hereof.

7. Notices. All notices required or provided for under this Amendment shall be in writing and delivered in person or sent by certified mail, postage prepaid. Notice required to be given to the City shall be addressed as follows:

Community Development Department
City of Fontana
8353 Sierra Avenue
P.O. Box 518
Fontana, California 92334-0518
Attn: Director of Community Development

Notices required to be given to the Developer shall be addressed as follows:

First City/Hunter's Ridge Limited Partnership
c/o Alper Development, Inc.
11111 Santa Monica Blvd., Suite 500
Los Angeles, California 90025
Attn: Corporate Secretary

A party may change its address by giving notice in writing to the other party and thereafter notices shall be addressed and transmitted to the new address. All notices given hereunder shall be deemed to have been received when personally delivered, or 48 hours after deposit in a United States Post Office registered certified mail, return receipt requested, postage prepaid, addressed as set forth above.

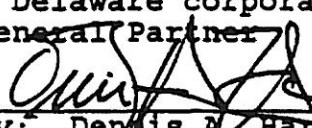
8. Attorneys' Fees. In the event of any action or proceeding, including an arbitration or a reference pursuant to Section 638, et seq., of the Code of Civil Procedure brought by any Party, including a Developer and/or successor Developer, against any other Party or its successor in interest against the other Party or its successor in interest under this Amendment, the prevailing Party shall be entitled to its reasonable attorneys' fees and costs for prosecution, defense, consultation, or advice in such action or proceeding. In addition to the foregoing award of attorneys' fees to the prevailing Party, the prevailing Party in any action on this Amendment shall be entitled to its attorneys' fees incurred in any post-judgment proceedings to collect or enforce the judgment. This provision is separate and several and shall survive the merger of this Amendment into any judgment on this Amendment.

IN WITNESS WHEREOF, the Parties hereto have executed and entered into this Amendment as of the date first hereinabove written.

"Developer"

FIRST CITY/HUNTER'S RIDGE
LIMITED PARTNERSHIP, a
California limited partnership

By: ALPER DEVELOPMENT, INC.,
a Delaware corporation,
General Partner


By: Dennis A. Harris
President


By: Douglas M. Ford
Vice President

"CITY"

CITY OF FONTANA, a municipal
corporation

By: Gregory C. Devereaux,
City Manager

ATTEST

By: City Clerk

APPROVED AS TO FORM:

BEST, BEST & KRIEGER

City Attorney

EXHIBIT "A"

LOTS 1 THROUGH 3, INCLUSIVE; LOTS 5 THROUGH 9, INCLUSIVE, LOTS 11A, 11B, 11C, 11D, LOTS 12 THROUGH 63, INCLUSIVE; LOTS "A", "A-1", "A-2", "B", "C", "11", "12", "J", "K", "L", AND "O", OF TRACT NO. 13750, IN THE CITY OF FONTANA, COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, AS PER PLAT RECORDED IN BOOK 237 OF MAPS, PAGES 79 THROUGH 97, INCLUSIVE, RECORDS OF SAID COUNTY, AMENDED BY CERTIFICATE OF CORRECTION RECORDED APRIL 3, 1991, INSTRUMENT NO. 91-111807, OFFICIAL RECORDS; AND AMENDED IN BOOK 250 OF MAPS, PAGES 48 THROUGH 56, INCLUSIVE, RECORDS OF SAID COUNTY,

EXCLUDING THEREFROM LOTS 1 THROUGH 70, INCLUSIVE, OF TRACT NO. 14274-1 RECORDED APRIL 10, 1995 IN BOOK 257 OF MAPS, PAGES 93 THROUGH 98, INCLUSIVE, RECORDS OF SAID COUNTY ("Van Daele's Phase I Property"); AND

ALSO EXCLUDING THEREFROM LOTS 1 THROUGH 51, INCLUSIVE, OF TRACT NO. 14277-6 RECORDED MAY 9, 1995 IN BOOK 258 OF MAPS, PAGES 12 THROUGH 17, INCLUSIVE, RECORDS OF SAID COUNTY ("Fialderson's Phase I Property"); AND

ALSO EXCLUDING THEREFROM LOTS 1 THROUGH 53, INCLUSIVE, OF TRACT NO. 14276-2 RECORDED DECEMBER 5, 1995 IN BOOK 259 OF MAPS, PAGES 72 THROUGH 76, INCLUSIVE, RECORDS OF SAID COUNTY ("Van Daele's Phase II Property"); AND

ALSO EXCLUDING THEREFROM LOTS 1 THROUGH 30, INCLUSIVE, OF TRACT NO. 14276-1 RECORDED JUNE 30, 1995 IN BOOK 258 OF MAPS, PAGES 51 THROUGH 55, INCLUSIVE, RECORDS OF SAID COUNTY ("Hutton's Phase I Property"); AND

ALSO EXCLUDING THEREFROM LOTS 1 THROUGH 43, INCLUSIVE, OF TRACT NO. 14276-5 RECORDED DECEMBER 5, 1995 IN BOOK 259 OF MAPS, PAGES 66 THROUGH 71, INCLUSIVE, RECORDS OF SAID COUNTY ("Barney's Phase I Property"); AND

ALSO EXCLUDING THEREFROM THAT PORTION OF LOT 2 OF TRACT NO. 13750 RECORDED AUGUST 2, 1990 IN BOOK 237 OF MAPS, PAGES 79 THROUGH 97, INCLUSIVE, RECORDS OF SAID COUNTY, AND AS AMENDED BY AMENDING MAP RECORDED NOVEMBER 24, 1992 IN BOOK 250 OF MAPS, PAGES 48 THROUGH 56, INCLUSIVE, RECORDS OF SAID COUNTY, LYING SOUTHERLY OF TRACT NO. 14277-6 PER MAP RECORDED MAY 9, 1995 IN BOOK 258 OF MAPS, PAGES 12 THROUGH 17, INCLUSIVE, RECORDS OF SAID COUNTY ("Lewis's Property"); AND

MAPS, PAGES 9 THROUGH 11, INCLUSIVE, RECORDS OF SAID COUNTY
("Beasler's Phase IV Property"); AND

ALSO EXCLUDING THEREFROM LOTS 1 THROUGH 5, INCLUSIVE, OF
TRACT NO. 14276-4, RECORDED OCTOBER 3, 1996, IN BOOK 263 OF
MAPS, PAGES 12 THROUGH 14, INCLUSIVE, RECORDS OF SAID COUNTY
("Beasler's Phase V Property"); AND

ALSO EXCLUDING THEREFROM LOTS 1 THROUGH 6, INCLUSIVE, AND
LOTS 21 THROUGH 40, INCLUSIVE, OF TRACT NO. 14275-4,
RECORDED APRIL 21, 1996 IN BOOK 261 OF MAPS, PAGES 59
THROUGH 62, INCLUSIVE, RECORDS OF SAID COUNTY ("Alber's
Phase II Property"); AND

ALSO EXCLUDING THEREFROM LOTS 1 THROUGH 42, INCLUSIVE, OF
TRACT NO. 14571-1, RECORDED OCTOBER 22, 1996 IN BOOK 263 OF
MAPS, PAGES 41 THROUGH 46, INCLUSIVE, RECORDS OF SAID COUNTY
("Inco Home Phase I Property"); AND

ALSO EXCLUDING THEREFROM LOTS 1 THROUGH 31, INCLUSIVE, OF
TRACT NO. 14278, RECORDED NOVEMBER 21, 1996 IN BOOK 263 OF
MAPS, PAGES 67 THROUGH 70, RECORDS OF SAID COUNTY ("Alber's
Phase III Property").

This space is for the
County Clerk's stamp

**PROOF OF PUBLICATION
(2015.5 C.C.P.)**

State of California
County of San Bernardino

I am a citizen of the United States and a resident of the County aforesaid; I am over the age of eighteen years, and not a party to or interested in the above entitled matter. I am the principal clerk of the printer of the Fontana Herald News, a newspaper of general circulation, printed and published every Thursday in the City of Fontana, County of San Bernardino, and which newspaper has been adjudged a newspaper of general circulation by the Superior Court of the State of California, in and for the County of San Bernardino, under the date of March 15, 1955, Case Number 73171, and that the notice, of which the annexed is a printed copy (set in type not small than nonpareil), has been published in each regular and entire issue of said newspaper and not in any supplement thereof on the following dates, To-wit: May 22, 1997.

I certify (or declare) under penalty of perjury that the foregoing is true and correct.

Dated at Fontana, California, this 22nd day of May 1997.


Signature

**City of Fontana
Summary of Adopted
Ordinance #1218
PO#96-25428**

**CITY OF FONTANA
FONTANA, CALIFORNIA**

**SUMMARY OF ADOPTED
ORDINANCE NO. 1218**

NOTICE IS HEREBY GIVEN that the City Council of the City of Fontana, at a Regular meeting scheduled on Tuesday, May 20, 1997, in the City Hall Council Chambers, 8353 Sierra Avenue, said Council adopted Ordinance No. 1218, approving Hunter's Ridge Specific Plan Amendment #5 (SPA #96-02) and Development Agreement Amendment #3 to modify the language within the Specific Plan and Development Agreement text for the construction of Coyote Canyon Road. The Specific Plan Amendment also includes new specific plan text to allow metal patio covers that have the appearance of wood structures.

A certified copy of the full text of the ordinance is available in the office of the City Clerk of the City of Fontana, 8353 Sierra Avenue, Fontana, California 92335.

AYES: Mayor Eshleman, Council Members Hooper, Mancha, Nuaimi, Roberts

NOES: None.

ABSENT: None

CITY COUNCIL OF THE CITY
OF FONTANA

David R. Eshleman, Mayor

Kathy Montoya

City Clerk

Publish: May 22, 1997

FONTANA HERALD NEWS

16920 Spring Street
P.O. Box 549

Fontana, California 92334

Phone (909) 822-2231

Fax (909) 355-9358

APRIL 7, 1998

47798 #4
Jurupa Basin - Phase II and the San Sevaine Channel Segment from Philadelphia Street to Jurupa Basin Outlet Works; and appropriating \$50,000 from the San Sevaine Flood Control Fund to augment funds currently for this project.

7.

- E. Increasing appropriations and estimated revenues in the General Fund for additional purchase funds in an amount not to exceed \$165,000 which are reimbursable to the General Fund in order to maximize the grant reimbursement for traffic signal construction. INCR APPROP
TRFC SIGN
CONST
- F(1) Adopting Resolution No. 98-34, confirming the existence of a local emergency. C220-70 ADPT RES.
98-34/98-35
LOCAL EMERG
- (2) Adopting Resolution No. 98-35, proclaiming termination of local emergency.
- G. Authorizing the City Manager to sign an agreement to participate in the Cal-Card Program agree CAL-CARD PROG
AGREEMENT
- H. Awarding bid to Frahm Dodge of Norco in the amount of \$196,109.90 to purchase eight 1998 Dodge Intrepid Sedans and one 1998 Dodge Caravan for the Police Department. agree AWARD BID
FRAHM DODGE
POLICE VEH.
- I. Awarding bid to California Landscape and Design, to construct trash enclosures throughout the City at various parks; authorizing the City Manager to sign a one-year contract with an option for two additional one-year periods at the sole discretion of the City and authorizing the General Services Manager to issue a purchase order in the amount of \$4,937.25 per enclosure. agree AWARD BID
CAL.LANDSC
TRASH ENCL
- J. Adopting Resolution No. 98-36, amending Fontana City Administrative Procedure 20-31 "Purchasing Policies and Procedures Manual", and amending Resolution No. 88-52 authorizing the City Manager to sign contracts up to \$25,000. C100-85 ADPT RES.
98-36 PURCH
PROC MANUAL
AMENDMENT
- K. Authorizing the Management Services Department to increase Purchase Order Nos. 98-8C074 Gosney Construction \$54,104; 98-8C075 R. D. Const. \$100,000; 98-8C005 Hardy & Harper, Inc., \$45,000 for additional concrete and asphalt removal and replacement projects. agree INCR P.O.
CONCRETE/
ASPH REMOV
& REPL.
- L. Accepting a proposal from Pentamation Enterprises, Inc. in the amount of \$47,806 plus a 10% contingency to replace the City's Financial System Computer. agree APRV REPL
FIN SYSTEM
COMPUTER

Motion carried by a vote of 5-0.

Public Hearing was opened regarding an appeal of Hunter's Ridge Specific Plan Amendment No. 6 and Tentative Tract Map No. 15846. C650-28

PH-A
CONT HUNTER
RIDGE AMEND #6
TO 6-2-98

No one spoke in favor or opposition.

(3) Authorizing a Police Officer position and assigning the position number.

(4) Authorizing the Chief of Police or his designee to sign and execute all documents for the Alcohol Beverage Control Grant Program.

(5) Adopting **Resolution No. 98-45**, authorizing the Police Department to undertake a project designated as the Alcohol Beverage Control Grant Program.

M. Adopting **Resolution No. 98-46**, supporting the repeal of booking fees in San Bernardino County.

ADPT RES 98-46
SUPP REPEAL
BOOKING FEES

Motion carried by a vote of 5-0.

Public Hearing was opened regarding appeal of **Hunter's Ridge** Specific Plan Amendment No. 6 and Tentative Tract Map No. 15846.

PH-A SPEC PLAN
AMEND NO. 6
CONT. 7/21/98

Staff presentation was made by Community Development Director Bragg.
No written communications were received.
No one spoke in favor or opposition.

ACTION: Motion was made by Council Member Freeman, seconded by Council Member Nuaimi, continuing Appeal of **Hunter's Ridge** Specific Plan Amendment No. 6 and Tentative Tract Map No. 15846 to the July 21, 1998 City Council meeting. Motion carried by a vote of 5-0.

Public Hearing was opened regarding rescission of the Fontana Auto Mall Specific Plan #17.

ADPT RES. 98-47
ORD 1246 AUTO
MALL SPEC PLAN
#17 RESCISSION

Staff presentation was made by Planner Libbee.
No written communications were received
No one spoke in favor or opposition.
The public hearing was closed.

ACTION: Motion was made by Council Member Nuaimi, seconded by Council Member Mancha adopting the Mitigated Negative Declaration of Environmental Impact, the Mitigation Monitoring Program, and the State of California Department of Fish and Game DeMinimis Impact Finding for the rescission of the Fontana Auto Mall Specific Plan #17; adopting **Resolution No. 98-47**, a Resolution of the City Council of the City of Fontana, approving General Plan Amendment No. 98-03; and waiving further reading of and introducing **Ordinance No. 1246**, an Ordinance of the City of Fontana, approving the rescission of Ordinance No. 1057 (Fontana Auto Mall Specific Plan - #17) and Zone Change No. 98-02, that the reading of the title constitutes the first reading thereof. Motion carried by a vote of 5-0.

Council Member suggested a number of revisions to the proposed City of Fontana Planning Commission Rules of Conduct and Ethics.

NB-A PLAN
COMM RULES
CONDUCT/ETHICS

5/18/99

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF FONTANA AMENDING THE CITY OF FONTANA LAND USE AND ZONING MAP AND APPROVING GENERAL PLAN AMENDMENT #98-07, SPECIFIC PLAN AMENDMENT #98-05 HUNTER'S RIDGE SPECIFIC PLAN AMENDMENT #7 AND ZONE CHANGE #98-07

WHEREAS, the Planning Commission of the City of Fontana, at a meeting duly noticed and conducted on March 22, 1999, considered General Plan Amendment #98-07, Specific Plan Amendment #98-05 (Hunter's Ridge Specific Plan Amendment #7), and Zone Change #98-07; and

WHEREAS, the Planning Commission recommended to the City Council that General Plan Amendment #98-05, Specific Plan Amendment #98-05 (Hunter's Ridge Specific Plan Amendment #7), and Zone Change #98-07 be approved as described in Resolution No. PC 99-04; and

WHEREAS, General Plan Amendment #98-07, Specific Plan Amendment #98-05 (Hunter's Ridge Specific Plan Amendment #7) and Zone Change #98-07 are consistent with the goals and policies of the General Plan.

WHEREAS, the City Council has received public testimony on the project and on the environmental analysis and has determined that the amendment will not have a significant effect on the environment and a Negative Declaration and State of California Department of Fish and Game De Minimis Impact Finding is recommended for this project per the Local Guidelines for Implementing the California Environmental Quality Act (CEQA) (1998).


THE CITY COUNCIL OF THE CITY OF FONTANA DOES ORDAIN AS FOLLOWS:

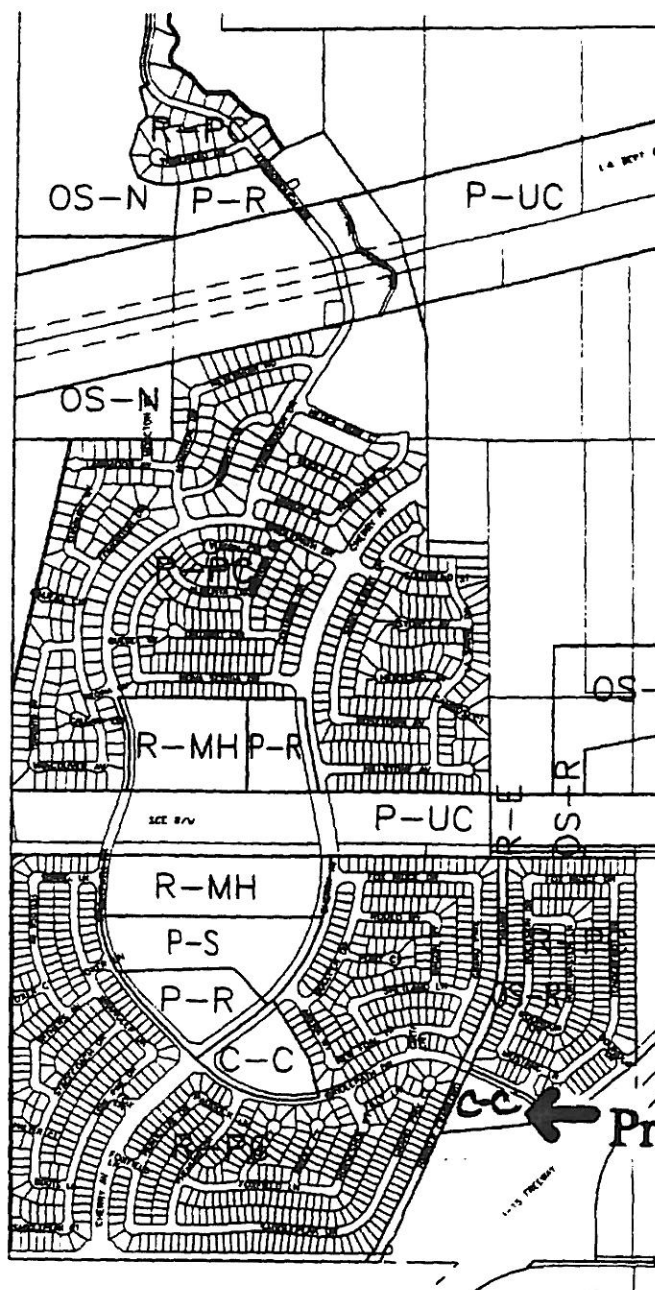
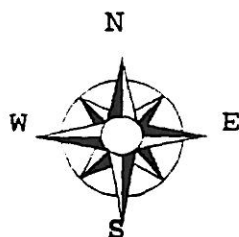
Section 1. General Plan Amendment #98-07, Specific Plan Amendment #98-05 (Hunter's Ridge Specific Plan Amendment #7) as shown in Exhibit "D", and Zone Change #98-07 are approved amending the City of Fontana's Land Use and Zoning Map as shown in Exhibits "A", "B", and "C".

Section 2. This Ordinance shall take effect thirty (30) days after the date of its adoption, and prior to the expiration of the fifteen (15) days from the passage thereof, the Ordinance or a summary of the Ordinance shall be published at least once in the Herald News, a newspaper of general circulation in the City of Fontana. Thereafter this Ordinance shall be in full force and effect.

APPROVED AND ADOPTED this 18th day of May, 1999.

READ AND APPROVED AS TO LEGAL FORM:


City Attorney



NOTE:

- General Plan designation was "R-MH" Multi-Family—will be changed to "C-C" Community Commercial

Exhibit "A"

DATE: October 19, 1999

CASE: General Plan Amendment #99-02

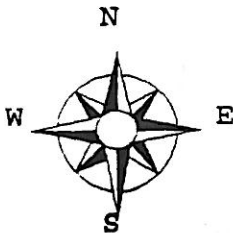
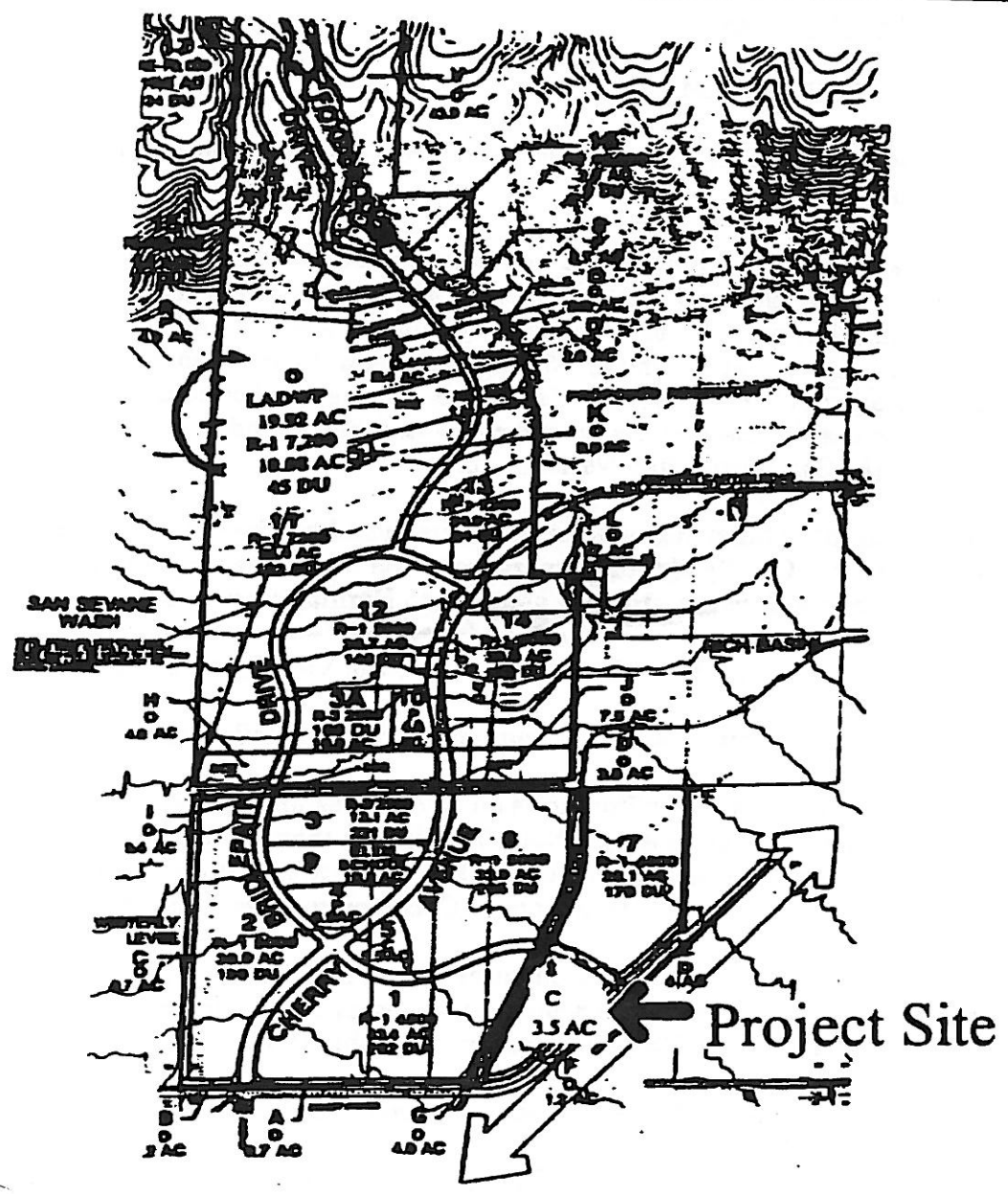


Exhibit "A"

DATE: October 19, 1999

CASE: General Plan Amendment #99-02



NOTE:

Specific Plan designation was "R-3, 1,800" Multi-Family—will be changed to "C" Commercial.

Exhibit "B"

DATE: October 19, 1999
CASE: Specific Plan Amendment #99-03

I. INTRODUCTION

A. EXECUTIVE SUMMARY

This document contains all of the necessary information to implement the Hunter's Ridge Specific Plan.

The Hunter's Ridge site includes 570 acres. It is located three miles west of Lytle Creek at the base of the lower slopes of the San Gabriel Mountains in the northwestern corner of the City of Fontana. The project site is bounded by Summit Avenue and Duncan Canyon Road (adjacent to U.S. Interstate Highway 15 - Devore Freeway) on its south and southwestern edge and the San Sevaine Creek and Wash along its western boundary. It is further bounded to the east by the Rich Basin and cultivated fields, and to the north the property is adjacent to the San Bernardino National Forest.

The site is adjacent to other regional jurisdictions including the City of Rancho Cucamonga to the south and the County of San Bernardino to the west. The proposed Foothill Freeway (Route 30) will be south of the property adjacent to Highland Avenue.

The project relationship to the region is depicted on the Vicinity Map Exhibit (page I-2).

The Hunter's Ridge Specific Plan can be summarized by the following points:

- It allows ~~2,121~~ 1,936 dwelling units on 567.6 acres for a gross density of ~~3.74~~ 2.93 dwelling units per gross acre. (Note: This is less than the permitted 4.0 dwelling units per gross acre established by the LAFCO settlement agreement between the City of Fontana and the City of Rancho Cucamonga - See Appendix E: Background.
- It provides rural residential, residential estate, single family residential, townhouse and apartment residential environments, ranging in density from 1 to 22 dwelling units per net acre (see Statistical Summary, Table II-1).
- It provides ~~5.5~~ nine (9) acres for neighborhood commercial use.
- It includes 19.3 acres (10.7 acres for 2 parks plus an additional 8.6 acres to be developed as two wilderness parks) of park land, exceeding the City's local park requirement by 3.0 acres.
- It is designed to address the expressed desire by the City and the applicant to respond to the site's existing rural setting by providing scenic open space that respect the site's unique natural features (mountain slopes, drainages, and public easements), preserving significant historic resources, introducing local and regional recreation amenities, providing a local streetscape amenity package and promoting a rural effect streetscape and building materials.

I-1

Land Use

LEGEND

RESIDENTIAL

OF DU A

ESTATE RESIDENTIAL

RE-10000	50	
SINGLE FAMILY RESIDENTIAL		
R1-7200	318	
R1-5000	740	13
R1-4500	438	7

MULTI FAMILY RESIDENTIAL

R3-2500 (TOWNHOUSE)	380	21
R3-1800 (APARTMENTS)	280	14
SUB-TOTAL	2166	34

NON-RESIDENTIAL

COMMERCIAL (C)

NEIGHBORHOOD COMMERCIAL	9	
-------------------------	---	--

PUBLIC (P)

PARK	19	
ELEMENTARY SCHOOL	10	

OPEN (O)

IMPROVED	21	
UNIMPROVED	152.9	

STREET

PUBLIC	38.6	
--------	------	--

SUB-TOTAL	250.8	247.2
TOTAL	595.0	602.3

PLANNING UNIT AREA DATA

- 1 PLANNING UNIT
AREA NUMBER/LETTER
R1 4500-ZONING DISTRICT
43.4 AC-NET ACRES
282 DU-MAXIMUM PERMITTED
DWELLING UNITS

REMARKS: 1. FIGURES FOR PERMITS AND PLAT
LETTERS & TOWNSHIP BY: FOR DESCRIPTION OF DRAIN PLAT



THE
PLANNING
CENTER
CITY OF FONTANA, CALIF.
1000 N. GATEWAY BLVD., SUITE 100
FONTANA, CALIF. 92331-1000
TEL: (951) 833-1000
FAX: (951) 833-1001

Hunter's Ridge

A SPECIFIC PLAN PREPARED FOR THE CITY OF FONTANA

REFERENCES FOR BASE INFORMATION:

- ALTA SURVEY BY ROBERT, BERN & PROST, INC. 1998
- A.P. KAPP & ASSOCIATES, INC.

Amended 5/4/99

City Council Ord. No. 1286

AMENDED 12/19/95

CITY COUNCIL ORD. NO. 1170

D4 - 11

EXHIBIT I-2

50

Land Use

LEGEND

RESIDENTIAL

OF DU

ESTATE RESIDENTIAL

RE-10000 50

SINGLE FAMILY RESIDENTIAL

R1-7200 318

R1-5000 740

R1-4500 438

MULTI FAMILY RESIDENTIAL

R3-2500 (TOWNHOUSE) 380

R3-1000 (APARTMENTS) 296

SUB-TOTAL 2166

1936

NON-RESIDENTIAL

COMMERCIAL (C)

NEIGHBORHOOD COMMERCIAL

PUBLIC (P)

PARK 1

ELEMENTARY SCHOOL 1

OPEN (O)

IMPROVED 2

UNIMPROVED 15

STREET

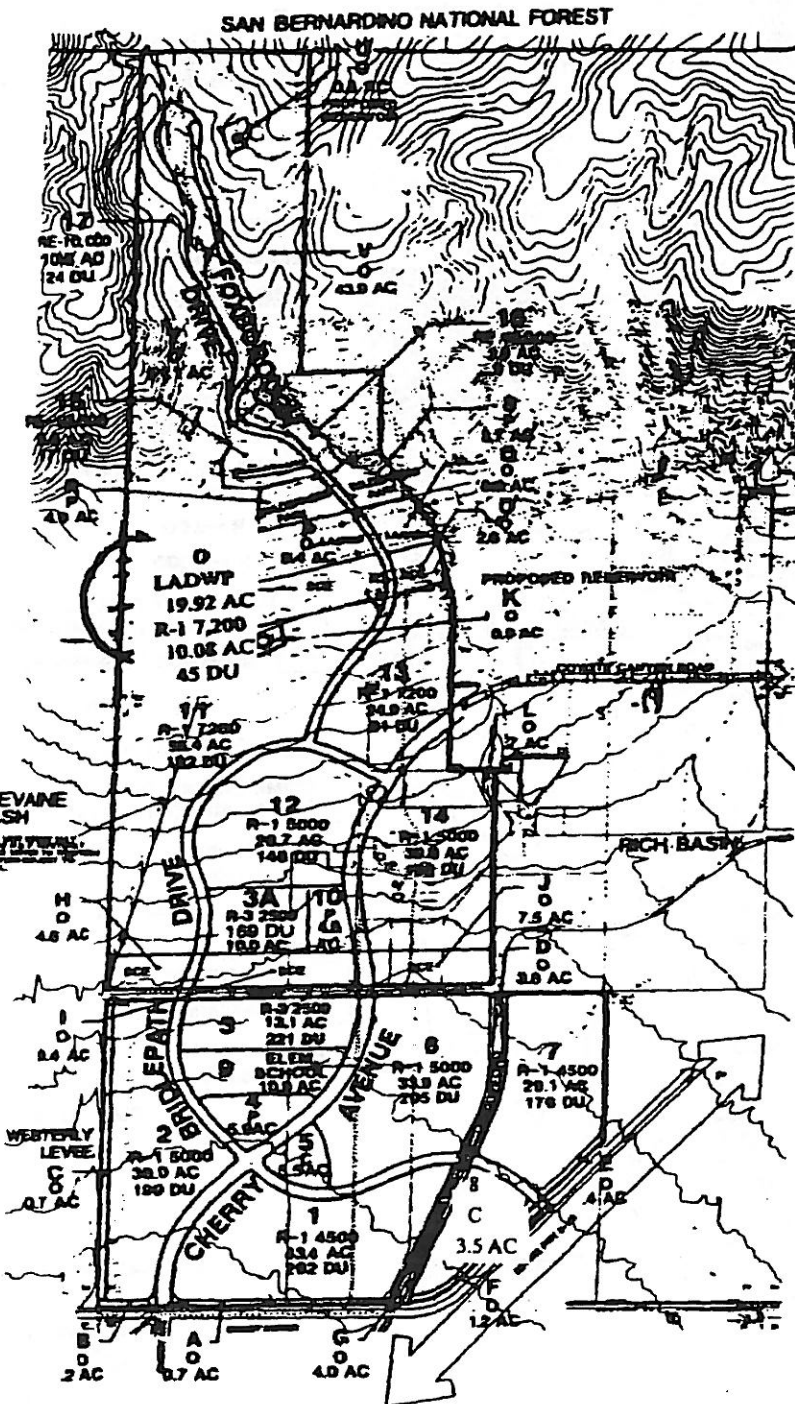
PUBLIC 38

SUB-TOTAL 250.8

TOTAL 595.0

PLANNING UNIT AREA DATA

1 PLANNING UNIT
AREA NUMBER/LETTER
R1 4500—ZONING DISTRICT
43.4 AC—NET ACRES
202 DU—MAXIMUM PERMITTED
DWELLING UNITS



Hunter's Ridge

A SPECIFIC PLAN PREPARED FOR THE CITY OF FONTANA

REFERENCES FOR BASE INFORMATION

*ALTA SURVEY BY ROBERT, SMITH & PROFF, MAY 1988
*J.P. KAPP & ASSOCIATES, INC.



EXHIBIT II-1A

Amended 5/4/99

City Council Ord. No. 1286

AMENDED 12/19/95

CITY COUNCIL ORD. NO. 1170

D4 - 12

2. Statistical Summary/Development Yield

This summary (Table 2-1) on page II-6 regulates the amount of development that can occur in each planning unit area (PUA). For residential uses, the limitation is expressed in two ways: 1) By a minimum required net lot area per unit, indicated by a suffix after the use designation (for example, R-1 7,200 is a single family residential use with a minimum net lot area per unit of 7,200 square feet); and 2) By a maximum number of dwelling units that can be built in each planning unit area. (Subject only to minor boundary or dwelling unit adjustment as described on this page and General Provisions for Reduced Building Pad Allowance, page II-61).

NOTE: In single family districts, minimum lot size and lot area per unit are identical; in multiple family districts, lot area per unit is always some fraction of minimum lot size.

Planning unit area boundaries may be adjusted with a resultant maximum acreage increase of 10 percent or decrease of 10 percent owing to final project design. As described more completely, on page II-55, this may also result in dwelling unit adjustments, subject to the following limitations:

- a) The maximum of ~~2,166~~ 1,936 dwelling units shall not be exceeded: (~~359.7~~ 344.2 net residential acres);
- b) The maximum dwelling unit count for the aggregate of planning unit areas affected by a particular planning unit area adjustment shall not be increased beyond the aggregate shown in this plan;
- c) The number of estate lots (50) and single-family detached lots (318) with 7,200 square feet of lot area or larger shall not be decreased as a consequence of any boundary adjustment (except if Western Levee cannot be relocated to western boundary of PUA 11 - per SBCFC approval);
- d) The number of apartment or townhouse units (~~620~~ 390 du) shall not be increased as a consequence of any boundary adjustment;
- e) Boundary adjustments may involve any adjacent planning unit area or non-adjacent area with the same zoning district designation as the planning unit area in question, so long as all of the affected land is owned or legally controlled by the same party, of both parties can reach mutual agreement;

Amended _____
City Council Ord. No. ____
Amended 5/4/99
City Council Ord. No. 1286

- f) A final geotechnical study of the Alquist-Priolo Zone shall investigate the fault alignment and evaluate the proposed location of SBCFC debris dam in San Sevaine Canyon, water tank location (PUA K), and any affected residential (PUA 11, 13, 15, 16) lots. Design measures shall be taken by registered engineer using recommended design criteria by registered soils engineer or geologist prior to building permit approval; and
- g) The dwelling unit percentages as stated below for each lot size category (example R-1 7,200, R-1 5,000, etc.) may not vary, except as stated herein, from the following percentages:

<u>LOT SIZE</u>	<u>%</u>	<u>DU</u>
R-E 10,000 =	2.3% 2.7%	50
R-1 7,200 =	14.7% 14.4%	318
R-1 5,000 =	34.2% 39.1%	740
R-1 4,500 =	20.2% 23.2%	438
R-3 TH =	18.0% 20.6%	390
R-3 APT =	10.6%	230
TOTAL:	100.0%	2,166 1,936 DU

3. Purpose and Intent

The land uses in the various planning unit areas are described in terms of permitted uses and conditional uses. The purpose of each of the single family and multi-family residential uses, as well as commercial, and public/quasi-public uses are described on pages II-4 to II-11. Charts listing permitted and conditional uses follow page II-11.

The overall mix of uses is intended to provide for a reasonably balanced community. The range of residential designations is intended to provide a diversity of housing choices and lifestyles, as well as to serve several residential markets at the same time.

- a) (R-E 10,000) Residential Estate District: This residential district is intended for quality low density single family estate homes on large lots with 10,000 square foot minimum net lot area.

Amended _____
 City Council Ord. No. ____
 Amended 5/4/99
 City Council Ord. No. 1286

II-4

Amended 12/19/95
 City Council Ord. No. 1170

**TABLE II-1
(Continued)**

Legend (Land Use)

O = Open Zone

P = Public

R = Residential

Planning Unit Area	Land Use	Maximum du	Net Acres	Average Net Residential Density
PHASE 1B				
11	R1-7200	192	55.4	3.47
o Subtotal (SF Res)		192	55.4	3.47
o Total Residential		192	55.4	3.47
K (Reservoir)	O		0.8	
10 (Park)	P		4.8	
Major Street	-----		10.3	
o Total Non-Residential			15.9	
o Phase 1B Total		192	71.3	2.69

Planning Unit Area	Land Use	Maximum du	Net Acres	Average Net Residential Density
PHASE 1C				
3	R3-2500	221	13.1	16.88
3A	R3-2500	169	10.0	16.88
8	R3-1800	230	10.8	21.29
o Subtotal (MF Res)		620 390	33.9 23.1	18.29 16.88

Amended _____
City Council Ord. No. _____

5.1

**HUNTER'S RIDGE
STATISTICAL SUMMARY/DEVELOPMENT YIELD**

**TABLE II-1
(Continued)**

Legend (Land Use)

O = Open Zone

P = Public

R = Residential

Planning Unit Area	Land Use	Maximum du	Net Acres	Average Net Residential Density
PHASE THREE				
15	RE-10000	17	5.6	3.04
16	RE-10000	9	2.9	3.10
17	RE-10000	24	10.8	2.22
o Subtotal (SF Res)		50	19.3	2.59
T Scenic Open Space	O		51.1	
U Reservoir	O		0.8	
V Scenic Open Space	O		43.9	
Major Roads	-----		5.9	
NON-RESIDENTIAL	-----	-----	101.7	
PHASE THREE TOTALS:	-----	50	121.0	0.41
Project Totals/Summary				
o SF Residential		1,501	311.0	4.83
o MF Residential		620 390	33.9 23.1	18.29 16.88
o Subtotal (Net)		2,121 1,936	344.9 344.2	6.15 5.66
NON-RESIDENTIAL		-----	222.7 250.8	
Total Project (Gross):		2,121 1,936	567.6 595.0	3.74

Amended _____
City Council Ord. No. _____

Amended 8/2/94
City Council Ord. No. 1123

AMENDED 12/19/95
City Council Ord. No. 1170

55

- b) (R-1 7,200) Single Family Residential District: This residential district is intended for quality low density single family uses composed chiefly of individual homes, together with supportive recreational, religious, educational and other community facilities. The minimum net lot area per unit shall be 7,200 square feet.
- c) (R-1 5,000) Single Family Residential District: This residential district is intended to provide for medium density, quality, diversified single family housing (conventional detached, clustered or zero lot line) together with supportive recreational, religious, educational and other community facilities. The minimum net lot area shall be 5,000 square feet.
- d) (R-1 4,500) Single Family Residential District: This residential district is also intended to provide for medium density, quality, diversified single family housing. Its purpose is similar to R1-5000 and offers variety in lot size. The minimum lot area shall be 4,500 square feet.
- e) (R-3 2,500) Multiple Family Residential District: This multiple-family townhouse residential zone is intended to provide for medium-high density, quality, diversified multiple family home options. The minimum lot area per dwelling unit shall be 2,500 square feet.
- f) ~~(R-3 1,800) Multiple Family Residential District:~~ ~~This is a high density multiple-family residential zone designed to provide an area for garden apartments, courts, dwelling groups, and similar development with a maximum of open space and related amenities which will enhance the living qualities of the development. This land use is intended to provide a rental option for residents who may be employed in nearby areas, including those in Hunter's Ridge. The minimum lot area per dwelling unit shall be 1,800 square feet.~~
- g) C - Commercial District: This neighborhood commercial district is intended to provide retail and service commercial facilities to serve residents and visitors to Hunter's Ridge, surrounding neighborhoods and the general community.
- h) P - Public: The public district is intended to provide for schools and parks to primarily serve residents and employees in Hunter's Ridge at or above current standards.

Amended _____
City Council Ord. No. ____

II-10

Amended 8/2/94
City Council Ord. No. 1123

Amended 12/19/95
City Council Ord. No. 1170

D4 - 17

P - Permitted
C - Conditional Use

**HUNTER'S RIDGE SPECIFIC PLAN
PERMITTED USES
NON-RESIDENTIAL DISTRICTS
(CONTINUED)**

EXHIBIT II-3

COMMERCIAL USES	
PLANNING AREA	5
<u>Service Establishments. (Continued)</u>	
Launderette, Laundry Facility	p
Photographer	p
Post Office	p
Professional Offices; Administrative, Business, Organizational, including Medical	p
Professional Studio	p
Public Safety Facility (Police, Fire)	c
Public Uses, Structures and Facilities	p
Self Storage (Mini-Storage Warehouse)	c
Shoe Repair	p
Tailor	p
Temporary Uses	p/2
Theater	p
Travel Agency	p
Use including Outdoor activity, Display or Storage	c

2 As permitted by the City Code.

Amended _____
City Council Ord. No. ____

**SITE DEVELOPMENT STANDARDS HUNTER'S RIDGE SPECIFIC PLAN
MULTIPLE FAMILY RESIDENTIAL AND NON-RESIDENTIAL**

EXHIBIT II-5

LAND USE		MULTIPLE FAMILY RESIDENTIAL		COMMERCIAL	PUBLIC		OPEN				
ZONING	CATEGORY DISTRICT DWELLING TYPE	HIGH DENSITY	Planned Residential Development	Commercial	Public Park	School	Flood Control	Utility Ease- ment	Open Space	Duncan Canyon Setback	Summit Avenue Setback
		R3-2500 TOWNHOUSE	R3-1800 APARTMENT								
Planning Unit Area(s)		3 3A	6	All R3 Planning Unit Areas	5 & 8	4 10	9	D G K L	H I J M O P Q	C N R S T U V	E F A B
Site Development Factor											
Min. Project Size Min. Net Lot Size Conventional		3.0 AC N/A	3.0 AC N/A	3.0 AC Determined by unit size/2	4 ac./ 3.5 ac.* Determined by bldg. size/3	3 ac. N/A	10 ac. N/A	N/A N/A	N/A N/A	N/A N/A	N/A N/A
Min. Bldg. Pad		15,000 SF	10,000 SF	Determined by unit size/2	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Min. Net Lot Area/DU		2,500 SF	1,800 SF	Per Applicable Zoning District	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Max. Lot Coverage		60%	60%	N/A	40%/60%*	N/A	N/A	N/A	N/A	N/A	N/A
Planning Area 8											

needed _____
by Council Ord. No. ____

needed 8/2/94
by Council Ord. No. 1123

**SITE DEVELOPMENT STANDARDS HUNTER'S RIDGE SPECIFIC PLAN
MULTIPLE FAMILY RESIDENTIAL AND NON-RESIDENTIAL**

**EXHIBIT II-5
(Continued)**

LAND USE		MULTIPLE FAMILY RESIDENTIAL		COMMERCIAL	PUBLIC		OPEN					
Zoning	Category District Dwelling Type	High Density R3-2500 Townhouse	Planned Residential Development R3-1800 Apartment	Commercial	Public Park	School	Flood Control	Utility Easement	Open Space	Duncan Canyon Setback	Summit Avenue Setback	
Planning Unit Area(s)		3 3A	8	All R3 Planning Unit Areas	5 & 8	4 10	9	D G K L	H I J M O P Q	C N R S T U V	E F	A B
Site Development Factor												
Min. Lot Width												
> Conventional		100'	90'	Determined by unit size/2	Determined by unit size/3	Per City requirement	Per School District req.	Per Flood Control req.	Per Utility req.		Project Frontage on Duncan	Project Frontage on Summit
> Planned Development												
Min. Lot Depth						Per City Req.	Per School District Req.	Per Flood Control Req.	Per Utility req.		30'	20'

mended _____
ity Council Ord. No. _____

mended 8/2/94
ity Council Ord. No. 1123

**SITE DEVELOPMENT STANDARDS HUNTER'S RIDGE SPECIFIC PLAN
MULTIPLE FAMILY RESIDENTIAL AND NON-RESIDENTIAL**

**EXHIBIT II-5
(Continued)**

LAND USE		MULTIPLE FAMILY RESIDENTIAL			COMMERCIAL	PUBLIC		OPEN				
ZONING	CATEGORY DISTRICT DWELLING TYPE	HIGH DENSITY		Planned Residential Development	Commercial	Public Park	School	Flood Control	Utility Easement	Open Space	Duncan Canyon Setback	Summit Avenue Setback
		R3-2500 TOWNHOUSE	R8-1800 APARTMENT									
Planning Unit Area(s)		3 3A	8	All R3 Planning Unit Areas	5 & 8	4 10	9	D G K L	H I J M O P Q	C N R S T U V	E F	A B
Site Development Factor												
Min. Lot Depth Conventional Planned Development		120'	100'	Determined by unit size/2	Determined by bldg. size/3							
Min. Front Bldg. Setback (Avg/Min)		15'	15'	15/4'	10'/5'/8 min.*	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Min. Interior Side d Bldg. Setback (Avg/Min)		5'	5'	10/4'	0'/6'/0*	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Min. Exterior Blvd. Setback (Avg/Min)		5'	5'	10/4'	10'/6'/8 min.*	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Min. Rear Bldg. Setback (Avg/Min)		10'	10'	20/4'	0'/6'/0*	N/A	N/A	N/A	N/A	N/A	N/A	N/A

TE: *For Planning Area 8 only.

Amended _____
City Council Ord. No. _____

II-36

Amended 8/2/94
City Council Ord. No. 1123

Amended _____
City Council Ord. No. _____

**SITE DEVELOPMENT STANDARDS HUNTER'S RIDGE SPECIFIC PLAN
MULTIPLE FAMILY RESIDENTIAL AND NON-RESIDENTIAL**

**EXHIBIT II-5
(Continued)**

LAND USE		MULTIPLE FAMILY RESIDENTIAL		COMMERCIAL	PUBLIC		OPEN					
ZONING	CATEGORY DISTRICT DWELLING TYPE	HIGH DENSITY		Planned Residential Development	Commercial	Public Park	Schoo l	Flood Contro l	Utility Ease- ment	Open Space	Duncan Canyon Setback	Summit Avenue Setback
		R3-2500 TOWNHOUSE	R3-1800 APARTMENT									
Planning Unit Area(s)	D4 - 22	3 3A	6	All R3 Planning Unit Areas	5 & 8	4 10	9	D G K L	H I J M O P Q	C N R S T U V	E F	A B
Site Development Factor												
Min. Distance Between Structures/11												
Single Story		15'	15'	15'	0'/30'	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Two Story		20'	20'	20'	0'/30'	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Min. Garage Front-On Setback/4 or Reverse Setback		5'4	5'4	20'4	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Max. Building/5 Height		35'5	35'5	35'5	30'5	35'	N/A	N/A	N/A	N/A	N/A	N/A
Min. Dwelling Unit Size		800 SF	600/800 600	Per Applicable Zoning District	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A

Amended _____
City Council Ord. No. _____

II-37

Amended 8/2/94
City Council Ord. No. 1123

**SITE DEVELOPMENT STANDARDS HUNTER'S RIDGE SPECIFIC PLAN
MULTIPLE FAMILY RESIDENTIAL AND NON-RESIDENTIAL**

**EXHIBIT II-5
(Continued)**

LAND USE		MULTIPLE FAMILY RESIDENTIAL		COMMERCIAL	PUBLIC		OPEN				
ZONING	CATEGORY DISTRICT DWELLING TYPE	HIGH DENSITY	Planned Residential Development	Commercial	Public Park	School	Flood Control	Utility Easement	Open Space	Duncan Canyon Setback	Summit Avenue Setback
		R3-2500 TOWNHOUSE	R3-1800 APARTMENT				1				
Planning Unit Area(s)		3 3A	6	All R3 Planning Unit Areas	5 & 8	4 10	9	D G K L	H I J M O P Q	C N R S T U V	E F A B
Site Development Factor											
Req. Parking Spaces											
o Garage/8		2/2.25		2/2.25							
o Garage or Carport/8		2/DU	2/2.25								
o Parking Space (Guest)		.3/DU	.3/DU	.3/DU	1/250 of gross* bldg. area	Per city req	Per School District req.	N/A	N/A	N/A	N/A
Min. Private Yard/9 Area		100	100	200 SF	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Minimum width		8'	8'	8'							
Req. Common Useable OS											
o Area per DU		200 SF	200 SF	300 SF	N/A	N/A	N/A	N/A	N/A	N/A	N/A
o Per Min. Lot Area		1,500	1,500								
o Min Common Useable OS		2,500	2,500								
o Min. Width		25'	25'								

Required Parking Spaces for Self Storage is 1/150 units.

**SITE DEVELOPMENT STANDARDS HUNTER'S RIDGE SPECIFIC PLAN
MULTIPLE FAMILY RESIDENTIAL AND NON-RESIDENTIAL**

**EXHIBIT II-5
(Continued)**

LAND USE		MULTIPLE FAMILY RESIDENTIAL			COMMERCIAL	PUBLIC		OPEN				
Zoning	Category district Dwelling Type	High Density		Planned Residential Development	Commercial	Public Park	School	Flood Control	Utility Easement	Open Space	Duncan Canyon Setback	Summit Avenue Setback
		R3-2500 Townhouse	R3-1800 Apartment									
Planning Unit Area(s)	D4-24	3 3A	6	All R3 Planning Unit Areas	5 & 8	4 10	9	D G K L	H I J M O P Q	C N R S T U V	E F	A B
Site Development Factor												
Min. Landscape Coverage		15%	15%		15%/20%*	Per city requir e-ment	Per School Dist. req.	N/A	N/A	N/A	85% (allows 4' walk)	80% (allows 4' walk)
Net Residential Density		16.7	22.0	Per Applicable Zoning District	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A

NOTE: Minimum landscape coverage for self-storage of parking area.

GENERAL PROVISIONS MATRIX
(Continued)

Provision

Applicable To

R C P O

22. Parking

Parking Specifications

- | | | |
|----|---|---------|
| a. | Average of one space per 250 square feet of gross building area. One space per 150 storage units. | X |
| b. | Parking lots and driveways may be located a minimum of 5' from the property line if buffered by approved landscaping and edge treatment per the Specific Plan Design Guidelines. | X X X X |
| c. | Handicapped parking spaces shall be provided in non-residential uses at a minimum of 1 space/40 required parking spaces. Spaces shall be grouped and located near major building entrances. Each space shall have a minimum width of twelve feet and a vertical clearance of not less than 96 inches. | X X X |
| d. | If at least a 10-foot sideyard is provided, for a conventional single-family residence, recreation vehicles may be stored if screened from adjacent residences (see Exhibit III-49). Otherwise, RV storage shall be prohibited. | X |
| e. | Recreational vehicles shall be permitted only in designated RV storage only in designated RV storage areas for single-family, zero lot line, or multi-family dwellings. | X |
| f. | Establishment and maintenance of transportation system management programs to the satisfaction of the Planning Commission as an integral part of a Development Plan may justify consideration of off-street parking reductions. | X |
| g. | On-site or off-site shared parking facilities may be approved by the Planning Commission as part of a development plan so long as avoidance of conflicts in hours of operation can be documented. | X X X |

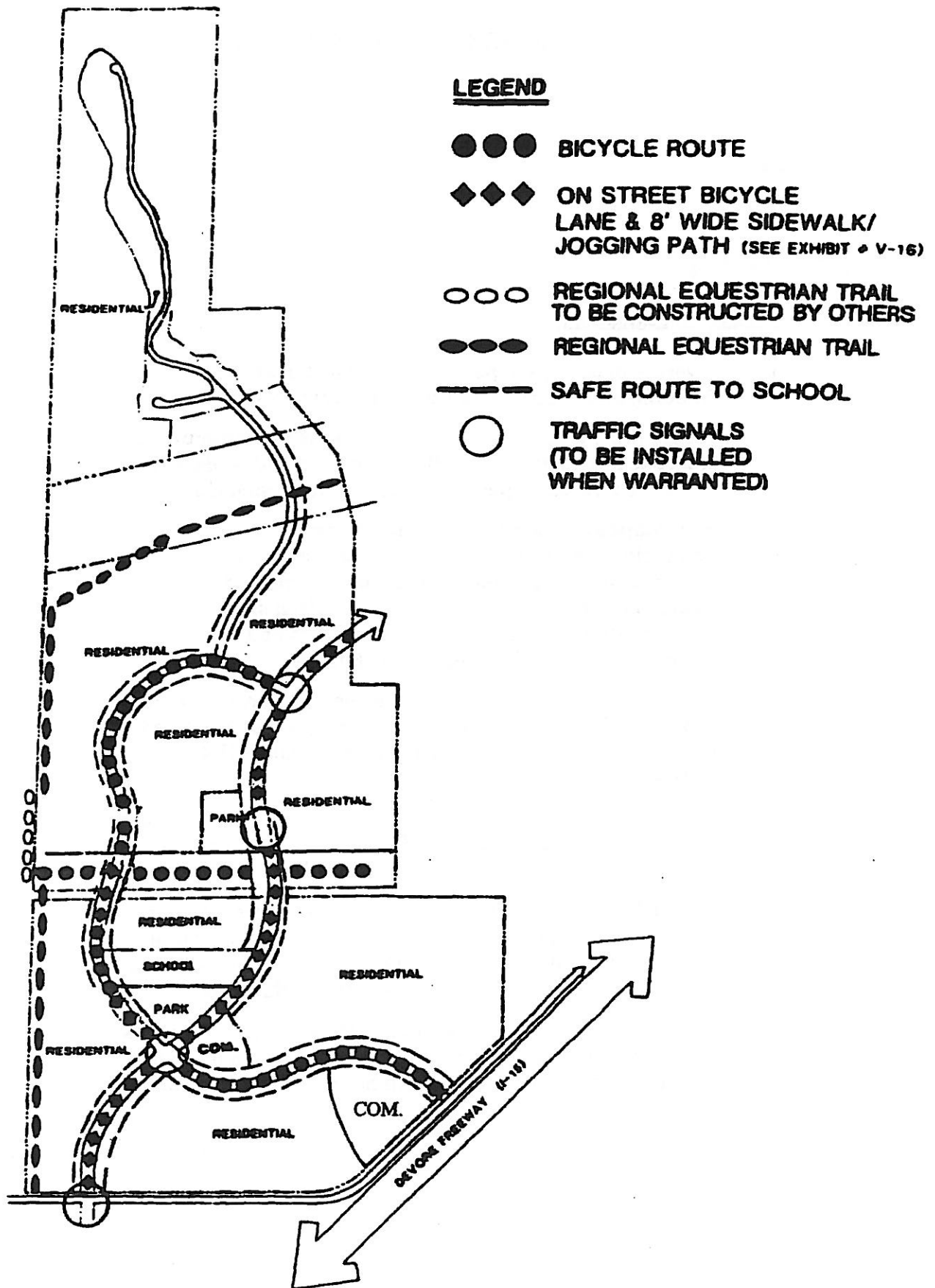
R C P O

II-53

Amended 8/2/94
City Council Ord. No. 1123

Amended _____
City Council Ord. No. ____

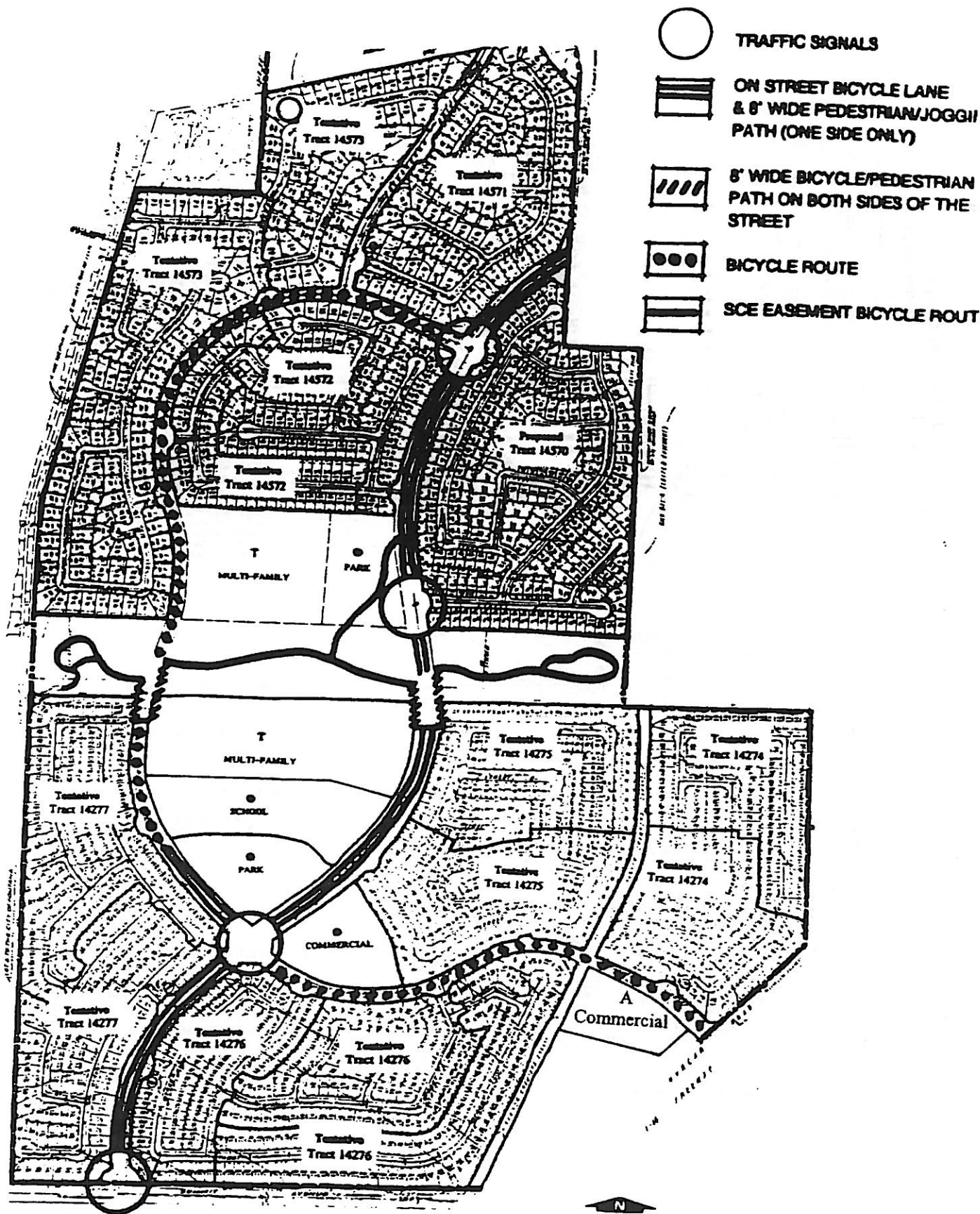
1021



RECREATIONAL TRAIL PLAN

Hunter's Ridge





BICYCLE TRAIL PLAN

HUNTER'S RIDGE

D4 - 27

NOT TO SCALE

EXHIBIT #III-5A

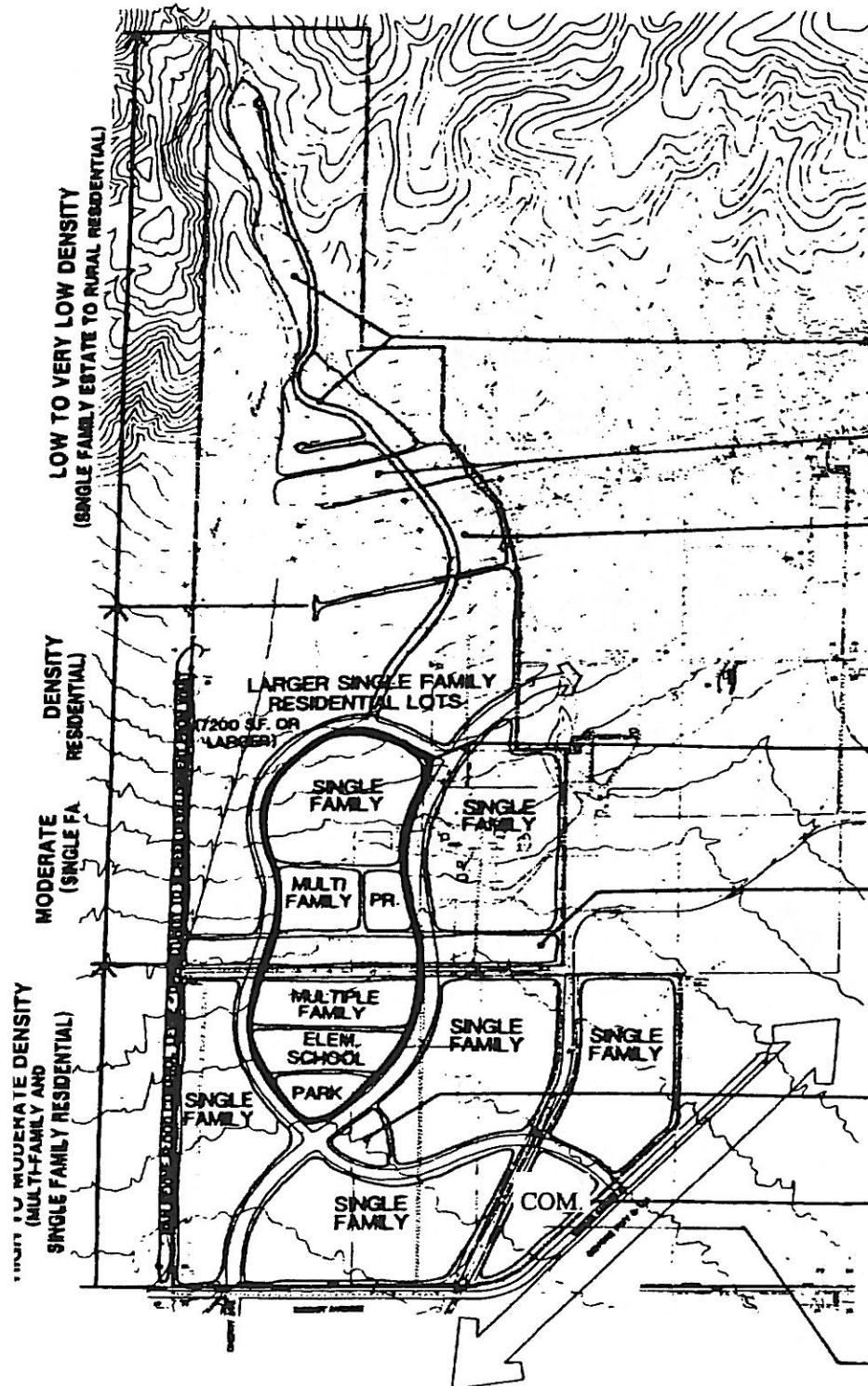
#V-40A

AMENDED 8/2/94

III-15

1-1-1

Community Structure



ESTATE LOTS

- OPTIMIZE VIEWS TO CITY & VALLEY

WILDERNESS PARK

- POTENTIAL FOR NON-RESIDENTIAL USE ON FAULT ZONE
- POTENTIAL FOR REGIONAL AND LOCAL USE

OPEN SPACE TRANSITION

- UNIMPROVED UTILITY EASEMENT
- POTENTIAL EQUESTRIAN TRAIL LINK
- POTENTIAL TRANSITION TO LARGE ESTATE

COMMUNITY CORE

- CENTRALLY LOCATED SCHOOL/PARK
- LOOP ROAD JOINING WITH MAJOR ARTERIAL TO ENCLOSE & PROVIDE ACCESS
- GREENBELT IMPROVED TO LINK PHASES
- TWO PARKS PROVIDE COMMUNITY RECREATION
- COMMUNITY IMAGE & FOCUS OPPORTUNITY

GREENBELT

- IMPROVE UTILITY EASEMENT
- USABLE RECREATION CORRIDOR
- PEDESTRIAN/BICYCLE ACCESS

NEIGHBORHOOD COMMERCIAL

- LOCATION AT CROSSROADS, EASY RIGHT TURN ACCESS
- OPPORTUNITY TO VARY USE ALONG ARTERIAL
- ADJACENT TO COMMUNITY CORE

HIGH-DENSITY

- EXCELLENT ACCESS TO FREEWAY, LEADS TRAFFIC THROUGH PROJECT
- OPPORTUNITY FOR SOUND ATTENUATION - MULTIPLE FAMILY BUILDINGS CAN BE MORE ECONOMICALLY SOUND-INSULATED & CAN SHIELD SINGLE FAMILY HOMES AS WELL
- 30' LANDSCAPE AT SETBACK TO VISUALLY SCREEN AND BEAUTIFY

COMMERCIAL (Self Storage)

- Access to Freeway
- Sound & Visual Barrier from Freeway

Amended 5/4/99

City Council Ord. No. 1286

Hunter's Ridge

A SPECIFIC PLAN PREPARED FOR THE CITY OF FONTANA

AMENDED:

CITY COUNCIL ORDS. NOS. 1123(8/2/94)

D4 - 28

1170(10/10/95)



EXHIBIT V-1

107

Land Use

LEGEND

RESIDENTIAL

ESTATE RESIDENTIAL

RE-10000	50	1
SINGLE FAMILY RESIDENTIAL		
R1-7200	318	9
R1-5000	740	13
R1-4500	438	7

MULTI FAMILY RESIDENTIAL

R3-2500 (TOWNHOUSE)	380	23
R3-1800 (APARTMENTS)	290	18

SUB-TOTAL 2166 34

NON-RESIDENTIAL

COMMERCIAL (C)

NEIGHBORHOOD COMMERCIAL	9	5
-------------------------	---	---

PUBLIC (P)

PARK	19	10
ELEMENTARY SCHOOL	10	10

OPEN (O)

IMPROVED	21	1
UNIMPROVED	152	9

STREET

PUBLIC	38	6
--------	----	---

SUB-TOTAL 250.8 347.3
TOTAL 595.0 602.3

PLANNING UNIT AREA DATA

1	PLANNING UNIT AREA NUMBER/LETTER
R1 4500	ZONING DISTRICT
43.4 AC	NET ACRES
292 DU	MAXIMUM PERMITTED DWELLING UNITS



Hunter's Ridge

A SPECIFIC PLAN PREPARED FOR THE CITY OF FONTANA

REFERENCES FOR BASE INFORMATION:

*A.L.T.A. SURVEY BY ROBERT, BEN & FROST JAN 14, 1988
*J.P. KAPP & ASSOCIATES, INC.

EXHIBIT V-2

Amended:

City Council Ord. Nos. 1218 (05/20/97)
1170 (12/19/95)
1123 (08/02/94)

D4 - 29

V-8

18

TABLE 5-1

**HUNTER'S RIDGE DRAFT SPECIFIC PLAN
LAND USE SUMMARY**

	Phase 1A Acres/DU	Phase 1B Acres/DU	Phase 1C Acres/DU	Phase 2 Acres/DU	Phase 3 Acres/DU	Total Acres/DU	Percent Acres/DU
I. Residential							
A. Estate Residential	-----	-----	-----	-----	19.43AC/50du	19.43AC/50du	3.4%/2.3%
B. Single-Family Residential							
7200 SF/du	-----	55.4AC/192du	-----	24.9AC/81du	-----	80.3AC/273du	14.1%/12.9%
5000 SF/du	71.9AC/404du	-----	-----	68.0AC/336du	-----	139.9AC/740du	24.6%/34.9%
4500 SF/du	71.5AC/438du	-----	-----	-----	-----	71.5AC/438du	12.6%/20.7%
C. Multiple-Family Residential							
Townhouse	-----	-----	23.1AC/390du	-----		23.1AC/390du	4.1%/18.4%
Apartment	-----	-----	10.8AC/230du	-----		10.8AC/230du	1.9%/10.8%
Subtotal (AC)	143.4	55.4	93.9 23.1	92.9	34.1	344.9 344.2	60.7 57.8%
Residential Total	842 du	192 du	620 390 du	417 du	50 du	2,121 1,936 du	100%

V-9

Amended 12/19/95
City Council Ord. No. 1170

Amended 4/5/99
City Council Ord. No. 1286

Amended 8/2/94
City Council Ord. No. 1123

Amended _____
City Council Ord. No. ____

TABLE 5-1

HUNTER'S RIDGE DRAFT SPECIFIC PLAN
LAND USE SUMMARY
(Continued)

	Phase 1A Acres/DU	Phase 1B Acres/DU	Phase 1C Acres/DU	Phase 2 Acres/DU	Phase 3 Acres/DU	Total Acres/DU	Percent Acres/DU
II <u>Non-Residential</u>							
A. Commercial	5.5 9.0 ac	-----	-----	-----	-----	5.5 9.0 ac	1.0%
B. Public School	10.0 ac	-----	-----	-----	-----	10.0 ac	1.7%
Park	5.9 ac	4.8 ac	-----	8.6 ac	-----	19.3 ac	3.4%
Major Roads	14.4 ac	10.3 ac	-----	3.3 ac	5.9 ac	33.9 ac	6.0%
C. Open Improved	21.5 ac	-----	-----	-----	-----	21.5 ac	3.8%
D. Open/Unimproved							
Scenic Open Space	-----	-----	-----	0.8 ac	95.0 ac	95.8 ac	16.9%
Flood Control	7.8 ac	-----	-----	-----	-----	8.5 ac	1.5%
Utility Easement	-----	-----	-----	0.7 ac	-----	23.4 ac	4.1%
Freeway Buffer	1.6 ac	-----	-----	23.4 ac	-----	1.6 ac	0.3%
Summit Ave. Buffer	0.9 ac	-----	-----	-----	-----	0.9 ac	0.2%
Other	0.7 ac	0.8 ac	-----	-----	0.8 ac	2.3 ac	0.4%
Non-Residential Total	68.3 79.1 ac	15.9 ac	-----	36.8 ac	101.7 ac	222.7 233.5 ac	39.3%
Total	211.1 222.5 ac	71.3 ac	33.9 ac	129.7 ac	121 ac	567.6 ac	100.0%

V-10

Amended 12/19/95
City Council Ord. No. 1170

Amended 4/5/99
City Council Ord. No. 1286

Amended 8/2/94
City Council Ord. No. 1123

Amended _____
City Council Ord. No. ____

2. Non-Residential Uses

Non-residential uses account for approximately ~~222.7~~ 233.5 gross acres and ~~39.3~~ 41.1 percent of the Hunter's Ridge community.

a. Commercial (C)

One commercial planning unit area is shown on the plan. This commercial area will be located on the interior of the project and is intended to provide a range of neighborhood retail and service uses. (See Permitted Use Matrix - Exhibit II-3).

b. Public Uses (P)

Three planning unit areas are set aside for public uses to support the private development which constitutes the bulk of the community. In addition, other uses not identified as planning unit areas qualify as public uses.

- 1) Parks: Two local park sites are designated, ranging from 4.8 to 5.9 acres. They are located to visually and functionally serve all neighborhoods in the plan.

In addition, two wilderness parks are designated with areas of 3.7 to 4.9 acres, respectively. These parks are located in the southern Phase 3 area adjacent to the San Sevaine and Bullock Canyons.

The total local park acreage of 19.3 acres exceeds the City minimum requirements (16.3 acres) by 3.0 acres or 18 percent.

Note: This total does not include the scenic open space land (95.0 acres) in the upper canyon which will also be a public resource, nor the N-S and E-W equestrian trail (see Trail Exhibit III-5).

- 2) Schools: One elementary school (10.0 acres) is strategically located in the center of the community core for ease of access to all residents.

V-12

Amended 12/19/95
City Council Ord. No. 1170

Amended 4/5/99
City Council Ord. No. 1286

Amended 8/2/94
City Council Ord. No. 1123

Amended _____
City Council Ord. No. ____

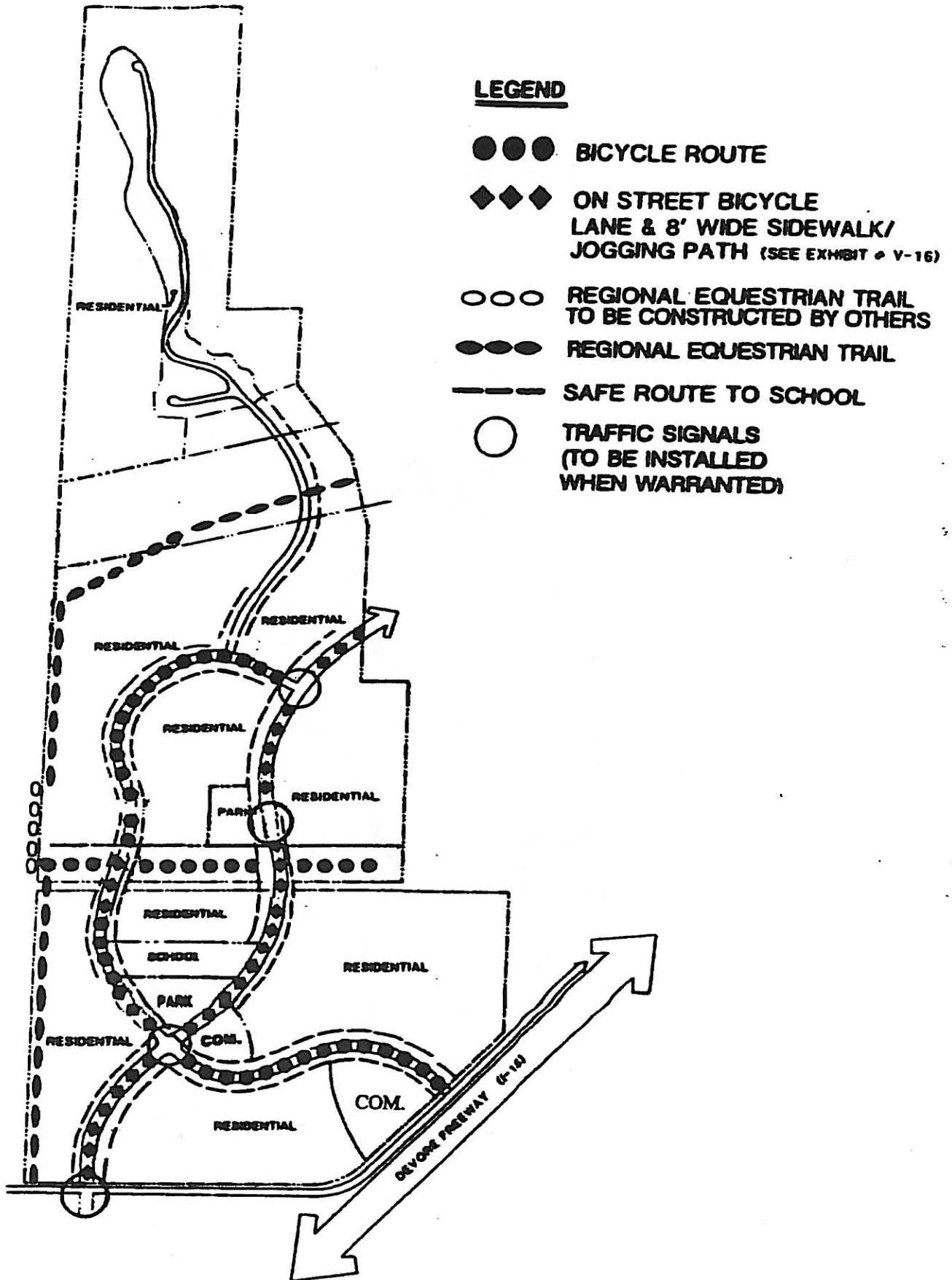
Land Deve Plan

Commercial

Hunter's Ridge

D4 - 33

Mr.



RECREATIONAL TRAIL PLAN

Hunter's Ridge

D4 - 34

0' 100' 500' 1000'



Amended 5/4/99

A SPECIFIC PLAN PREPARED FOR THE CITY OF FONTANA

EXHIBIT # III-5

17 22

172

Approximately 90 percent of the District's present water consumption is provided by local ground water resources and the remaining 10 percent, from the Foothill Feeder of the Metropolitan Water District of Southern California. This agency has indicated that they have adequate water supply available to serve the Hunter's Ridge Project. Delivery of the alternate water supply could be achieved with the construction of an off-site pipeline connection from the District's available water supply to the project site.

City of Fontana

The City of Fontana purchases water from the Cucamonga County Water Department (CCWD) via a metering station located approximately 13,000 feet west of Cherry Avenue on Summit Avenue, at a hydraulic gradient elevation of 1879 feet.

c. Water Demands

Water demands for the Hunter's Ridge Project were estimated on a "land use" basis for each alternate water purveyor, using criteria provided by each agency. The following is a summary of the estimated maximum daily water demands, in gallons per minute (gpm), shown by project phase and service agency:

ESTIMATED WATER DEMANDS

<u>Project Phase</u>	<u>Dwelling Units</u>	<u>CCWD (gpm)</u>	<u>FWC (gpm)</u>
1	1,699 1,469	1,025	1,288
2	417	310	425
3	50	40	47
TOTALS	2,121 1,936	1,375	1,760

d. Conceptual Water System

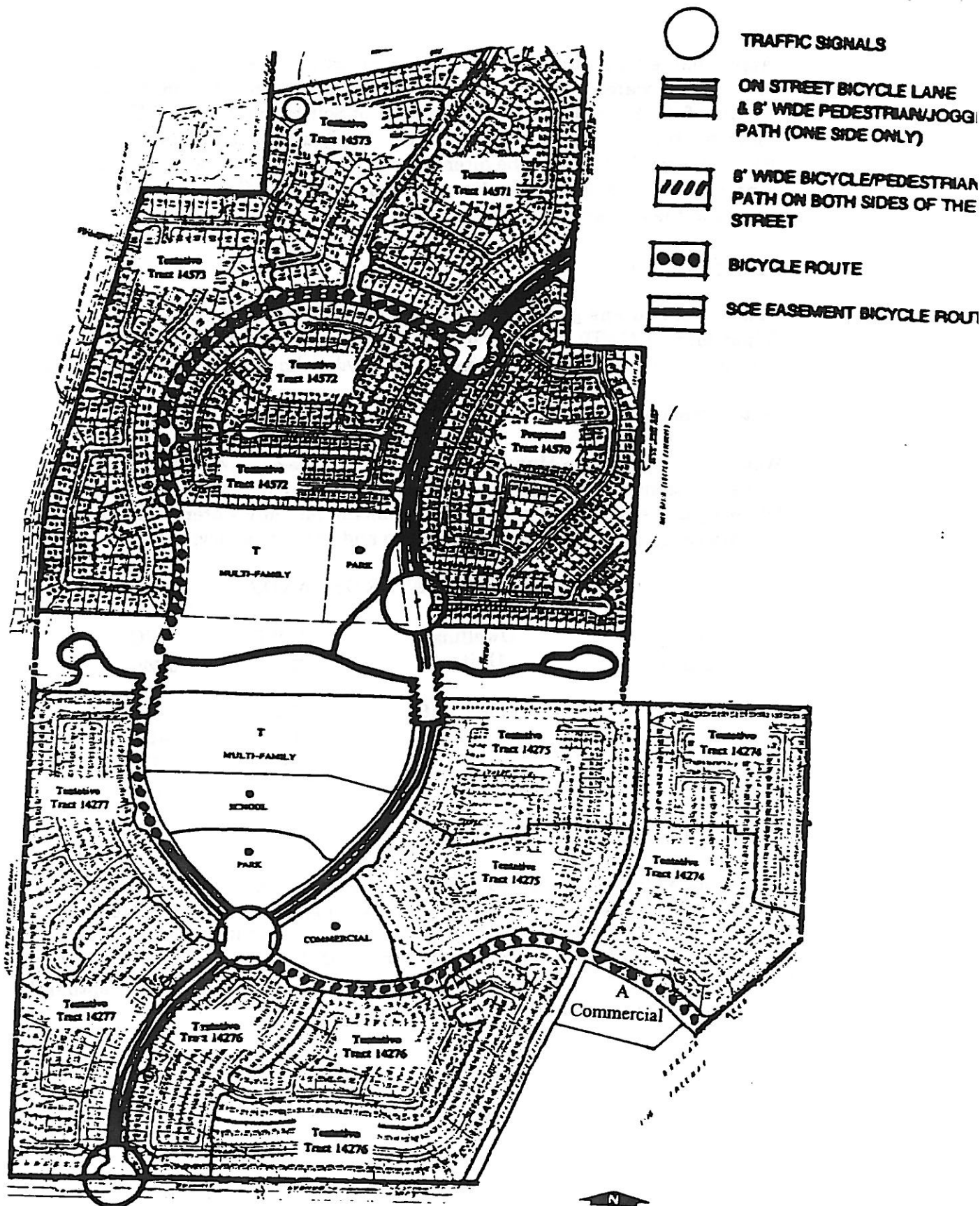
The on-site water system would consist of: transmission and distribution mains to deliver the water supply to the various areas of use from the water supply source; two on-site reservoirs designed for a maximum days demand plus emergency and fire flow storage; at least two pump stations to lift the water needed for service at higher service elevations to upper service elevation reservoir. The Conceptual Water System is shown on Exhibit V-42.

V-98

Amended 8/2/94
City Council Ord. No. 1123

Amended _____
City Council Ord. No. ____

71



BICYCLE TRAIL PLAN

HUNTER'S RIDGE

NOT TO SCALE

EXHIBIT #III-5A

#V-40A

RECEIVED 8/2/94

D4 - 36 V-83

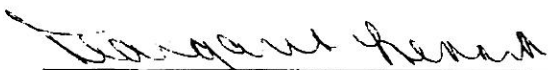
**PROOF OF PUBLICATION
(2015.5 C.C.P.)**

State of California
County of San Bernardino

I am a citizen of the United States and a resident of the County aforesaid; I am over the age of eighteen years, and not a party to or interested in the above entitled matter. I am the principal clerk of the printer of the Fontana Herald News, a newspaper of general circulation, printed and published every Thursday in the City of Fontana, County of San Bernardino, and which newspaper has been adjudged a newspaper of general circulation by the Superior Court of the State of California, in and for the County of San Bernardino, under the date of March 15, 1955, Case Number 73171, and that the notice, of which the annexed is a printed copy (set in type not smaller than nonpareil), has been published in each regular and entire issue of said newspaper and not in any supplement there of on the following dates, To-wit: November 4, 1999.

I certify (or declare) under penalty of perjury that the foregoing is true and correct.

Dated at Fontana, California, this 4th day of November, 1999.



Signature

This space is for the
County Clerk's stamp

**SUMMARY OF ADOPTED
ORDINANCE NO. 1306
P.O.# 00-0B003**

**CITY OF FONTANA
FONTANA, CALIFORNIA**

**SUMMARY OF ADOPTED
ORDINANCE NO. 1306**

NOTICE IS HEREBY GIVEN that the City Council of the City of Fontana, at a regular meeting held on Tuesday, November 2, 1999 in the City Hall Council Chambers, 8353 Sierra Avenue, said Council adopted Ordinance No. 1306, approving Specific Plan Amendment #89-03 (Hunter's Ridge Specific Plan Amendment #8) to change the Land Use Designation of Planning Area 8 from "R-3, 1,800" Multi-Family to "C" Commercial and will revise various land use requirements as they relate to the Commercial Land Use within the Hunter's Ridge Specific Plan.

A certified copy of the full text of the ordinance is available in the office of the City Clerk of the City of Fontana, 8353 Sierra Avenue, Fontana, California 92335.

AYES: Mayor Eshleman,
Council Members Gonzales,
Mancha, Roberts
NOES: None
ABSENT: None
ABSTAINED: Council
Member Nuaimi

**CITY COUNCIL OF THE
CITY OF FONTANA**
David R. Eshleman, Mayor

**Elizabeth Watson
City Clerk**

**Printed: November 4, 1999
P.O.# 00-0B003**

FONTANA HERALD NEWS

16920 Spring Street
P.O. Box 549

Fontana, California 92334

Phone (909) 822-2231

Fax (909) 355-9358

8
ORDINANCE NO. 1306 11/2/99

AN ORDINANCE OF THE CITY OF FONTANA
APPROVING SPECIFIC PLAN AMENDMENT NO.
99-03 (HUNTER'S RIDGE SPECIFIC PLAN
AMENDMENT #8) TO CHANGE THE LAND USE
DESIGNATION OF PLANNING AREA 8 FROM "R-3,
1,800" MULTI-FAMILY TO "C" COMMERCIAL AND
REVISE VARIOUS LAND USE REQUIREMENTS AS
THEY RELATE TO THE COMMERCIAL LAND USE
WITHIN THE HUNTER'S RIDGE SPECIFIC PLAN.

THE CITY COUNCIL OF THE CITY OF FONTANA DOES ORDAIN AS
FOLLOWS:

Section 1. Find that the project will not have a significant effect on the environment, adopt the Negative Declaration and State of California Department of Fish and Game de Minimis Impact Finding, and direct staff to prepare and file a Notice of Determination.

Section 2. Specific Plan Amendment No. 99-03 is consistent with the goals and policies of the General Plan.

Section 3. Specific Plan Amendment No. 99-03 is hereby approved and the land use designation of Planning Area 8 (assessor Parcel No. 0226-082-41) will be changed from "R-3, 1,800" Multi-Family to "C" Commercial as shown on Exhibit "A".

Section 4. In addition to the land use designation changes there are a number of other areas within the specific plan that are being revised as they relate to the commercial use as shown in Exhibit "B" and incorporated herein.

Section 5. This Ordinance shall take effect thirty (30) days after the date of the adoption and prior to the expiration of fifteen (15) days from passage thereof, shall be published by the City Clerk at least once in the Herald News, a newspaper of general circulation, published and circulated in the City of Fontana, and henceforth and thereafter the same shall be in full force and effect.

APPROVED AND ADOPTED this 2nd day of November , 1999.

READ AND APPROVED AS TO LEGAL FORM:

Stephen P. Deutsch
City Attorney

CITY OF FONTANA PLANNING DIVISION

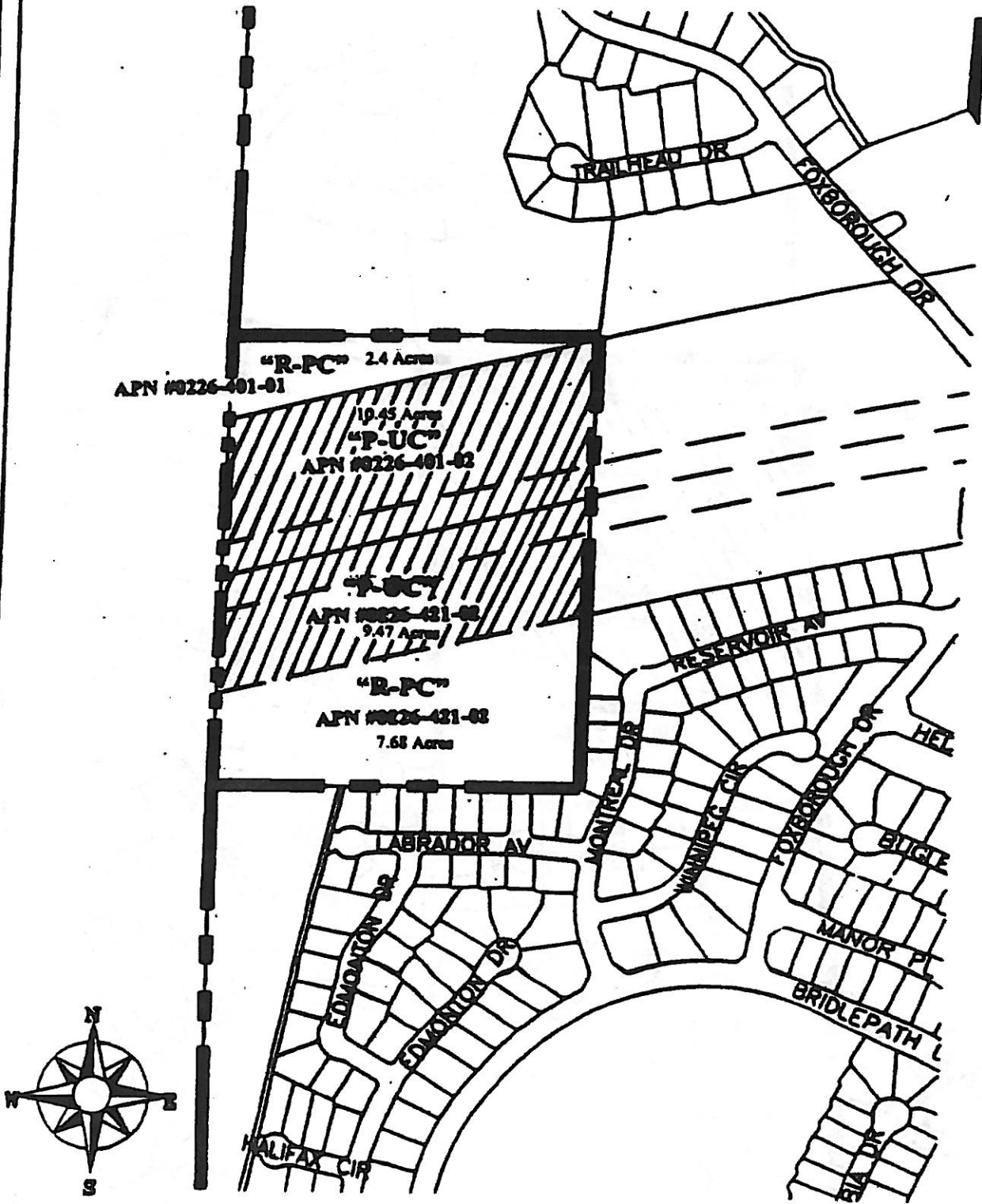


Exhibit "A"

DATE: MAY 4, 1999

CASE: GPA #98-07

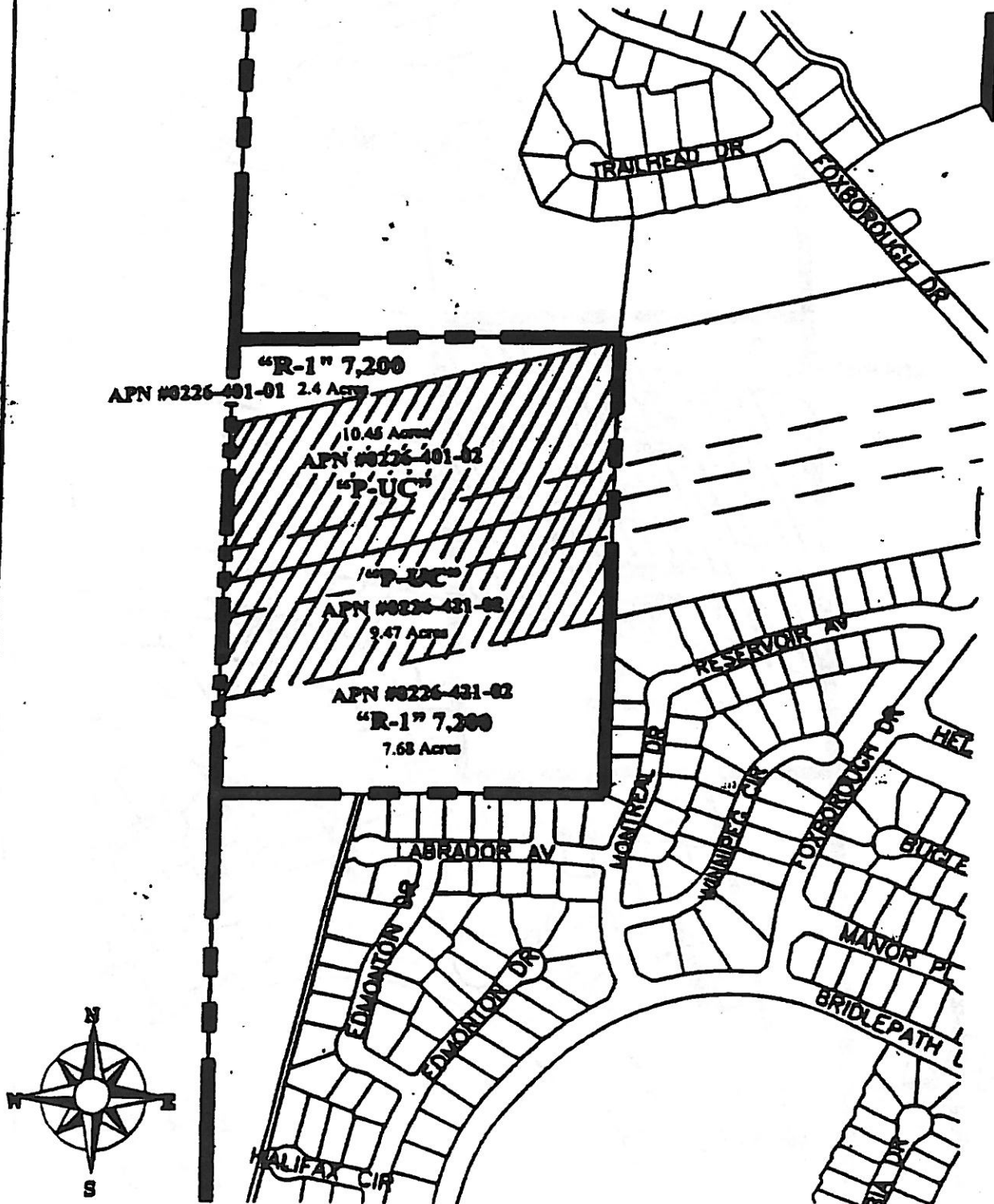
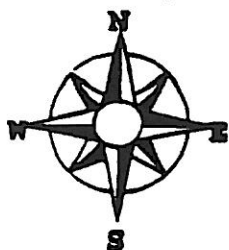


Exhibit "B"

DATE: MAY 4, 1999
CASE: SPA #98-05



Hunter's Ridge
Specific Plan #10

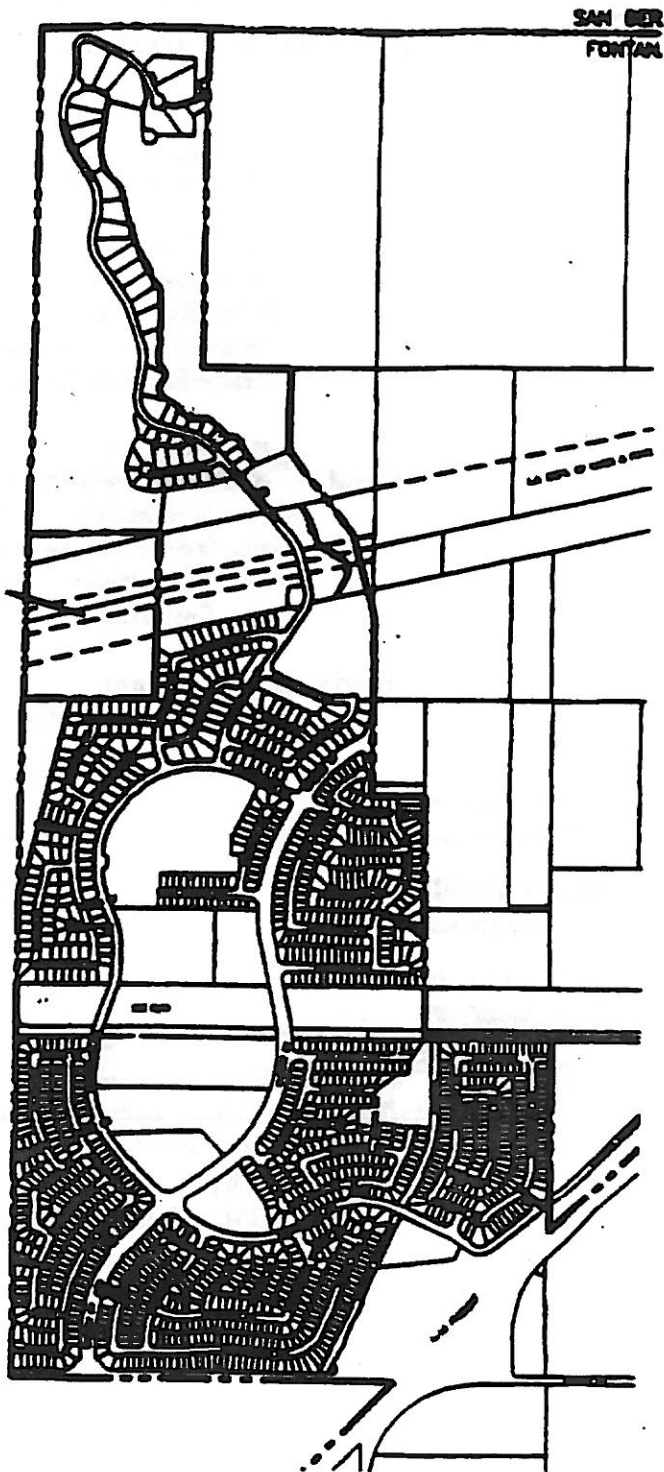


Exhibit "C"

DATE: MAY 4, 1999

CASE: Zone Change #98-07

Hunter's Ridge Specific Plan No. 10

MAYOR
David Eshleman

COUNCILPERSONS
~~Carl Coleman~~ Josie Gonzales
~~John Roberts~~
~~Ben Watson~~ Manuel Mancha
~~Nancy Hooper~~ Mark Nuaimi

COMMISSIONERS
~~Phillip W. Cochran, Chairman~~ Janice Rutherford, Chairperson
~~Pierre E. Rankin~~ Victor Quiroz
~~Patricia Jane Peoples~~ Bob Saathoff
~~Jeanette Bachand~~ Ken Galasso
Juan Guzman

INTERIM CITY MANAGER
~~Greg Devereaux~~ Kenneth R. Hunt

Frank Schuma
Community Development Director

Robert Weddle
City Engineer

Kevin Randolph
City Attorney

~~Paul Balbach~~ Debbie Brazill
~~Deputy~~ Planning Manager

Craig Bruorton, AICP
Senior Planner

~~Kathy Montoya~~ Beatrice Watson
City Clerk

Project Master Developer
First City/Hunter's Ridge Limited Partnership
Doug Ford
Kathy Tong
310/914-8000

Updated 5/4/99
Updated 12/19/98
Updated 6/20/96
Updated 8/02/94

I. INTRODUCTION

A. EXECUTIVE SUMMARY

This document contains all of the necessary information to implement the Hunter's Ridge Specific Plan.

The Hunter's Ridge site includes ⁶⁰⁰~~570~~ acres. It is located three miles west of Lytle Creek at the base of the lower slopes of the San Gabriel Mountains in the northwestern corner of the City of Fontana. The project site is bounded by Summit Avenue and Duncan Canyon Road (adjacent to U.S. Interstate Highway 15 - Devore Freeway) on its south and southwestern edge and the San Sevaine Creek and Wash along its western boundary. It is further bounded to the east by the Rich Basin and cultivated fields, and to the north the property is adjacent to the San Bernardino National Forest.

The site is adjacent to other regional jurisdictions including the City of Rancho Cucamonga to the south and the County of San Bernardino to the west. The proposed Foothill Freeway (Route 30) will be south of the property adjacent to Highland Avenue.

The project relationship to the region is depicted on the Vicinity Map Exhibit (page I-2).

The Hunter's Ridge Specific Plan can be summarized by the following points:

- It allows ²¹⁶⁶~~2,121~~ dwelling units on ^{602.3}~~507.6~~ acres for a gross density of ^{3.59}~~8.74~~ dwelling units per gross acre. (Note: This is less than the permitted 4.0 dwelling units per gross acre established by the LAFCO settlement agreement between the City of Fontana and the City of Rancho Cucamonga - See Appendix E: Background.)
- It provides rural residential, residential estate, single family residential, townhouse and apartment residential environments, ranging in density from 1 to 22 dwelling units per net acre (see Statistical Summary, Table II-1).
- It provides 5.5 acres for neighborhood commercial use.
- It includes 19.3 acres (10.7 acres for 2 parks plus an additional 8.6 acres to be developed as two wilderness parks) of park land, exceeding the City's local park requirement by 3.0 acres.
- It is designed to address the expressed desire by the City and the applicant to respond to the site's existing rural setting by providing scenic open space that respect the site's unique natural features (mountain slopes, drainages, and public easements), preserving significant historic resources, introducing local and regional recreation amenities, providing a local streetscape amenity package and promoting a rural effect streetscape and building materials.

CITY OF FONTANA, CALIFORNIA

Hunter's Ridge

PREPARED FOR THE CITY OF FONTANA

PREPARED FOR THE CITY OF FONTANA



SAN BERNARDINO NATIONAL FOREST

Land Use

LEGEND

RESIDENTIAL

OF DU

ESTATE RESIDENTIAL

RE-10000	50
SINGLE FAMILY RESIDENTIAL	318
R1-7200	290
R1-5000	740
R1-4500	438

MULTI FAMILY RESIDENTIAL

R3-2500 (TOWNHOUSE)	380
R3-1800 (APARTMENTS)	230

SUB-TOTAL 2,424

2166

NON-RESIDENTIAL

COMMERCIAL (C)

NEIGHBORHOOD COMMERCIAL

PUBLIC (P)

PARK
ELEMENTARY SCHOOL

OPEN (O)

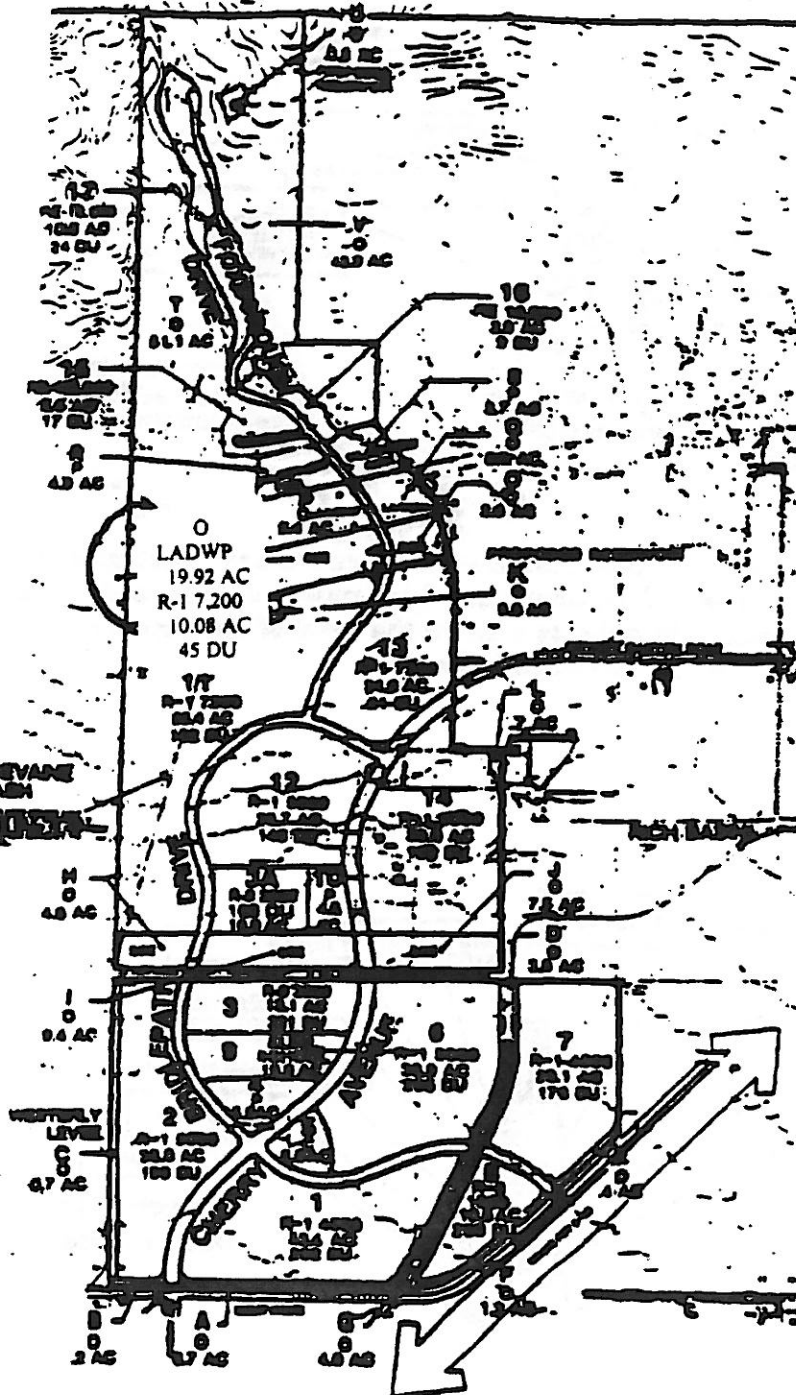
IMPROVED
UNIMPROVED

STREET

PUBLIC

SUB-TOTAL 247.3

TOTAL 602.3



PLANNING UNIT AREA DATA

1 PLANNING UNIT
AREA HUNTER'S RIDGE
R1 4500 - ZONING DISTRICT
43.6 AC - NET ACRES
302 DU - MAXIMUM PERMITTED
DWELLING UNITS

BASED ON 1/2" = 1' SCALE OF PLAN
LAYOUT & DISTANCE OF PLAN COORDINATES ON GRID PLAN

Hunter's Ridge

A SPECIFIC PLAN PREPARED FOR THE CITY OF FONTANA

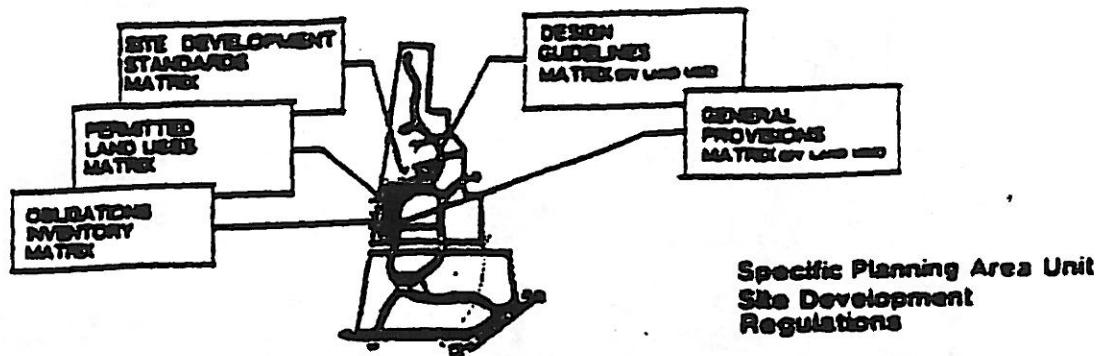
REPRODUCED FROM SOURCE INFORMATION

• A.L.T. DIVISION OF COUNTY, ROAD & FREIGHT
• A.P. HARRIS & ASSOCIATES, INC.

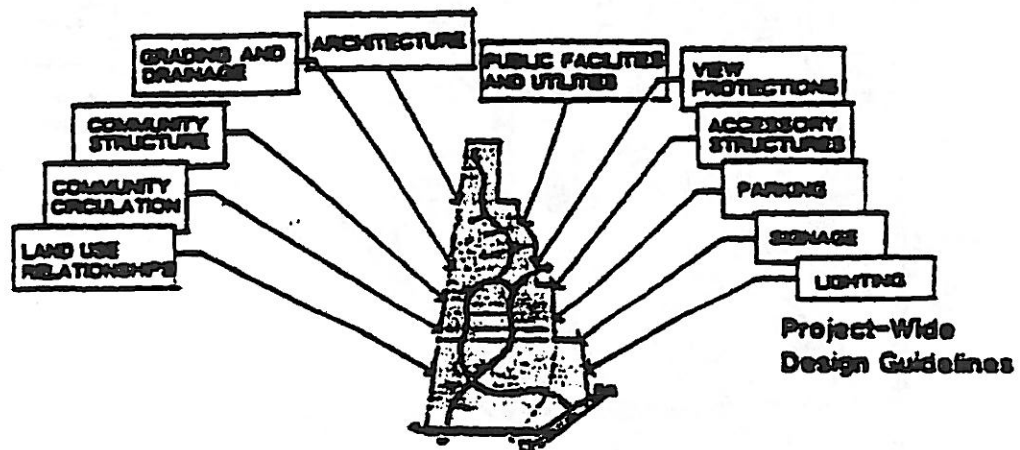


Amended 5/4/99
City Council Ord No.
AMENDED 12/19/95
CITY COUNCIL ORD. NO. 1170
A MEMORANDUM TO THE CITY COUNCIL

EXHIBIT I-2



- c. A design guidelines chapter describes in narrative and illustrates in diagrams the aspects of development which must be addressed by each development project in order to achieve the level of development quality intended by the plan. (See sketch below.)



- d. A plan administration and implementation chapter describes the rules and procedures for processing development plans and, if necessary, amending the specific plan. It also includes important sections on phasing development and financing the necessary public improvements and services.

SAN BERNARDINO NATIONAL FOREST

Land Use

LEGEND

RESIDENTIAL

OF DU NET ACRES

ESTATE RESIDENTIAL

RE-10000	50	19.3
SINGLE FAMILY RESIDENTIAL	318	90
R1-7200	270	80.0
R1-5000	740	130.0
R1-4500	430	71.8

MULTI FAMILY RESIDENTIAL

R2-2500 (TOWNHOUSE)	300	23.1
R2-1800 (APARTMENTS)	230	10.0
SUB-TOTAL	2,484	344.0
	2166	355

NON-RESIDENTIAL

COMMERCIAL (C)

NEIGHBORHOOD COMMERCIAL	5.5
-------------------------	-----

PUBLIC (P)

PARK	19.3
ELEMENTARY SCHOOL	10.0

OPEN (O)

IMPROVED	21.9
UNIMPROVED	152.9

STREET

PUBLIC	12.0
	37.6
	30.0

SUB-TOTAL

TOTAL

2227.2
3040.6

PLANNING UNIT AREA DATA

- 1 PLANNING UNIT AREA NUMBER/LETTER
- R1 4500-ZONING DISTRICT
- 43.4 AC-NET ACRES
- 230 DU MAXIMUM PERMITTED DENSITY UNITS

FIGURE 1: TOWNHIP 10N, RANGE 14E, SECTION 10, T10N, R14E, S10E

Hunter's Ridge

A SPECIFIC PLAN PREPARED FOR THE CITY OF PONTANA



REPRESENTED FOR DATES INFORMATION
*ALTA SURVEY BY TOWNHIP, RANGE & SECTION ONLY
*AP. 1/20/99 & 1/20/00, 2001

EXHIBIT II-1A

Adopted 5/4/99

City Council Ord No.

AMENDED 12/19/05

CITY COUNCIL ORD. NO. 1170

AMENDED 8/2/04

CITY COUNCIL ORD. NO. 1123

2. Statistical Summary/Development Yield

This summary (Table 2-1) on page II-6 regulates the amount of development that can occur in each planning unit area (PUA). For residential uses, the limitation is expressed in two ways: 1) By a minimum required net lot area per unit, indicated by a suffix after the use designation (for example, R-1 7,200 is a single family residential use with a minimum net lot area per unit of 7,200 square feet); and 2) By a maximum number of dwelling units that can be built in each planning unit area. (Subject only to minor boundary or dwelling unit adjustment as described on this page and General Provisions for Reduced Building Pad Allowance, page II-61).

NOTE: In single family districts, minimum lot size and lot area per unit are identical; in multiple family districts, lot area per unit is always some fraction of minimum lot size.

Planning unit area boundaries may be adjusted with a resultant maximum acreage increase of 10 percent or decrease of 10 percent owing to final project design. As described more completely, on page II-55, this may also result in dwelling unit adjustments, subject to the following limitations:

- a) The maximum of ²¹⁶⁶~~2,121~~ dwelling units shall not be exceeded: ^{359.7}~~(859.2~~ net residential acres);
- b) The maximum dwelling unit count for the aggregate of planning unit areas affected by a particular planning unit area adjustment shall not be increased beyond the aggregate shown in this plan;
- c) The number of estate lots (50) and single-family detached lots (³¹⁸~~279~~) with 7,200 square feet of lot area or larger shall not be decreased as a consequence of any boundary adjustment (except if Western Levee cannot be relocated to western boundary of PUA 11 - per SBCFC approval);
- d) The number of apartment or townhouse units (620 du) shall not be increased as a consequence of any boundary adjustment;
- e) Boundary adjustments may involve any adjacent planning unit area or non-adjacent area with the same zoning district designation as the planning unit area in question, so long as all of the affected land is owned or legally controlled by the same party, of both parties can reach mutual agreement;

- f) A final geotechnical study of the Alquist-Priolo Zone shall investigate the fault alignment and evaluate the proposed location of SBCFC debris dam in San Sevaine Canyon, water tank location (PUA K), and any affected residential (PUA 11, 13, 15, 16) lots. Design measures shall be taken by registered engineer using recommended design criteria by registered soils engineer or geologist prior to building permit approval; and
- g) The dwelling unit percentages as stated below for each lot size category (example R-1 7,200, R-1 5,000, etc.) may not vary, except as stated herein, from the following percentages:

<u>LOT SIZE</u>	<u>%</u>	<u>DU</u>
R-E 10,000 =	232.8%	50
R-1 7,200 =	14.712.9%	278 318
R-1 5,000 =	34.234.9%	740
R-1 4,500 =	20.228.7%	438
R-S TH =	18.018.4%	390
R-S APT =	10.610.8%	230
TOTAL:	100.0%	2,121 DU 2166

3. Purpose and Intent







The land uses in the various planning unit areas are described in terms of permitted uses and conditional uses. The purpose of each of the single family and multi-family residential uses, as well as commercial, and public/quasi-public uses are described on pages II-4 to II-11. Charts listing permitted and conditional uses follow page II-11.

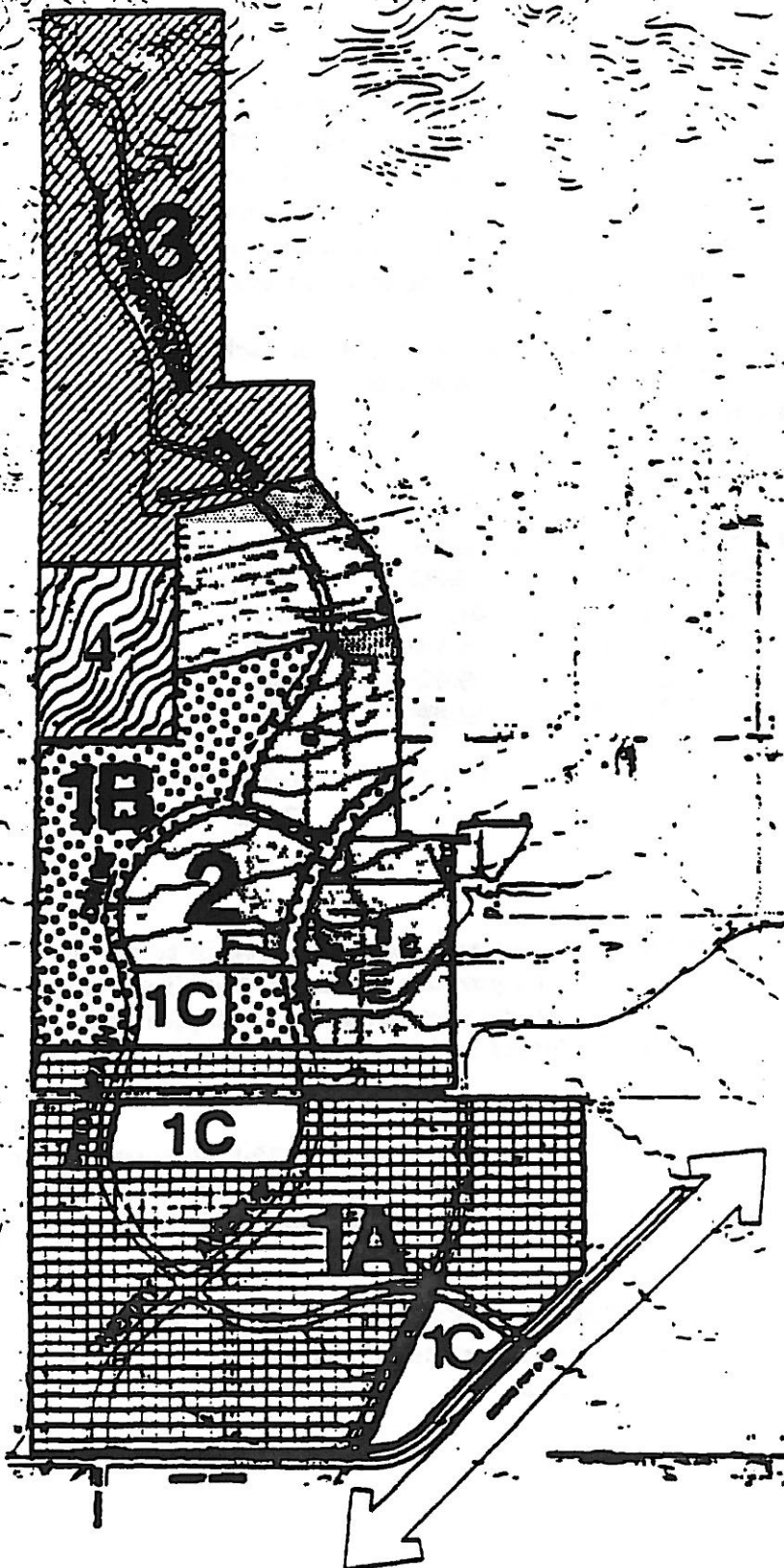
The overall mix of uses is intended to provide for a reasonably balanced community. The range of residential designations is intended to provide a diversity of housing choices and lifestyles, as well as to serve several residential markets at the same time.

- a) (R-E 10,000) Residential Estate District: This residential district is intended for quality low density single family estate homes on large lots with 10,000 square foot minimum net lot area.

Phasing Plan

LEGEND

	PHASE 1A
	PHASE 1B
	PHASE 1C
	PHASE 2
	PHASE 3
	PHASE 4



Amended 5/4/99
City Council Ord No.

Hunter's Ridge

A SPECIFIC PLAN PREPARED FOR THE CITY OF FONTANA

AMENDED:
CITY COUNCIL ORDS. NOS. 1123(8/2/94)

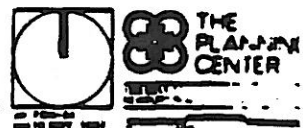


EXHIBIT II-1B

**HUNTER'S RIDGE
STATISTICAL SUMMARY/DEVELOPMENT YIELD**

**TABLE II-1
(Continued)**

Legend (Land Use)

O = Open Space

P = Public

R = Residential

Planning Unit Area	Land Use	Maximum du	Net Acres	Average Net Residential Density
PHASE FOUR				
18	R1-7200	45	10.08	4.46
o Subtotal (SF Res)		45	10.08	4.46
T Scenic Open Space	0		0	
U Reservoir	0		0	
V Scenic Open Space	0		19.92	
Major Roads	----		0	
NON-RESIDENTIAL	----	----	19.92	
PHASE FOUR TOTALS:	----	45	30.0	1.5
Project Totals/Summary				
o SF Residential		1546	321.1	4.81
o MF Residential		620	33.9	18.29
o Subtotal (Net)		2166	355.0	6.10
NON-RESIDENTIAL		---	247.3	
Total Project (Gross)		2166	602.3	3.59

Amended 12/19/95

City Council Ord. No. 1170

Amended 8/2/94

City Council Ord. No. 1123

Amended 5/4/99

City Council Ord. No. _____

P - Permitted
C - Conditional Use

**HUNTER'S RIDGE SPECIFIC PLAN
PERMITTED USES
SINGLE-FAMILY
RESIDENTIAL DISTRICTS**

EXHIBIT II-1

USES	R-E 10,000	R-1 7,200	R-1 5,000	R-1 4,500
PLANNING AREAS	15 16 17	11 13 18	2 6 12 14	1 7
One-Family Dwellings (detached)	P	P	P	P
Second Unit/Granny Flat	c/1	c/1		
Two-Family Dwellings (attached)				
Multiple-Family Dwellings (attached)				
Condominiums & Semi-Detached		c	c	c
Accessory Structures/Uses	p/2	p/2	p /2	p/2
Agriculture (new and cont. uses)	c/23			
Boarding House	c/4	c/4	c/4	c/4
Cemeteries	c	c	c	c
Churches	c	c	c	c
Community or Private Clubs	c	c	c	c
Community Facilities	c	c	c	c
Day Care and Pre-School, Nursery School	c	c	c	c

1 Allowable only by a homeowner, not the original developer or builder.

2 Where related and incidental to the permitted use, as regulated by Section ³⁰⁻¹⁷⁴ 33-22 of the City Code.

3 As required by Section ^{30-157 (1)} 33-3 (c) of the City Code.

4 The keeping of not more than two non-transient boarders or lodgers by a resident family is permitted in the main dwelling unit. A conditional use permit shall be required for more than two boarders.

2
73

P - Permitted
C - Conditional Use

**HUNTER'S RIDGE SPECIFIC PLAN
PERMITTED USES
SINGLE-FAMILY
RESIDENTIAL DISTRICTS
(CONTINUED)**

EXHIBIT II-1

USES	R-E 10,000	R-1 7,200	R-1 5,000	R-1 4,500
PLANNING AREAS	15 16 17	11 13 18	2 6 12 14	1 7
Dog Kennels				
Family Care, Foster or Group Home	c			
Home Occupants	p/6	p/6	p/6	p/6
Horses (4 per 30,000 sq lot area)				
House Pets	p/7	p/7	p/7	p/7
Livestock				
Non-Commercial Stables and Related Uses				
Pedestrian, Bicycle and Equestrian Trails	p	p	p	p
Private Recreation Facilities (Community-owned)	p	p	p	p
Private Schools	c	c	c	c
Public & Private Equestrian Uses				

- 5 Any lot or premises on which four or more dogs at least four months of age are kept.
- 6 The keeping of not more than two non-transient boarders or lodgers by a resident family is permitted in the main dwelling unit. A conditional use permit shall be required for more than two boarders.
- 7 A total of two adult dogs or cats and their litter (up to 3 months of age.)
- 8 Footnote 8 has been intentionally omitted.

Amended 5/4/99
City Council Ord No.

II-13

Amended 12/19/95
City Council Ord. No. 1170

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P - Permitted
C - Conditional Use

**HUNTER'S RIDGE SPECIFIC PLAN
PERMITTED USES
SINGLE-FAMILY
RESIDENTIAL DISTRICTS
(CONTINUED)**

EXHIBIT II-1

USES	R-E 10,000	R-1 7,200	R-1 5,000	R-1 4,500
PLANNING AREAS	15 16 17	11 13 13	2 6 12 14	1 7
Public Safety Facilities	c	c	c	c
Public Utility & Serv. Facilities	c/9	c/9	c/9	c/9
Recreational Vehicle Storage	c/10	c/10	c/10	c/10
Rifle Range				
Temporary Uses	p/11	p/11	p/11	p/11
Tennis Club/Swimming Clubs	p	p	c	c
Zero Lot Line Single-Family Design			c	c

9 As required to implement the Specific Plan.

10 As permitted in Section ³⁰⁻¹⁵⁷⁽¹⁾ 33-8 (h) City Code; in addition, no such vehicle shall be parked in the front yard of a lot, front driveway or public right-of-way, unless for the purpose of loading and unloading, in which case six hours is permitted. Permanent storage where permitted shall be screened from view from any public road.

11 As permitted by the City Code.

1170

**HUNTER'S RIDGE SPECIFIC PLAN
SITE DEVELOPMENT STANDARDS
SINGLE-FAMILY RESIDENTIAL
EXHIBIT II-4**

EXHIBIT II-4

Land Use	Single Family Estate	Single-Family Residential			
Zoning Category District	Low Density	Medium Density			Planned Residential Development
	RE-10000	R1-7200	R1-5000	R1-4500	
Planning Unit Area(s)	16 16 17	11 13 18	2 6 12 14	1 7	All R1-5000 and R1-4500
Site Development Standards					
Min. Project Size	N/A	N/A	N/A	N/A	Entire Planning Unit Area Determined by Unit Size/3 Determined by Unit Size/3 Per Applicable Zoning District N/A
Min. Net Lot Size	10,000 SF	7,200 SF	5,000 SF	4,500 SF	
Min. Bldg. Pad/2	10,000 SF	7,200 SF/2	5,000 SF/2	4,500 SF	
Min. Net Lot Area/DU	10,000 SF	7,200 SF	5,000 SF	4,500 SF	
Max. Lot Coverage	40%	45%	45%	45%	
Min. Lot Width	80'	60'	50'	45'	Determined by Unit Size/3 Determined by Unit Size/3
Min. Lot Depth	110'	100'	70'	70'	
Min. Front Bldg. Setback/5					Per Applicable Zoning District/4
o Average	30'	25'	22'	22'	
o Minimum	25'	20'	18'	18'	
Min. Interior Side Bldg. Setback					Per Applicable Zoning District/4
o Conventional					
Minimum-One Side	10'	6'	5'	5'	
Minimum-Aggregate	25'	12'	10'	10'	
Zero Lot Line					
o Minimum-One Side	N/A	N/A	0'	0'	
o Minimum-Aggregate	N/A	N/A	16'	15'	

Amended 5/4/99

11-87

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Amended 5/4/99

City Council Ord No.

Amended 12/19/95

City Council Ord. No. 1170

Amended 6/20/95

City Council Ord. No. 1158

22/11

**EXHIBIT II-4
(Continued)**

Land Use	Single Family Estate	Single-Family Residential			
Zoning Category District	Low Density	Medium Density			Planned Residential Development
	RE-10000	R1-7200	R1-5000	R1-4500	
Planning Unit Area(s)	15 16 17	11 13 18	2 6 12 14	1 7	All R1-5000 and R1-4500
Site Development Standards					
Min. Exterior (Corner Lot) Side Bldg. Setback	20'	15'	15'	15'	Per Applicable Zoning District/4
Min. Rear Bldg. Setback	25'	20'	15'	15'	Per Applicable Zoning District/4
Min. Distance Between Structures					
o Single Story	10'	8'	6'	6'	10'
o Two Story	12'	10'	6'	6'	20'
Min. Garage Front- On Setback	25'	20'	20'	20'	20/3
Min. Garage Side- On Setback	10'	7.5'	5'	5'	5/3
Max. Building Height	35'	35'	35'	35'	35'

II-31

Amended 5/4/99
City Council Ord No.

Amended 12/19/95
City Council Ord. No. 1170

Amended 8/2/94
City Council Ord. No. 1123

**EXHIBIT II-4
(Continued)**

Land Use	Single Family Estate	Single-Family Residential			
Zoning Category District	Low Density	Medium Density			Planned Residential Development
	RE-10000	R1-7200	R1-5000	R1-4500	
Planning Unit Area(s)	15 16 17	11 13 14	2 6 12 14	1 7	All R1-5000 and R1-4500
Site Development Standards					
Dwelling Unit Size o Minimum o Median	2,100 sf *	1,200 sf 1,500 sf	1,100 sf 1,250 sf	1,000 sf 1,100 sf	Per Applicable Zoning District
Min. Parking Spaces o Garage o Garage or Carport o Parking Space (guest)	2	2	2	2	2
Min. Priv. Yard Area (see Min. Rear Bldg. Setback)	N/A	N/A	N/A	N/A	20 Percent of Building Area 10'
Min. Width					
Min. Common Usable Open Space Area	N/A	N/A	N/A	N/A	500 SF
Min. Landscape Coverage	20% /6	20% /6	20% /6	20% /6	N/A
Net Residential Density in DU/Acre	3.3	4.5	6.2	6.4	Per Applicable Zoning Designation

* Custom homes will be individually built, therefore, average not applicable.

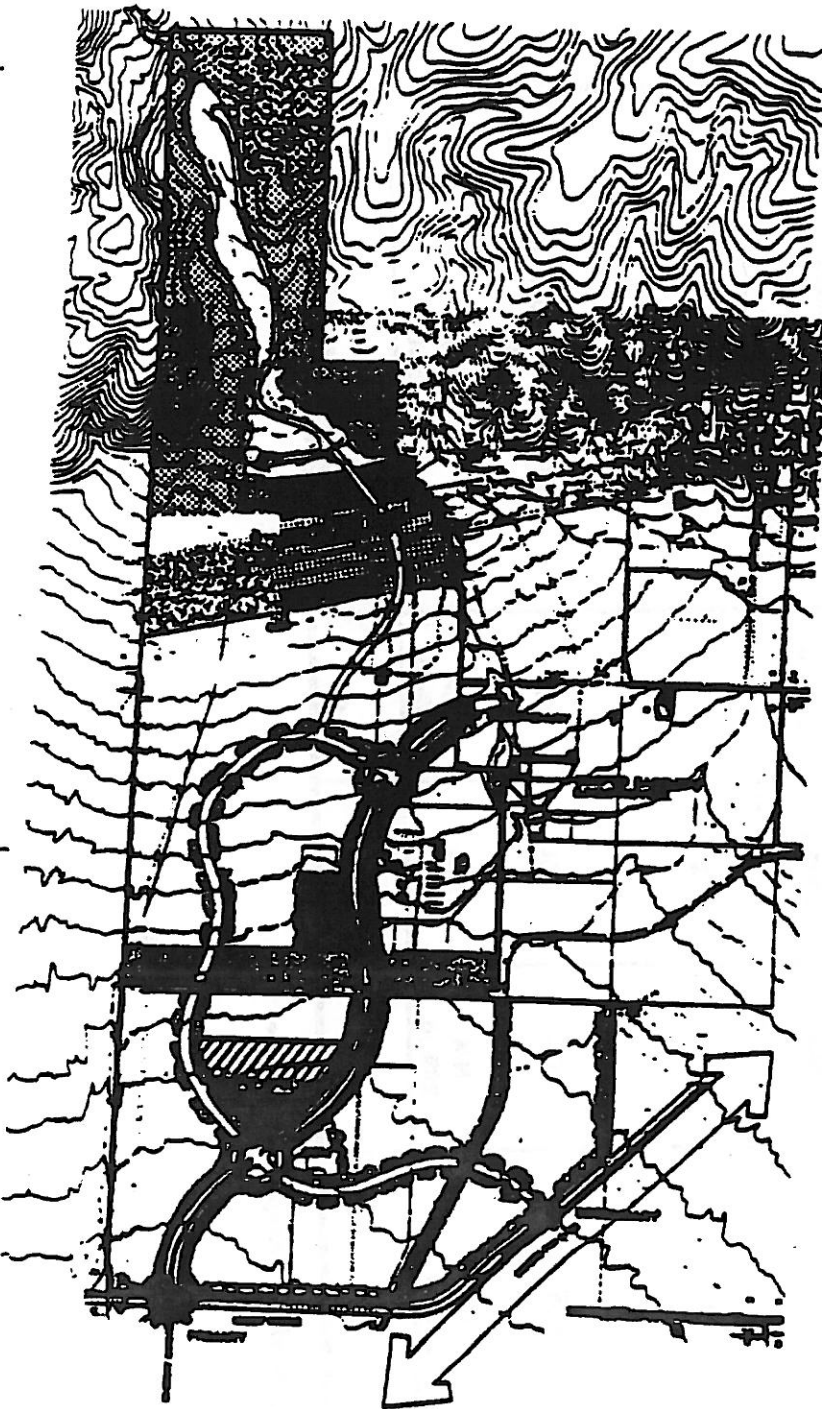
Amended 5/4/99
City Council Ord No.

Amended 12/19/95
City Council Ord. No. 1170

13 (u)

Open Space Streetscape Plan LEGEND

-  OPEN SPACE (UNIMPROVED)
-  PARK SITE
-  COMMUNITY ENTRY STATEMENTS
-  SPECIAL INTERSECTION TREATMENT
-  RESIDENTIAL EDGE BUFFER LANDSCAPE TREATMENT
-  COMMERCIAL FRONTAGE LANDSCAPE TREATMENT
-  DIVIDED HIGHWAY LANDSCAPE TREATMENT (110')
-  COMMUNITY COLLECTOR ROAD (64')
-  HIGHWAY BUFFER LANDSCAPE TREATMENT (30')
-  SUBURB AVENUE BUFFER (20')
-  SCHOOL SITE



Hunter's Ridge

A SPECIFIC PLAN PREPARED FOR THE CITY OF FONTANA

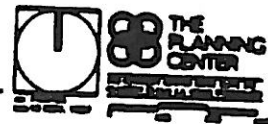


EXHIBIT III-1

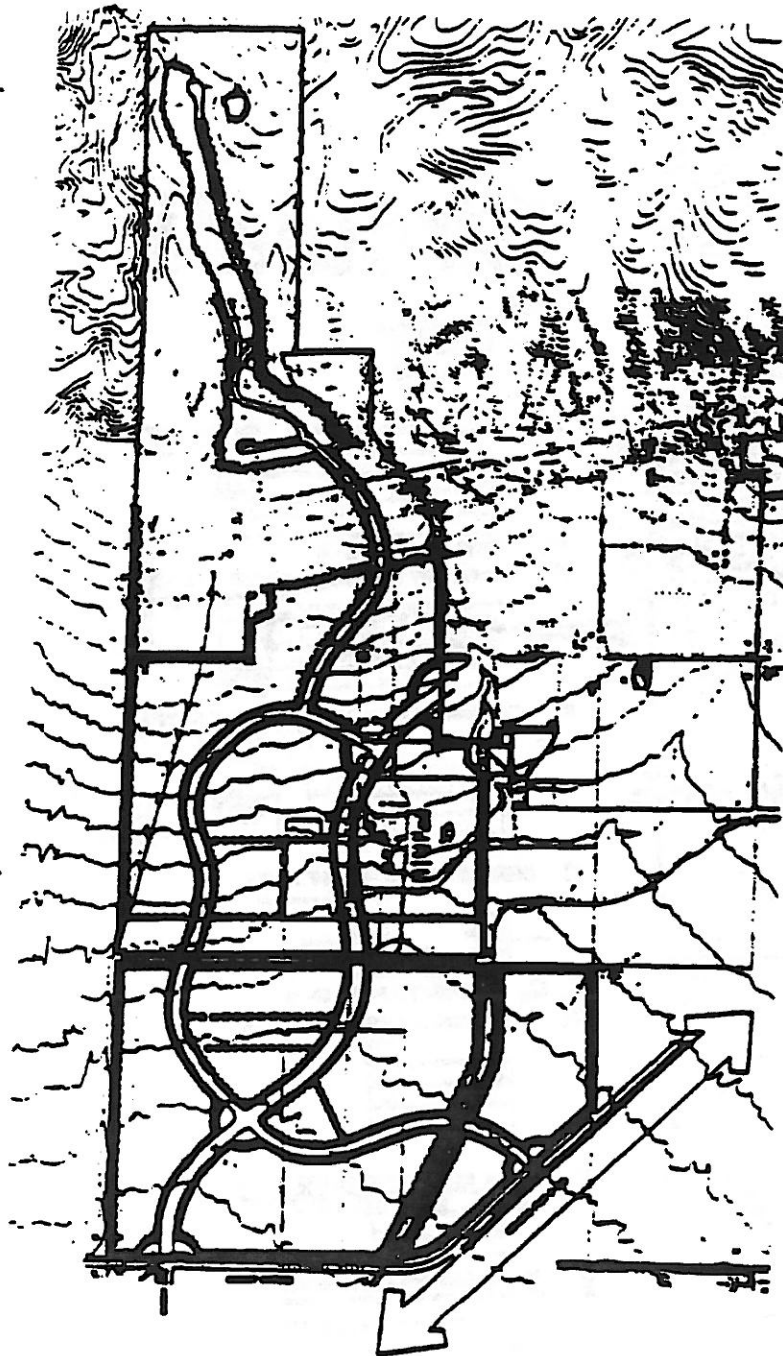
ended 5/4/99
Council Ord No.

ENDED 12/19/95
CITY COUNCIL ORD. NO. 1170
AMENDED 8/2/94
CITY COUNCIL ORD. NO. 1123

III-4

Wall/Fencing Plan LEGEND

	COMMUNITY THEME WALL/ ENTRIES AND INTERSECTIONS
	COMMUNITY THEME WALL (6')
	VIEW FENCE (6')
	OPEN METAL FENCE
	PERIMETER WALL (6')
	SPLIT RAIL FENCE (3')



Hunter's Ridge

A SPECIFIC PLAN PREPARED FOR THE CITY OF FONTANA



Amended 5/4/99

City Council Ord No.

AMENDED 12/19/86

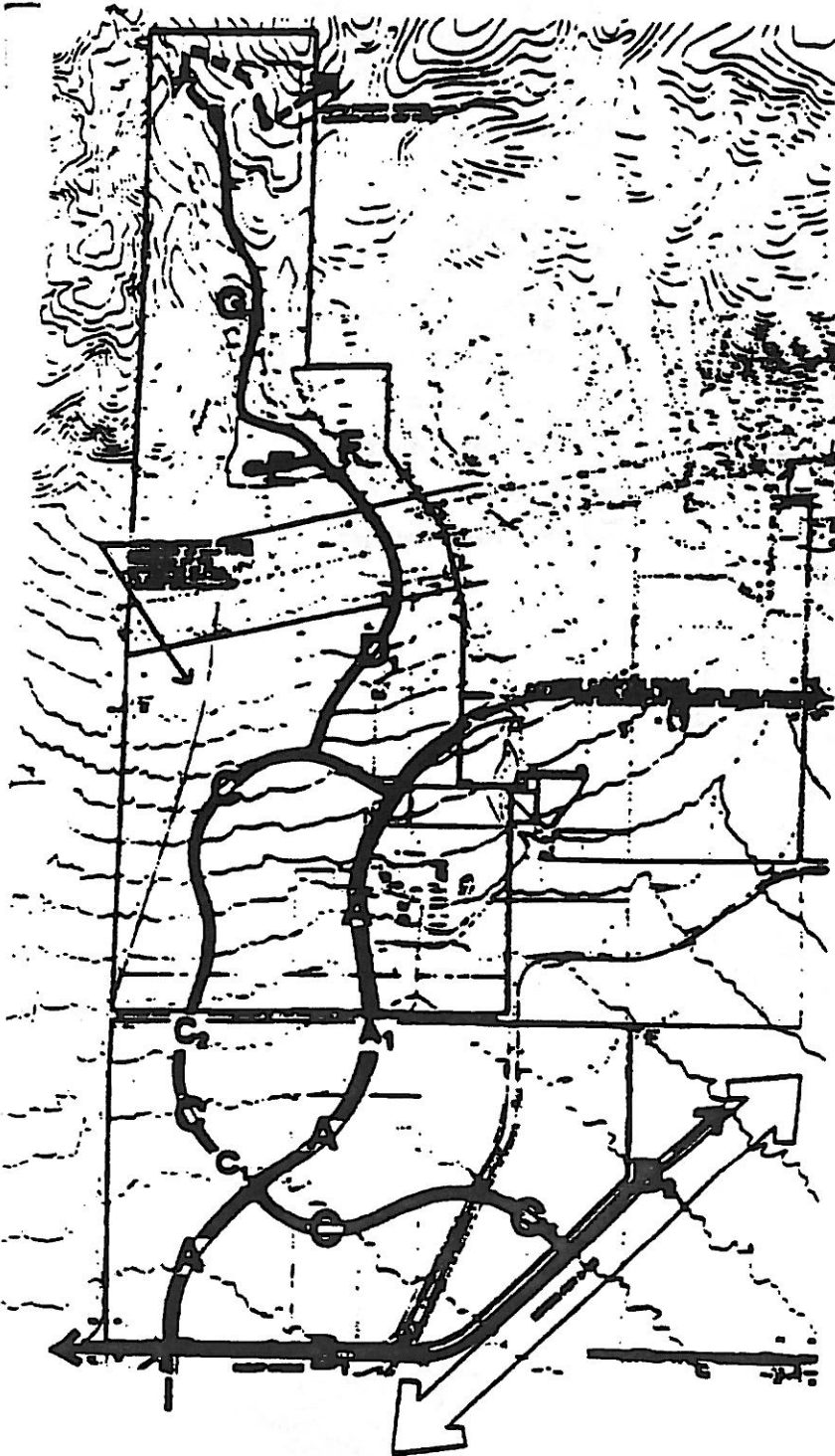
CITY COUNCIL ORD. NO. 1170

AMENDED 8/2/84

CITY COUNCIL ORD. NO. 1123

371

Circulation Plan

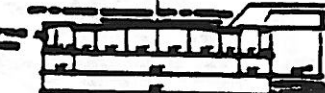


A MAJOR DIVIDED HIGHWAY - CHERRY AVENUE (110' ROW)

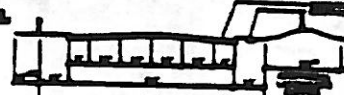


A₁ REFER TO PAGE II-9

B₁ SECONDARY HIGHWAY - BLANCK AVENUE (80' ROW)



B₂ SECONDARY HIGHWAY - BUREAU CANYON/1-10 (80' ROW)



C SINGLEPATH DRIVE (60' ROW)

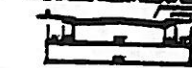


C₁ C₂ REFER TO PAGE II-9

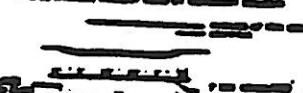
D₁ FORDBOROUGH DRIVE (60' ROW)



D₂ LOCAL ROAD/TYPICAL (60' ROW)



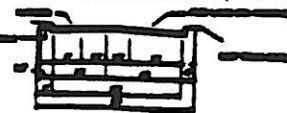
E TRAILHEAD DRIVE (60' ROW)



F FORDBOROUGH DRIVE (60' ROW)



G FORDBOROUGH DRIVE (70' ROW)



Amended 5/4/99

City Council Ord No.

Hunter's Ridge

A SPECIFIC PLAN PREPARED FOR THE CITY OF PONTANA

AMENDED:

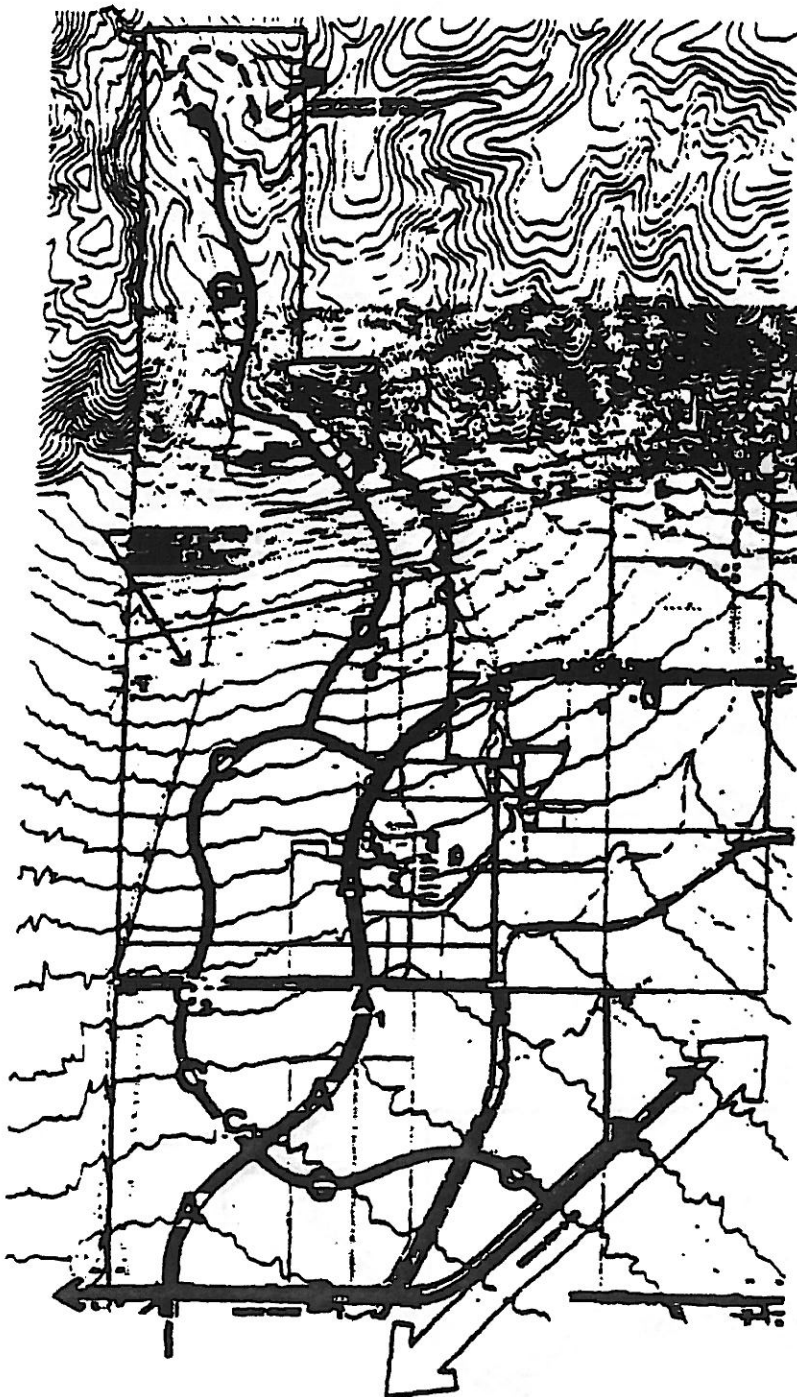
CITY COUNCIL ORDS. NOS. 1123(8/2/94)

1170(12/19/95)

III-8

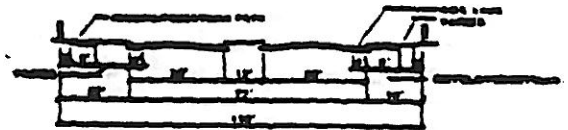


EXHIBIT III-8

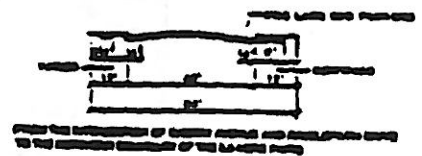


Circulation Plan

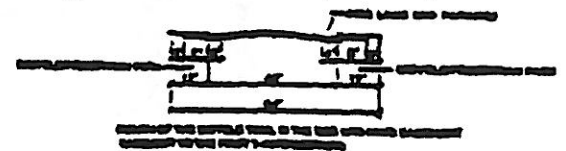
**A₁ MAJOR DIVIDED HIGHWAY,
CHERRY AVENUE (110' ROW)**



C₁ BRIDLEPATH DRIVE (64' ROW)



C₂ BRIDLEPATH DRIVE (64' ROW)



Hunter's Ridge

A SPECIFIC PLAN PREPARED FOR THE CITY OF FONTANA









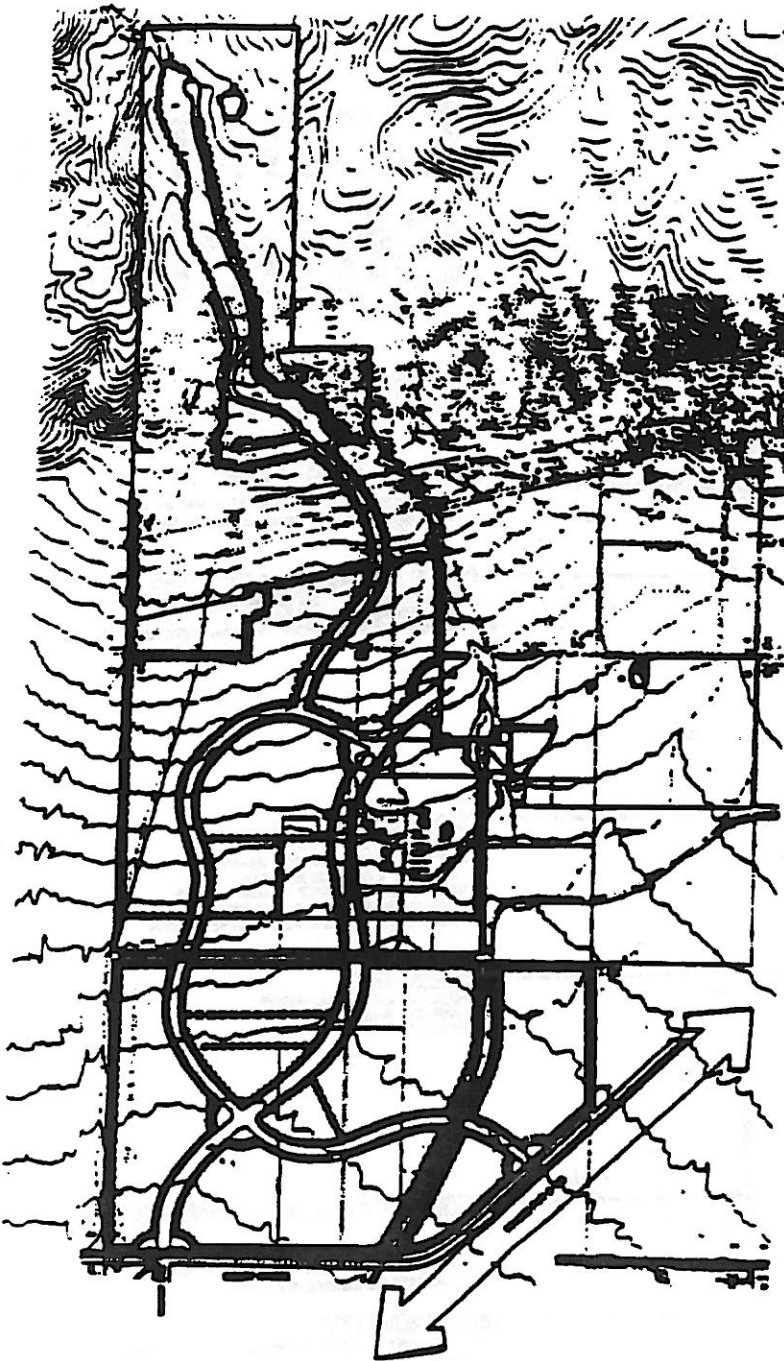
EXHIBIT III-SA

AMENDED 12/19/95
CITY COUNCIL ORD. NO. 1170
AMENDED 8/2/94
CITY COUNCIL ORD. NO. 1123
 Amended 5/4/99
 City Council Ord. No.

Wall/Fencing Plan

LEGEND

	COMMUNITY THEME WALL/ ENTRIES AND INTERSECTIONS
	COMMUNITY THEME WALL (6')
	VIEW FENCE (6')
	OPEN METAL FENCE
	PERIMETER WALL (6')
	SPLIT RAIL FENCE (3')



Hunter's Ridge

A SPECIFIC PLAN PREPARED FOR THE CITY OF FONTANA

Amended 5/4/99
City Council Ord No.

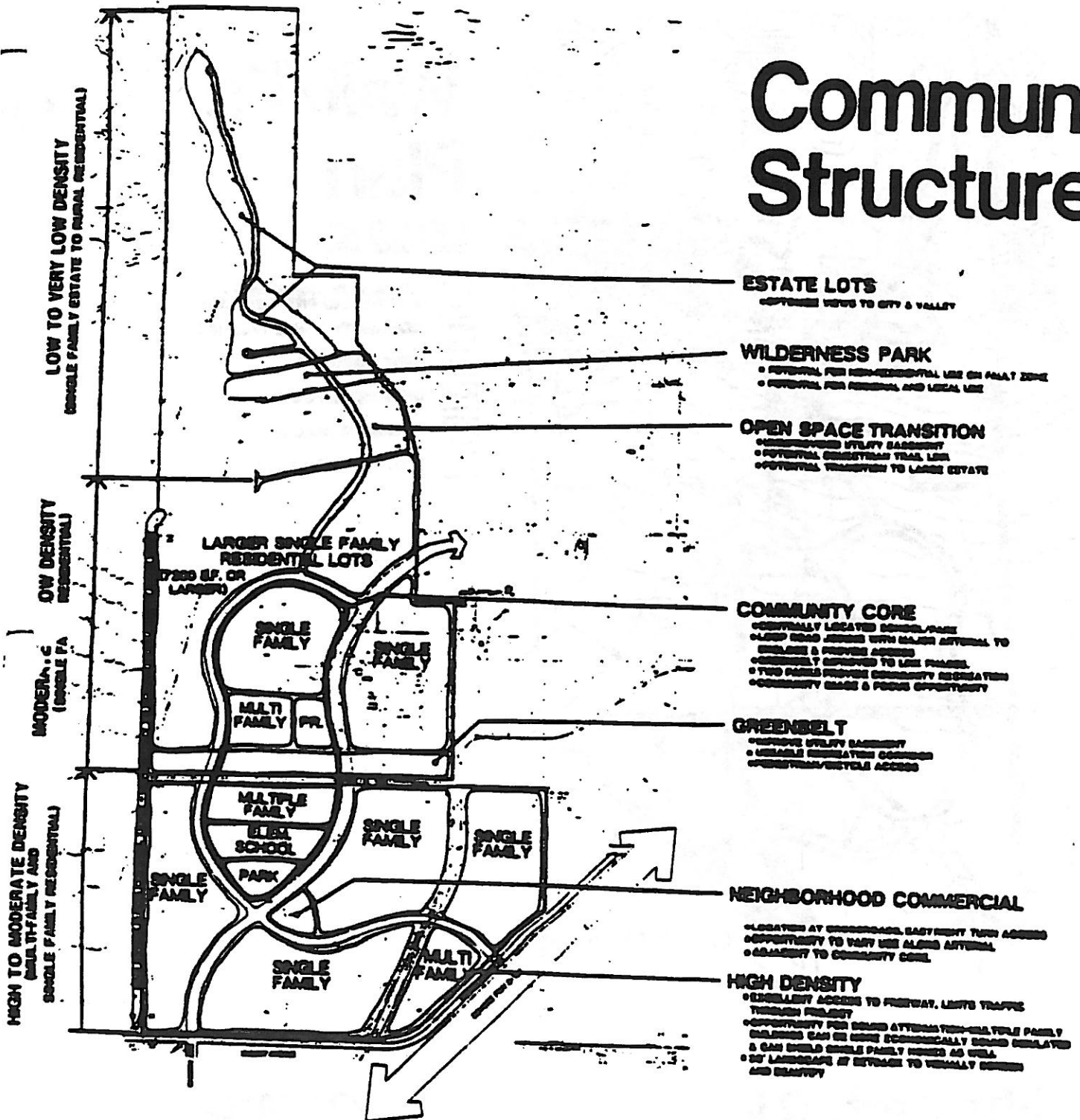
AMENDED 12/19/95
CITY COUNCIL ORD. NO. 1170
AMENDED 8/2/94
CITY COUNCIL ORD. NO. 1123



EXHIBIT III-6

38
43

Community Structure



Hunter's Ridge

A SPECIFIC PLAN PREPARED FOR THE CITY OF FONTANA

AMENDED:

CITY COUNCIL ORDS. NOS. 1123(8/2/94)

Amended 5/4/99

City Council Ord No.

1170(12/19/95)

V-4



THE
PLANNING
CENTER

EXHIBIT V-1

3
10/1

D. LAND USE PLAN

The Land Use Plan is depicted on p. V-8. It encompasses a total of ⁶⁰⁰~~570~~ gross acres and is divided into ⁴¹~~40~~ planning unit areas.

Each planning unit area in the Land Use Plan also contains a net acreage figure, the prescribed zoning district and, for residential planning units, the maximum number of dwelling units allowed (subject to limited flexibility rules contained in Chapter II).

Table 5-1 summarizes the proposed land uses by major categories and sub-categories as well as by phase. In addition, a subtotal is included for all residential and non-residential uses and for Phases 1, 2 and 3 combined.

The acreage shown for the planning unit areas includes land devoted to internal local streets and residential collectors but does not include acreage within the adjacent arterial highway, Cherry Avenue.

1. Residential Land Uses

Within the ⁶⁰⁰~~570~~ acre project, estate and larger lot single family residential neighborhoods are clustered along the northerly portion of the site. Smaller lot single family areas lie generally through the central and southern portion of the plan. Townhouse products are generally at the center of community core of the community. Apartments are separated entirely from all other residential neighborhoods.

Residential land uses occupy approximately ^{354.7}~~345~~ acres or 61 percent of the planning area.

Intended densities range from a low density estate character of 2.5 unit per gross acre to moderately high density apartments as high as twenty dwelling units per acre. The average residential density for all residential areas and associated required open space is 3.7 dwelling units per gross acre. This translates into a net residential density of 6.2 dwelling units per acre.

The residential categories are distributed in terms of acreage and dwelling units as depicted in Table 5-1.

The intended character and role of each residential classification is described in the following sub-sections.

Amended 5/4/99
City Council Ord No.

Amended 12/19/95
City Council Ord. No. 1170

Amended 8/2/94
City Council Ord. No. 1123

SAN BERNARDINO NATIONAL FOREST

Land Use

LEGEND

RESIDENTIAL

ESTATE RESIDENTIAL

RE-10000	50	19.3
SINGLE FAMILY RESIDENTIAL	318	90.0
R1-7200	338	89.6
R1-6000	740	138.1
R1-4500	438	71.1

MULTI FAMILY RESIDENTIAL

R3-2500 (TOWNHOUSE)	300	23.1
R3-1800 (APARTMENTS)	230	10.0

SUB-TOTAL 2484 844.9
2166 355.6

NON-RESIDENTIAL

COMMERCIAL (C)

NEIGHBORHOOD COMMERCIAL	5.5
-------------------------	-----

PUBLIC (P)

PARK	19.3
ELEMENTARY SCHOOL	10.0

OPEN (O)

IMPROVED	21.9
UNIMPROVED	152.6

STREET

PUBLIC	100.0
--------	-------

SUB-TOTAL 2166 355.6
TOTAL 2484 844.9

PLANNING UNIT AREA DATA

- 1 PLANNING UNIT AREA HAZARD/LETTER
- R1 4000 ZONING DISTRICT
- 43.6 AC NET ACRES
- 702 DU MAXIMUM PERMITTED DWELLING UNITS

REVISION 1 THROUGH 10 FOR SALE PLANS
LIFTED & TURNED IN FOR REVISION OF SALE PLANS

Hunter's Ridge

A SPECIFIC PLAN PREPARED FOR THE CITY OF FONTANA



REFERENCES FOR CASE INFORMATION
* A.L.T.A. SURVEY BY GEORGE, SMITH & PERRY, INC.
* A.P. MAPS & ASSOCIATES, INC.

EXHIBIT V-2

ended 5/4/99
City Council Ord No.

ENDED 12/19/95
TY COUNCIL ORD. NO. 1170
ENDED 8/2/94

TABLE 5-1

**HUNTER'S RIDGE DRAFT SPECIFIC PLAN
LAND USE SUMMARY**

	Phase 1A Acres/DU	Phase 1B Acres/DU	Phase 1C Acres/DU	Phase 2 Acres/DU	Phase 3 Acres/DU	Phase 4 Acres/DU	Total Acres/DU	Present Acres/DU
I. Residential								
A. Estate Residential	----	----	----	----	19.43AC/50du	----	19.43AC/50du	5.5%/2.3%
B. Single-Family Residential								
7200 SF/du	----	55.4AC/192du	----	24.9AC/81du	----	10.08AC/45du	90.4AC/318du	15.1%/14.7%
5000 SF/du	71.9AC/404du	----	----	68.0AC/336du	----	----	139.9AC/740du	23.3%/34.2%
4500 SF/du	71.5AC/438du	----	----	----	----	----	71.5AC/438du	11.9%/20.1%
C. Multiple-Family Residential								
Townhouse	----	----	23.1AC/390du	----			23.1AC/390du	3.9%/18.0%
Apartment	----	----	10.8AC/230du	----			10.8A/230du	1.8%/10.6%
Subtotal (AC)	143.4	55.4	33.9	92.9	34.1	10.08	355	59.3%
Residential Total	842 du	192 du	620 du	417 du	50 du	45 du	2166 du	100%

Amended 12/19/95
City Council Ord. No. 1170

Amended 12/19/95
City Council Ord. No. 1170

Amended 8/2/94
City Council Ord. No. 1123

TABLE 5-1

HUNTER'S RIDGE DRAFT SPECIFIC PLAN
LAND USE SUMMARY
(Continued)

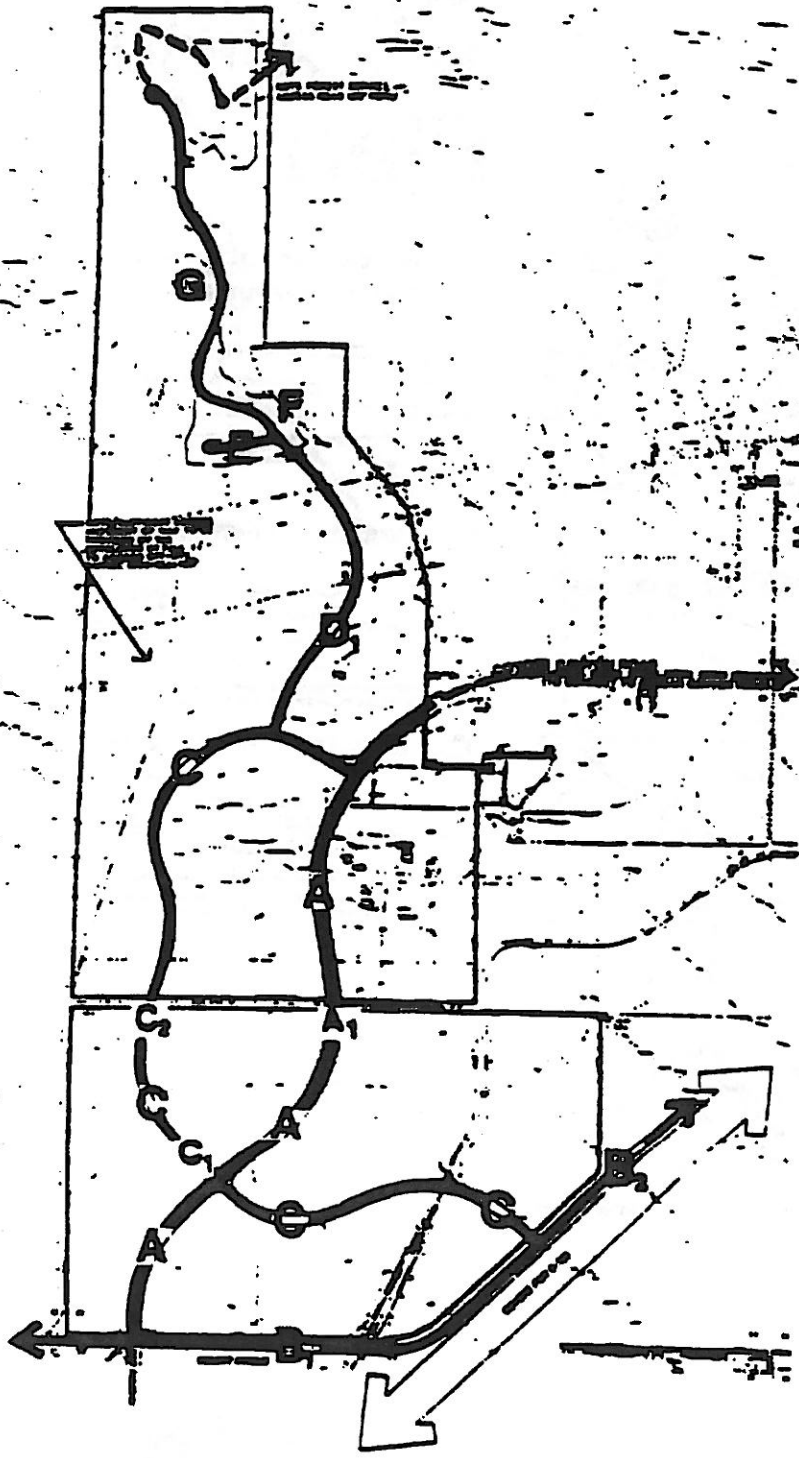
	Phase 1A Acres/DU	Phase 1B Acres/DU	Phase 1C Acres/DU	Phase 2 Acres/DU	Phase 3 Acres/DU	Phase 4 Acres/DU	Total Acres/DU	Present Acres/DU
II. <u>Non-Residential</u>								
A. Commercial	5.5 ac	----	----	----	----	----	5.5 ac	1.0%
B. Public School	10.0 ac	----	----	----	----	----	10.0 ac	1.7%
Park	5.9 ac	4.8 ac	----	8.6 ac	----	----	19.3 ac	3.4%
Major Roads	14.4 ac	10.3 ac	----	3.3 ac	5.9 ac	4.7	38.6 ac	6.4%
C. Open Improved	21.5 ac	----	----	----	----	----	21.5 ac	3.8%
C. Open/Unimproved								
Scenic Open Space	----	----	----	0.8 ac	95.0 ac	19.92 ac	115.7 ac	19.3%
Flood Control	7.8 ac	----	----	----	----	----	7.8 ac	1.3 %
Utility Easement	----	----	----	0.7 ac	----	----	0.7 ac	.2%
Freeway Buffer	1.6 ac	----	----	23.4 ac	----	----	25.0 ac	4.2%
Summit Ave. Buffer	0.9 ac	----	----	----	----	----	0.9 ac	0.2%
Other	0.7 ac	0.8 ac	----	----	0.8 ac	----	2.3 ac	0.4%
Non-Residential Total	68.3 ac	15.9 ac	----	36.8 ac	101.7 ac	24.62 ac	247.3 ac	41.9%
Total	211.1 ac	71.3 ac	33.9 ac	129.7 ac	121 ac	24.62 ac	597.7 ac	100.0%

Amended 12/19/95
City Council Ord. No. 1170

Amended 8/2/94
City Council Ord. No. 1123

Amended _____
City Council Ord. No. _____

Circulation Plan



A MAJOR DIVIDED HIGHWAY - CHERRY AVENUE (110' ROW)

A₁ REFER TO PAGE V-16

B₁ SECONDARY HIGHWAY - SUMMIT AVENUE (88' ROW)

B₂ SECONDARY HIGHWAY - DUNCAN CANYON/P-15 (88' ROW)

C BRIDLEPATH DRIVE (64' ROW)

C₁ C₂ REFER TO PAGE V-16

D₁ FOXBOROUGH DRIVE (88' ROW)

D₂ LOCAL ROAD/TYPICAL (56' ROW)

E TRAILHEAD DRIVE (88' ROW)

F FOXBOROUGH DRIVE (88' ROW)

G FOXBOROUGH DRIVE (70' ROW)

Hunter's Ridge

A SPECIFIC PLAN PREPARED FOR THE CITY OF FONTANA

AMENDED:

CITY COUNCIL ORDS. NOS. 1123(8/2/94)

Amended 5/4/99

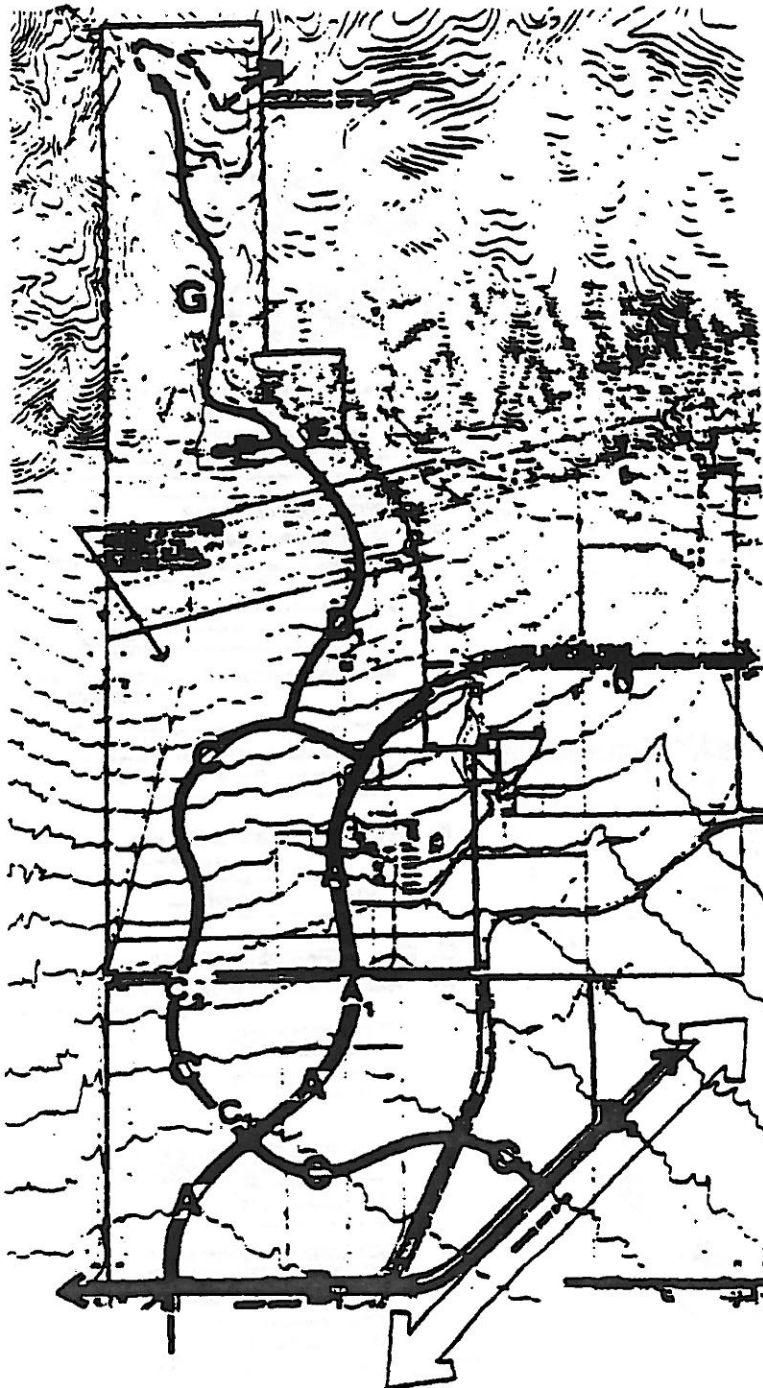
City Council Ord No.

1170(12/19/95)



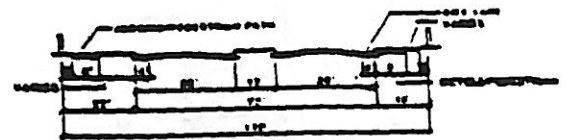
EXHIBIT V-3

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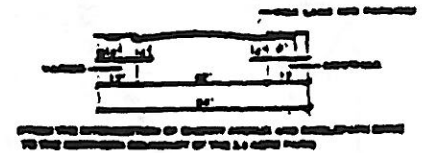


Circulation Plan

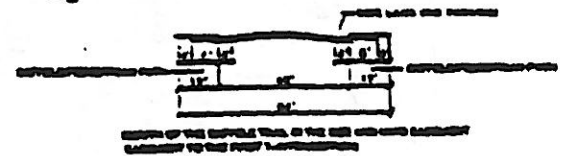
**A₁ MAJOR DIVIDED HIGHWAY
CHERRY AVENUE (110' ROW)**



C₁ BRIDLEPATH DRIVE (64' ROW)



C₂ BRIDLEPATH DRIVE (64' ROW)



Hunter's Ridge

A SPECIFIC PLAN PREPARED FOR THE CITY OF PONTANA



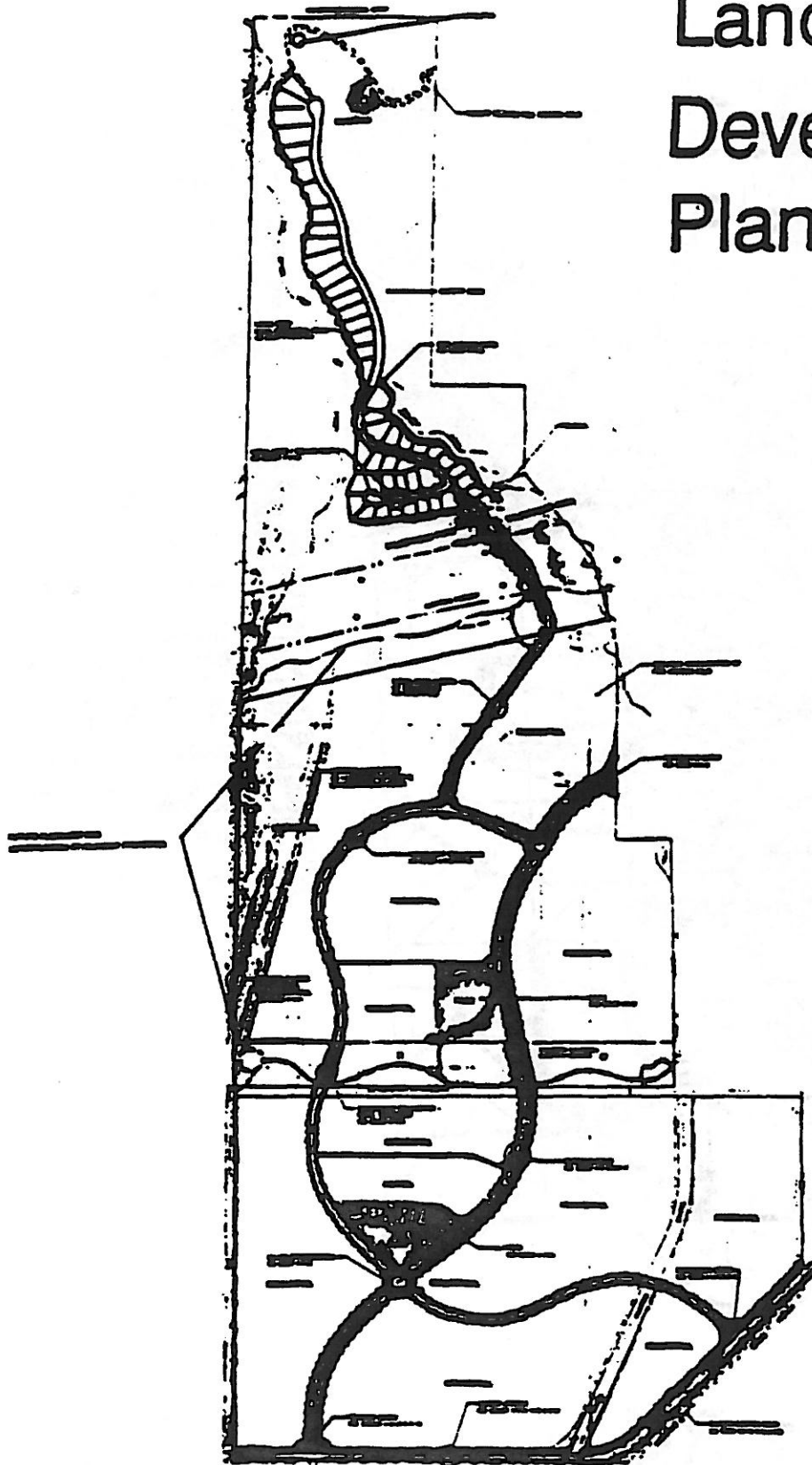
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Amended 5/4/99
City Council Ord No.

AMENDED 12/19/96
CITY COUNCIL ORD. NO. 1170
AMENDED 8/2/94
CITY COUNCIL ORD. NO. 1123

V-16

Landscape Development Plan



LANDSCAPE DEVELOPMENT PLAN

Hunter's Ridge

V-28

EXHIBIT V-9

AMENDED:

CITY COUNCIL ORDS. NOS. 1075(4/20/93)

Amended 5/4/99

City Council Ord No

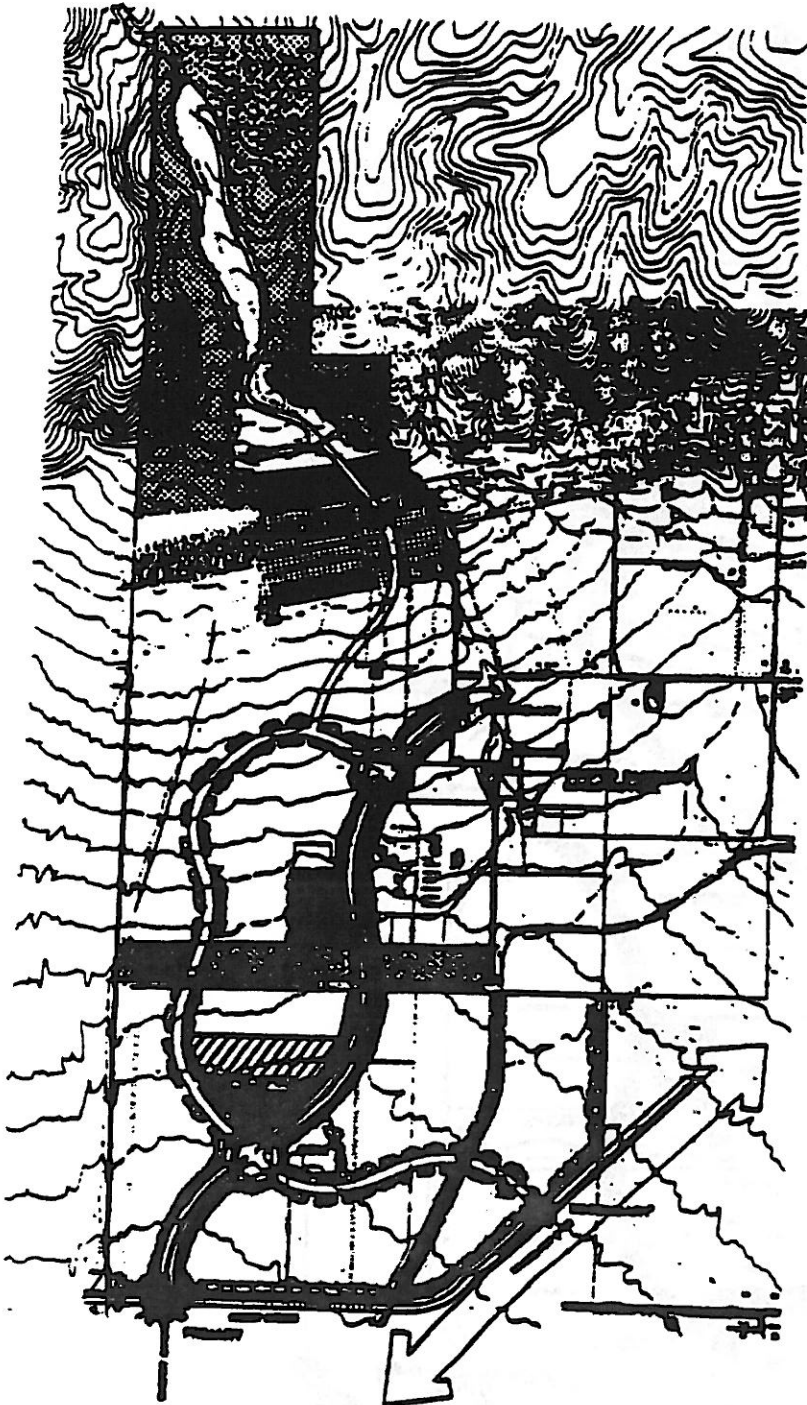
1123(8/2/94)










1155(10/2/95)

V-29

7

Open Space Streetscape Plan LEGEND



-  OPEN SPACE (UNAPPROVED)
-  PARK SITE
-  COMMUNITY ENTRY STATEMENTS
-  SPECIAL INTERSECTION TREATMENT
-  RESIDENTIAL EDGE BUFFER LANDSCAPE TREATMENT
-  COMMERCIAL FRONTAGE LANDSCAPE TREATMENT
-  DIVIDED HIGHWAY LANDSCAPE TREATMENT (110')
-  COMMUNITY COLLECTOR ROAD (64')
-  HIGHWAY BUFFER LANDSCAPE TREATMENT (30')
-  SUNSET AVENUE BUFFER (20')
-  SCHOOL SITE

Hunter's Ridge

A SPECIFIC PLAN PREPARED FOR THE CITY OF FONTANA



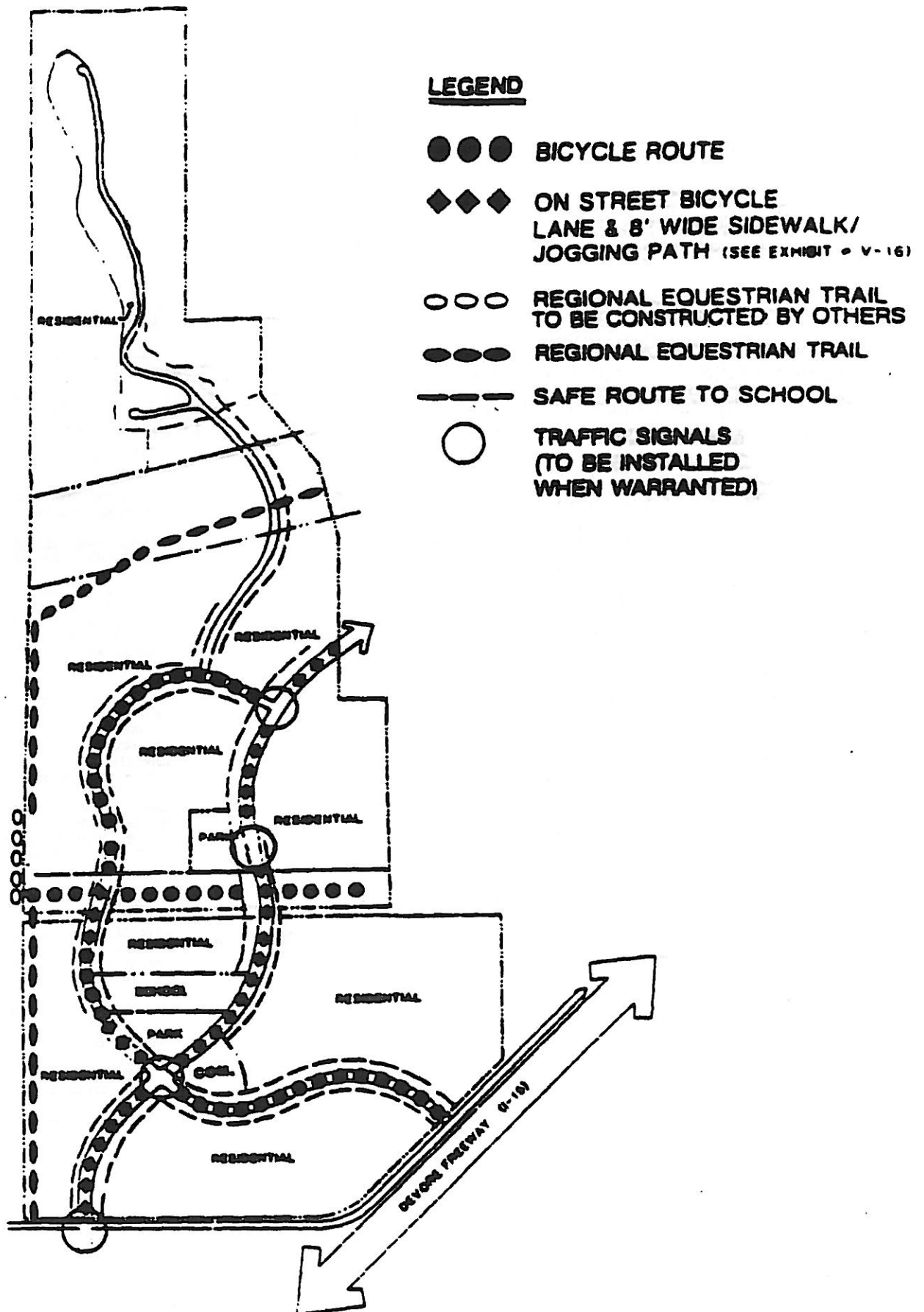
EXHIBIT V-10

Amended 5/4/99
City Council Ord No.

AMENDED 12/19/85
CITY COUNCIL ORD. NO. 1170
AMENDED 8/2/94

V-30

4
1/13



RECREATIONAL TRAIL PLAN

Hunter's Ridge

A SPECIFIC PLAN PREPARED FOR THE CITY OF FONTANA



EXHIBIT • III-5

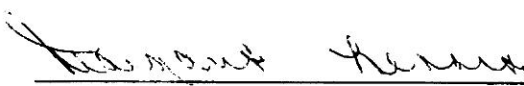
**PROOF OF PUBLICATION
(2015.5 C.C.P.)**

State of California
County of San Bernardino

I am a citizen of the United States and a resident of the County aforesaid; I am over the age of eighteen years, and not a party to or interested in the above entitled matter. I am the principal clerk of the printer of the Fontana Herald News, a newspaper of general circulation, printed and published every Thursday in the City of Fontana, County of San Bernardino, and which newspaper has been adjudged a newspaper of general circulation by the Superior Court of the State of California, in and for the County of San Bernardino, under the date of March 15, 1955, Case Number 73171, and that the notice, of which the annexed is a printed copy (set in type not smaller than nonpareil), has been published in each regular and entire issue of said newspaper and not in any supplement there of on the following dates, To-wit: May 6, 1999.

I certify (or declare) under penalty of perjury that the foregoing is true and correct.

Dated at Fontana, California, this 6th day of May, 1999.


Signature

This space is for the
County Clerk's stamp

**SUMMARY OF PROPOSED
ORDINANCE NO. 1286
P.O.# 99-0B003**

**CITY OF FONTANA
FONTANA, CALIFORNIA**

**SUMMARY OF PROPOSED
ORDINANCE NO. 1286**

NOTICE IS HEREBY GIVEN that the City Council of the City of Fontana, at a Regular Meeting scheduled on Tuesday, May 18, 1999, in the City Hall Council Chambers, 8353 Sierra Avenue, said Council will consider adoption of Ordinance No. 1286, amending the City of Fontana Land Use and Zoning Map and approving General Plan Amendment No. 98-07, Specific Plan Amendment No. 98-05, (Hunter's Ridge Specific Plan Amendment No. 7) and Zone Change No. 98-07.

A certified copy of the full text of the ordinance is available in the office of the City Clerk of the City of Fontana, 8353 Sierra Avenue, Fontana, California 92335.

**CITY COUNCIL OF THE
CITY OF FONTANA
David R. Eshleman, Mayor**

**Deborah Watson
City Clerk**

Published May 6, 1999

FONTANA HERALD NEWS

16920 Spring Street

P.O. Box 549

Fontana, California 92334

Phone (909) 822-2231

Fax (909) 355-9358

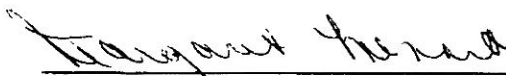
**PROOF OF PUBLICATION
(2015.5 C.C.P.)**

State of California
County of San Bernardino

I am a citizen of the United States and a resident of the County aforesaid; I am over the age of eighteen years, and not a party to or interested in the above entitled matter. I am the principal clerk of the printer of the Fontana Herald News, a newspaper of general circulation, printed and published every Thursday in the City of Fontana, County of San Bernardino, and which newspaper has been adjudged a newspaper of general circulation by the Superior Court of the State of California, in and for the County of San Bernardino, under the date of March 15, 1955, Case Number 73171, and that the notice, of which the annexed is a printed copy (set in type not smaller than nonpareil), has been published in each regular and entire issue of said newspaper and not in any supplement there of on the following dates, To-wit: May 20, 1999.

I certify (or declare) under penalty of perjury that the foregoing is true and correct.

Dated at Fontana, California, this 20th day of May, 1999.



Signature

This space is for the
County Clerk's stamp

**SUMMARY OF ADOPTED
ORDINANCE NO. 1286
P.O.# 99-0B003**

**CITY OF FONTANA
FONTANA, CALIFORNIA**

**SUMMARY OF ADOPTED
ORDINANCE NO. 1286**

NOTICE IS HEREBY GIVEN that the City Council of the City of Fontana, at a regular meeting held on Tuesday, May 18, 1999 in the City Hall Council Chambers, 8353 Sierra Avenue, said Council adopted Ordinance No. 1286, amending the City of Fontana Land Use and Zoning Map and approving General Plan Amendment #99-07, Specific Plan Amendment #99-05 (Hunter's Ridge Specific Plan Amendment #99-05) (Hunter's Ridge Specific Plan Amendment #7) and Zone Change #99-07.

A certified copy of the full text of the ordinance is available in the office of the City Clerk of the City of Fontana, 8353 Sierra Avenue, Fontana, California 92335.

AYES: Mayor Eshleman, Council Members Gonzales, Mancha, Nisimi, Roberts
NOES: None
ABSENT: None

**CITY COUNCIL OF THE
CITY OF FONTANA
David R. Eshleman, Mayor**

**Signature of
City Clerk**

Published May 20, 1999

FONTANA HERALD NEWS

16920 Spring Street

P.O. Box 549

Fontana, California 92334

Phone (909) 822-2231

Fax (909) 355-9358

#9
1/16/01
ORDINANCE NO. 1340

AN ORDINANCE OF THE CITY OF FONTANA APPROVING SPECIFIC PLAN AMENDMENT NO. 00-07 (HUNTER'S RIDGE SPECIFIC PLAN AMENDMENT #11) TO CHANGE THE LAND USE DESIGNATION OF PLANNING AREAS 3 AND 3A FROM "R-3, 2,500" MULTI-FAMILY TO "R-1, 4,500" SINGLE-FAMILY RESIDENTIAL AND REVISE VARIOUS LAND USE REQUIREMENTS AS THEY RELATE TO THE RESIDENTIAL LAND USE WITHIN THE HUNTER'S RIDGE SPECIFIC PLAN.

THE CITY COUNCIL OF THE CITY OF FONTANA DOES ORDAIN AS FOLLOWS:

Section 1. Find that the project will not have a significant effect on the environment, adopt the Negative Declaration and State of California Department of Fish and Game de Minimis Impact Finding, and direct staff to prepare and file a Notice of Determination.

Section 2. Specific Plan Amendment No. 00-07 (Hunter's Ridge Specific Plan Amendment #11) is consistent with the goals and policies of the General Plan.

Section 3. Specific Plan Amendment No. 00-07 is hereby approved and the land use designation of Planning Areas 3 and 3A (Assessor Parcel Nos. 0226-082-42 and 0226-082-71) will be changed from "R-3, 2,500" Multi-Family Residential to "R-1, 4,500" Single-Family Residential as shown on Exhibit "A" attached.

Section 4. In addition to the land use designation changes there are a number of other areas within the specific plan that are being revised as they relate to the Planning Areas 3 and 3A as shown in Exhibit "B" attached and incorporated herein.

Section 5. Any provision of this Ordinance which is declared by a court of competent jurisdiction to be void, invalid or unlawful may be stricken from this Ordinance and the remainder of this Ordinance enforced in accordance with its terms. The Council declares that it would have adopted this Ordinance, such severance notwithstanding.

Section 6. This Ordinance shall take effect thirty (30) days after the date of the adoption and prior to the expiration of fifteen (15) days from passage thereof, shall be published by the City Clerk at least once in the Herald News, a newspaper of general circulation, published and circulated in the City of Fontana, and henceforth and thereafter the same shall be in full force and effect.

APPROVED AND ADOPTED this 16th day of January, 2001.

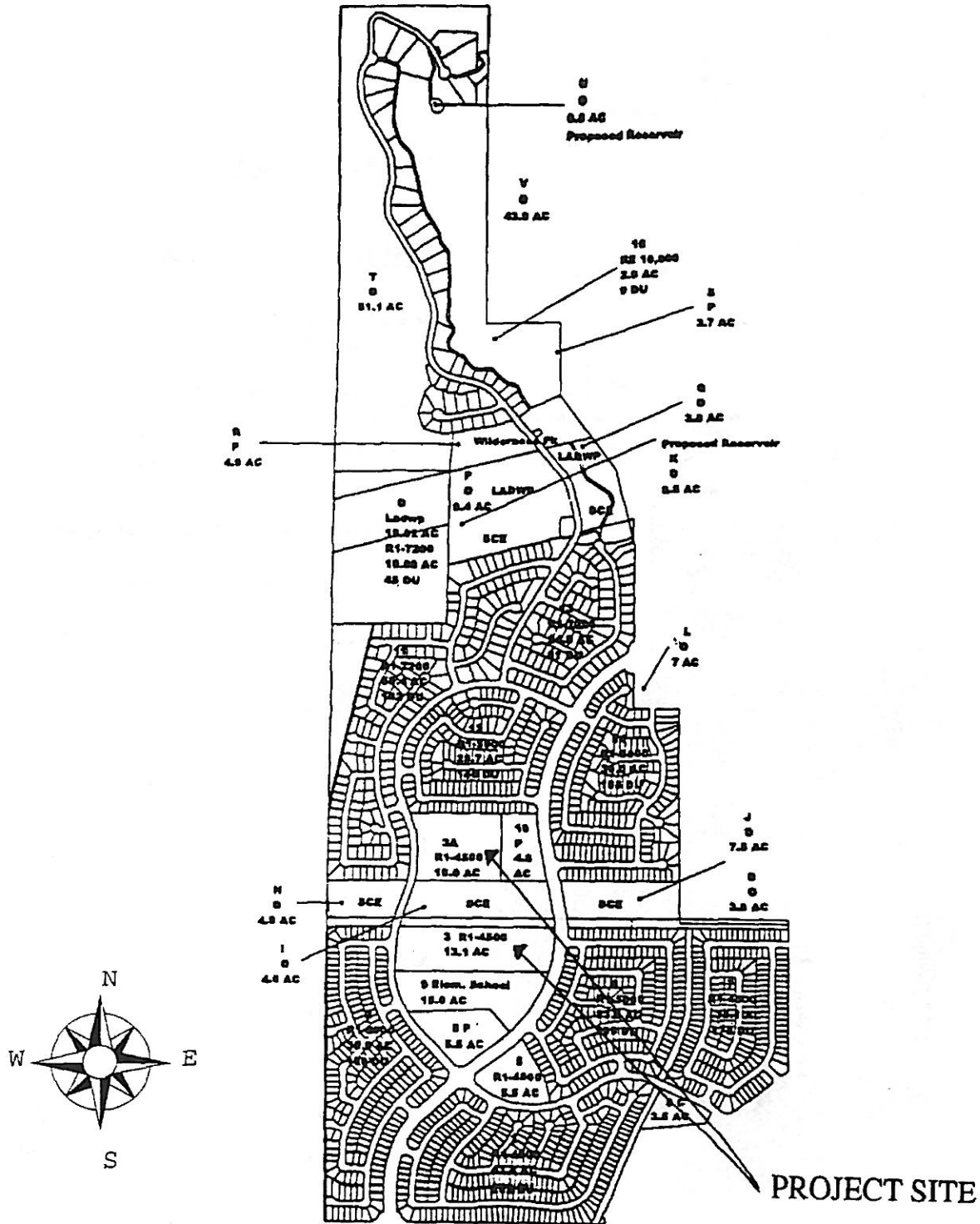
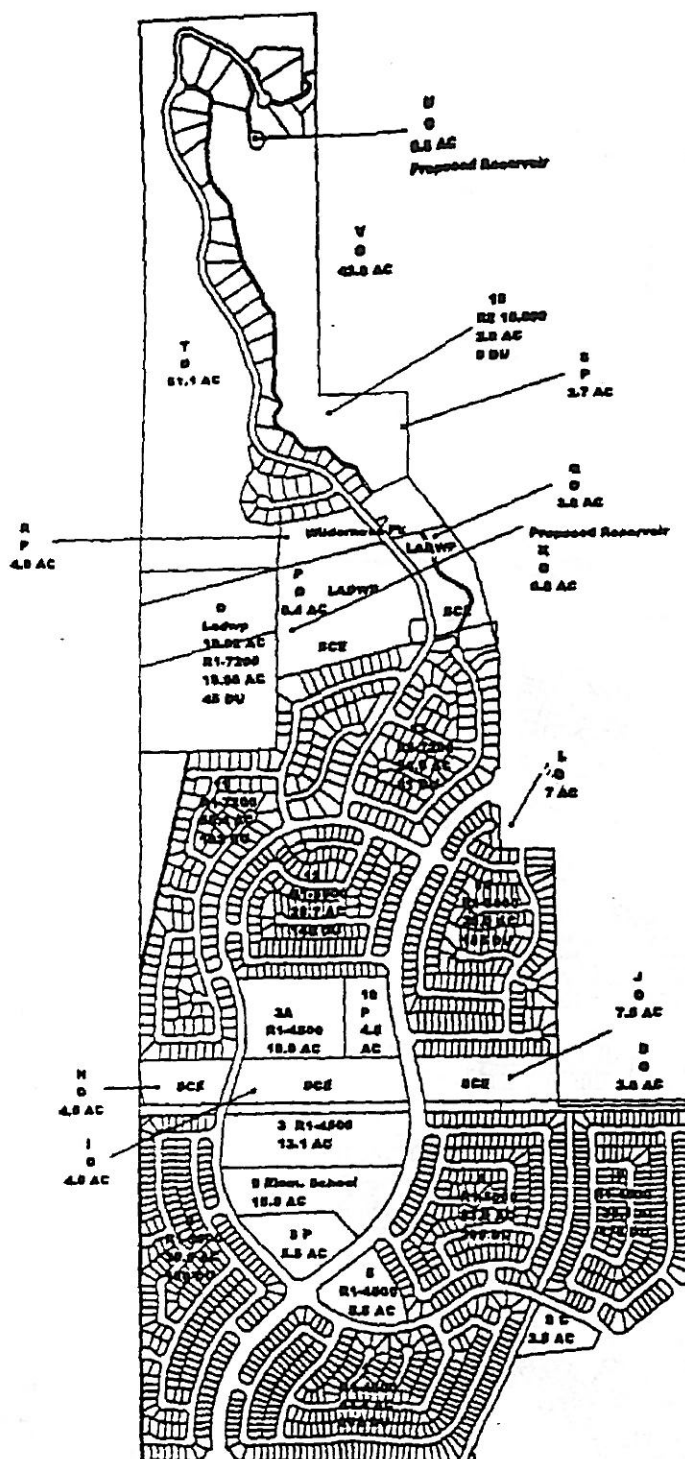


Exhibit "A"

DATE: December 19, 2000

CASE: Specific Plan Amendment #00-07



A Specific Plan Prepared for the City of Fontana

Multi-Family Residential

REFERENCES FOR BASE INFORMATION:

EXHIBIT I-2

2. Statistical Summary/Development Yield

This summary (Table 2-1) on page II-6 regulates the amount of development that can occur in each planning unit area (PUA). For residential uses, the limitation is expressed in two ways: 1) By a minimum required net lot area per unit, indicated by a suffix after the use designation (for example, R-1 7,200 is a single family residential use with a minimum net lot area per unit of 7,200 square feet); and 2) By a maximum number of dwelling units that can be built in each planning unit area. (Subject only to minor boundary or dwelling unit adjustment as described on this page and General Provisions for Reduced Building Pad Allowance, page II-61).

NOTE: In single family districts, minimum lot size and lot area per unit are identical; in multiple family districts, lot area per unit is always some fraction of minimum lot size.

Planning unit area boundaries may be adjusted with a resultant maximum acreage increase of 10 percent or decrease of 10 percent owing to final project design. As described more completely, on page II-55, this may also result in dwelling unit adjustments, subject to the following limitations:

- a) The maximum of ~~4,936~~ 1,696 dwelling units shall not be exceeded: (349.7 net residential acres);
- b) The maximum dwelling unit count for the aggregate of planning unit areas affected by a particular planning unit area adjustment shall not be increased beyond the aggregate shown in this plan;
- c) The number of estate lots (50) and single-family detached lots (318) with 7,200 square feet of lot area or larger shall not be decreased as a consequence of any boundary adjustment (except if Western Levee cannot be relocated to western boundary of PUA 11 - per SBCFC approval);
- d) ~~The number of apartments or townhouse units (390 du) shall not be increased as a consequence of any boundary adjustment;~~
- e) Boundary adjustments may involve any adjacent planning unit area or non-adjacent area with the same zoning district designation as the planning unit area in question, so long as all of the affected land is owned or legally controlled by the same party, of both parties can reach mutual agreement;

Amended _____, 2000
City Council Ord. No. _____
Amended October 19, 1999
City Council Ord. No. 1306
Amended 5/4/99
City Council Ord. No. 1286

- f) A final geotechnical study of the Alquist-Priolo Zone shall investigate the fault alignment and evaluate the proposed location of SBCFC debris dam in San Sevaine Canyon, water tank location (PUA K), and any affected residential (PUA 11, 13, 15, 16) lots. Design measures shall be taken by registered engineer using recommended design criteria by registered soils engineer or geologist prior to building permit approval; and
- g) The dwelling unit percentages as stated below for each lot size category (example R-1 7,200, R-1 5,000, etc.) may not vary, except as stated herein, from the following percentages:

<u>LOT SIZE</u>	<u>%</u>	<u>DU</u>
R-E 10,000 =	2.5% 2.9%	50
R-1 7,200 =	16.3% 18.8%	318
R-1 5,000 =	38.2% 43.6%	740
R-1 4,500 =	22.5% 34.7	438 588
R-3 TH =	20.1%	390
TOTAL:	100.0%	1,936 1,696 DU

3. Purpose and Intent

The land uses in the various planning unit areas are described in terms of permitted uses and conditional uses. The purpose of each of the single family and multi-family residential uses, as well as commercial, and public/quasi-public uses are described on pages II-4 to II-11. Charts listing permitted and conditional uses follow page II-11.

The overall mix of uses is intended to provide for a reasonably balanced community. The range of residential designations is intended to provide a diversity of housing choices and lifestyles, as well as to serve several residential markets at the same time.

- a) (R-E 10,000) Residential Estate District: This residential district is intended for quality low density single family estate homes on large lots with 10,000 square foot minimum net lot area.

Amended 10/19/99
City Council Ord. No. 1306 ____
Amended 5/4/99
City Council Ord. No. 1286

II-4

Amended ____
City Council Ord. No. ____
Amended 12/19/95
City Council Ord. No. 1170

**HUNTER'S RIDGE
STATISTICAL SUMMARY/DEVELOPMENT YIELD**

TABLE II-1

Legend (Land Use)

O = Open Zone

P = Public

R = Residential

Planning Unit Area	Land Use	Maximum du	Net Acres	Average Net Residential Density
PHASE 1A				
1	R1-4500	262	43.4	6.04
2	R1-5000	199	38.0	5.24
6	R1-5000	205	33.9	6.04
7	R1-4500	176	28.1	6.26
3 & 3A	R1-4500	150	23.0	6.61
o Subtotal (SF Res)	—	842-992	143.4 166.4	5.86-5.95
o Total Residential	-----	992	166.4	5.95
(20' Summit Buffer)	O		0.7	
(20' Summit Buffer)	O		0.2	
(Westerly Levee)	O		0.7	
(Hawker Crawford)	O		3.8	
(30' Freeway Buffer)	O		0.4	
(30' Freeway Buffer)	O		1.2	
(Hawker Crawford)	O		4.0	
H (SCE Easement)	O		4.6	
(SCE Easement)	O		9.4	
(SCE Easement)	O		7.5	
(Park)	P		5.9	
(Commercial)	C		9.0	
(Elementary School)	O		10.0	
Major Streets			14.4	
o Total Non-Residential			62.8	
o Phase 1A Total		842 992	206.2 229.2	4.08 4.33

**HUNTER'S RIDGE
STATISTICAL SUMMARY/DEVELOPMENT YIELD**

**TABLE II-1
(Continued)**

Legend (Land Use)

O = Open Zone

P = Public

R = Residential

Planning Unit Area	Land Use	Maximum du	Net Acres	Average Net Residential Density
PHASE 1B				
11	R1-7200	192	55.4	3.47
o Subtotal (SF Res)		192	55.4	3.47
o Total Residential		192	55.4	3.47
K (Reservoir)	O		0.8	
10 (Park)	P		4.8	
Major Street	-----		10.3	
o Total Non-Residential			15.9	
o Phase 1B Total		192	71.3	2.69

Planning Unit Area	Land Use	Maximum du	Net Acres	Average Net Residential Density
PHASE 1C				
3	R3-2500	221	13.1	16.88
3A	R3-2500	169	10.0	16.88
o Subtotal (MF Res)		390	23.1	16.88

Amended 10/19/99

City Council Ord. No. 1306

II-7

Amended 8/2/94

City Council Ord. No. 1123

**HUNTER'S RIDGE
STATISTICAL SUMMARY/DEVELOPMENT YIELD**

**TABLE II-1
(Continued)**

Legend (Land Use)

O = Open Zone

P = Public

R = Residential

Planning Unit Area	Land Use	Maximum du	Net Acres	Average Net Residential Density
PHASE THREE				
15	RE-10000	17	5.6	3.04
16	RE-10000	9	2.9	3.10
17	RE-10000	24	10.8	2.22
o Subtotal (SF Res)		50	19.3	2.59
T Scenic Open Space	O		51.1	
U Reservoir	O		0.8	
V Scenic Open Space	O		43.9	
Major Roads	-----		5.9	
NON-RESIDENTIAL	-----	-----	101.7	
PHASE THREE TOTALS:	-----	50	121.0	0.41
Project Totals/Summary				
o SF Residential		1,501 1696	311.0 349.7	4.83
o MF Residential		390	23.1	16.88
o Subtotal (Net)		1,936 1696	349.7	4.84
NON-RESIDENTIAL		-----	245.3	
Total Project (Gross):		1,936 1696	595.0	3.74 2.85

Amended 10/19/99

City Council Ord. No. 1306

Amended _____, 2000

City Council Ord. No. _____

Amended 8/2/94

City Council Ord. No. 1123

AMENDED 12/19/95

City Council Ord. No. 1170

- b) (R-1 7,200) Single Family Residential District: This residential district is intended for quality low density single family uses composed chiefly of individual homes, together with supportive recreational, religious, educational and other community facilities. The minimum net lot area per unit shall be 7,200 square feet.
- c) (R-1 5,000) Single Family Residential District: This residential district is intended to provide for medium density, quality, diversified single family housing (conventional detached, clustered or zero lot line) together with supportive recreational, religious, educational and other community facilities. The minimum net lot area shall be 5,000 square feet.
- d) (R-1 4,500) Single Family Residential District: This residential district is also intended to provide for medium density, quality, diversified single family housing. Its purpose is similar to R1-5000 and offers variety in lot size. The minimum lot area shall be 4,500 square feet.
- e) ~~(R-3 2,500) Multiple Family Residential District: This multiple family townhouse residential zone is intended to provide for medium high density, quality, diversified multiple family home options. The minimum lot area per dwelling unit shall be 2,500 square feet.~~
- f) C - Commercial District: This neighborhood commercial district is intended to provide retail and service commercial facilities to serve residents and visitors to Hunter's Ridge, surrounding neighborhoods and the general community.
- g) P - Public: The public district is intended to provide for schools and parks to primarily serve residents and employees in Hunter's Ridge at or above current standards.

II-10

Amended _____
City Council Ord. No. ____

Amended 10/19/99
City Council Ord. No. 1306

Amended 8/2/94
City Council Ord. No. 1123

Amended 12/19/95
City Council Ord. No. 1170

P -Permitted
C -Conditional Use

HUNTER'S RIDGE SPECIFIC PLAN
PERMITTED USES
SINGLE-FAMILY
RESIDENTIAL DISTRICTS

EXHIBIT II-1

USES	R-E 10,000	R-1 7,200	R-1 5,000	R-1 4,500
PLANNING AREAS	15 16 17	11 13 18	2 6 12 14	1 7 3 3A
One-Family Dwellings (detached)	p	p	p	p
Second Unit/Granny Flat	c/1	c/1		
Two-Family Dwellings (attached)				
Multiple-Family Dwellings (attached)				
Condominiums & Semi-Detached		c	c	c
Accessory Structures/Uses	p/2	p/2	p /2	p/2
Agriculture (new and cont. uses)	c/2			
Boarding House	c/4	c/4	c/4	c/4
Cemeteries	c	c	c	c
Churches	c	c	c	c
Community or Private Clubs	c	c	c	c
Community Facilities	c	c	c	c
Day Care and Pre-School, Nursery School	c	c	c	c

1 Allowable only by a homeowner, not the original developer or builder.

2 Where related and incidental to the permitted use, as regulated by Section 30-174 of the City Code.

3 As required by Section 30-157(i) of the City Code.

4 The keeping of not more than two non-transient boarders or lodgers by a resident family is permitted in the main dwelling unit. A conditional use permit shall be required for more than two boarders.

Amended 5/4/99

City Council Ord. No. 1286

II-12

Amended 12/19/95
City Council Ord. No. 1170

Amended _____
City Council Ord. No. _____

P - Permitted
C - Conditional Use

**HUNTER'S RIDGE SPECIFIC PLAN
PERMITTED USES
SINGLE-FAMILY
RESIDENTIAL DISTRICTS
(CONTINUED)**

EXHIBIT II-1

USES	R-E 10,000	R-1 7,200	R-1 5,000	R-1 4,500
PLANNING AREAS	15 16 17	11 13 18	2 6 12 14	1 7 3 3A
Dog Kennels	c/5			
Family Care, Foster or Group Home	c	c		
Home Occupants	p/6	p/6	p/6	p/6
Horses (4 per 30,000 sf lot area)	c/8			
House Pets	p/7	p/7	p/7	p/7
Livestock	c			
Non-Commercial Stables and Related Uses	c/8			
Pedestrian, Bicycle and Equestrian Trails	p	p	p	p
Private Recreation Facilities (Community-owned)	p	p	p	p
Private Schools	c	c	c	c
Public & Private Equestrian Uses	c/8			

5 Any lot or premises on which four or more dogs at least four months of age are kept.

6 The keeping of not more than two non-transient boarders or lodgers by a resident family is permitted in the main dwelling unit. A conditional use permit shall be required for more than two boarders.

7 A total of two adult dogs or cats and their litter (up to 3 months of age.)

8 Footnote 8 has been intentionally omitted.

P - Permitted
C - Conditional Use

**HUNTER'S RIDGE SPECIFIC PLAN
PERMITTED USES
SINGLE-FAMILY
RESIDENTIAL DISTRICTS
(CONTINUED)**

EXHIBIT II-1

USES	R-E 10,000	R-1 7,200	R-1 5,000	R-1 4,500
PLANNING AREAS	15 16 17	11 13 18	2 6 12 14	1 7 3 3A
Public Safety Facilities	c	c	c	c
Public Utility & Serv. Facilities	c/9	c/9	c/9	c/9
Recreational Vehicle Storage	c/10	c/10	c/10	c/10
Rifle Range	c			
Temporary Uses	p/11	p/11	p/11	p/11
Tennis Club/Swimming Clubs	p	p	c	c
Zero Lot Line Single-Family Design			c	c

9 As required to implement the Specific Plan.

10 As permitted in Section 30-157 (i) City Code; in addition, no such vehicle shall be parked in the front yard of a lot, front driveway or public right-of-way, unless for the purpose of loading and unloading, in which case six hours is permitted. Permanent storage where permitted shall be screened from view from any public road.

11 As permitted by the City Code.

Amended 5/4/99
City Council Ord. No. 1286

II-14

Amended 12/19/95
City Council Ord. No. 1170

Amended _____
City Council Ord. No. _____

P - Permitted
C - Conditional Use

**HUNTER'S RIDGE SPECIFIC PLAN
PERMITTED USES
MULTIPLE-FAMILY
RESIDENTIAL DISTRICTS**

EXHIBIT II-2

USES	R-3 2,500	R-3 1,800
PLANNING AREAS	3,3A	8
One-Family Dwellings (detached)	p/1	p/1
One-Family Dwelling (attached)	P	P
Two or More Dwellings (detached)	P	P
Two-Family Dwellings (attached/duplex)	P	P
Multiple-Family Dwellings (attached)	P	P
Semi-Detached Dwellings	P	
Condominiums	P	P
Accessory Structures/Uses	p/2	p/2
Apartments	e	P
Boarding House	e	e
Charitable Organizations	e	e
Churches, Public and Private	e	e
Community or Private Clubs	e	e
Community Facilities	e	e
Convent	e	e

1 One-family detached dwellings are permitted and must conform to the provisions of the proposed product type. (Example: 7,200 s.f. lots must conform to R-1 7200 provisions herein.)

2 Where related and incidental to the permitted use, as required by Section 33-22 of the City Code.

II-15

P - Permitted
C - Conditional Use

Amended 12/19/95
City Council Ord. No. 1170

Amended _____
City Council Ord. No. _____

**HUNTER'S RIDGE SPECIFIC PLAN
PERMITTED USES
MULTIPLE-FAMILY
RESIDENTIAL DISTRICTS
(CONTINUED)**

EXHIBIT II-2

USES	R-3 2,500	R-3 1,800
PLANNING AREAS	3,3A	8
Day Care, Pre-School, and Nursery School	e	e
Family Care, Foster or Group Home	e	e
Fraternities & Sororities, Dormitories	e	e
Home Occupations	p/3	p/3
Hospital, Nursing Homes	e	e
House Pets	p/4	p/4
Pedestrian, Bicycle & Equestrian Trails	p	p
Private Recreation Facilities (commonly-owned)	p	p
Private Schools	e	e
Public Safety Facilities	e	e
Public Utility and Service Facilities	p/5	p/5
Temporary Uses	p/6	p/6
Tennis Club/Swimming Clubs	e	e

3 As permitted by Section 33-22 (d) of the City Code.

4 If allowed by landlord; a total of one dog or cat and their litter (up to 3 months of age).

5 As required to implement the Specific Plan.

6 As permitted by the City Code.

**HUNTER'S RIDGE SPECIFIC PLAN
SITE DEVELOPMENT STANDARDS
SINGLE-FAMILY RESIDENTIAL
EXHIBIT II-4**

Land Use	Single Family Estate	Single-Family Residential			
Zoning Category District	Low Density	Medium Density			Planned Residential Development
	RE-10000	R1-7200	R1-5000	R1-4500	
Planning Unit Area(s)	15 16 17	11 13 18	2 6 12 14	1 7 3 3A	All R1-5000 and R1-4500
Site Development Standards					
Min. Project Size	N/A	N/A	N/A	N/A	Entire Planning Unit Area
Min. Net Lot Size	10,000 SF	7,200 SF	5,000 SF	4,500 SF	Determined by Unit Size/4
Min. Bldg. Pad/2	10,000 SF	7,200 SF/2	5,000 SF/2	4,500 SF	Determined by Unit Size/4
Min. Net Lot Area/DU	10,000 SF	7,200 SF	5,000 SF	4,500 SF	Per Applicable Zoning District
Max. Lot Coverage	40%	45%	45%	45%	N/A
Min. Lot Width	80'	60'	50'	45'	Determined by Unit Size/4
Min. Lot Depth	110'	100'	70'	70'	Determined by Unit Size/4
Min. Front Bldg. Setback/6					Per Applicable Zoning District/4
o Average	30'	25'	22'	22' - 15' (8)	
o Minimum	25'	20'	18'	18'	
Min. Interior Side Bldg. Setback					Per Applicable Zoning District/5
o Conventional					
Minimum-One Side	10'	6'	5'	5'	
Minimum-Aggregate	25'	12'	10'	10'	
Zero Lot Line					
o Minimum-One Side	N/A	N/A	0'	0'	
o Minimum-Aggregate	N/A	N/A	16'	15'	

II-30

Amended 6/20/95
City Council Ord. No. 1158
Amended 12/19/95
City Council Ord. No. 1170

Amended 5/4/99
City Council Ord. No. 1286
Amended _____, 2000
City Council Ord. No. ____

**EXHIBIT II-4
(Continued)**

Land Use		Single Family Estate	Single-Family Residential			
Zoning Category District		Low Density	Medium Density			Planned Residential Development
		RE-10000	R1-7200	R1-5000	R1-4500	
Planning Unit Area(s)		15 16 17	11 13 18	2 6 12 14	1 7 3 3A	All R1-5000 and R1-4500
Site Development Standards						
Min. Exterior (Corner Lot) Side Bldg. Setback		20'	15'	15'	15'	Per Applicable Zoning District/4
Min. Rear Bldg. Setback		25'	20'	15'	15'	Per Applicable Zoning District/4
Min. Distance Between Structures						
o Single Story		10'	8'	6'	6'	10'
o Two Story		12'	10'	8'	8'	20'
Min. Garage Front-On Setback		25'	20'	20'	20'	20/3
Min. Garage Side-On Setback		10'	7.5'	5'	5'	5/3
Max. Building Height		35'	35'	35'	35'	35'

II-31

Amended 8/2/94
City Council Ord. No. 1123

Amended 5/4/99
City Council Ord. No. 1286

Amended 12/19/95
City Council Ord. No. 1170

Amended _____, 2000
City Council Ord. No. ____

EXHIBIT II-4
(Continued)

Land Use	Single Family Estate	Single-Family Residential			
Zoning Category District	Low Density	Medium Density			Planned Residential Development
	RE-10000	R1-7200	R1-5000	R1-4500	
Planning Unit Area(s)	15 16 17	11 13 18	2 6 12 14	1 7 3 3A	All R1-5000 and R1-4500
Site Development Standards					
Dwelling Unit Size o Minimum o Median	2,100 sf *	1,200 sf 1,500 sf	1,100 sf 1,250 sf	1,000 sf 1,100 sf	Per Applicable Zoning District
Min. Parking Spaces o Garage o Garage or Carport o Parking Space (guest)	2	2	2	2	2
Min. Priv. Yard Area (see Min. Rear Bldg. Setback)	N/A	N/A	N/A	N/A	20 Percent of Building Area 10'
Min. Width					
Min. Common Usable Open Space Area	N/A	N/A	N/A	N/A	500 SF
Min. Landscape Coverage	20% /6	20% /6	20% /6	20% /6	N/A
Net Residential Density in DU/Acre	3.3	4.5	6.2	6.3	Per Applicable Zoning Designation

* Custom homes will be individually built, therefore, average not applicable.

II-32

Amended 12/19/95
City Council Ord. No. 1170

Amended 5/4/99
City Council Ord. No. 1286

Amended _____
City Council Ord. No. ____

EXHIBIT II-4
(Continued)

1. GENERAL NOTES:
 - a. All area designations are in square feet unless otherwise noted.
 - b. All distance designations are in feet.
 - c. All setbacks are calculated from the property line unless otherwise noted.
2. In rural residential districts, this figure is a maximum. This is intended to minimize lot grading in rural residential zones to 10,000 s.f. building pads, however, if the pad is terraced (slop banks 2:1, with bank or wall 6 feet maximum height within the building pad the maximum building pad may be 12,500 s.f.
3. See General Provision for "Reduced Pad Allowance."
4. The individual lot consists of the building footprint plus 20 percent of the dwelling unit square footage.
5. Distances are calculated from the project area boundary and public or private street right-of-way lines, as appropriate.
6. The minimum setback may be used for no more than 33% of the planning unit area street frontage; the average setback shall apply along the remaining frontage.
7. The developer shall provide a streetscape landscape amenity package for each lot (except rural residential lots). See General Provisions, "Project Amenity Package," this section.
8. Applies to Planning Areas (PA) 3 and 3A only.

II-33

Amended 12/19/95
City Council Ord. No. 1170

Amended 5/4/99
City Council Ord. No. 1286

Amended _____
City Council Ord. No. ____

**SITE DEVELOPMENT STANDARDS HUNTER'S RIDGE SPECIFIC PLAN
MULTIPLE FAMILY RESIDENTIAL AND NON-RESIDENTIAL**

EXHIBIT II-5

LAND USE		MULTIPLE FAMILY RESIDENTIAL		COMMERCIAL	PUBLIC		OPEN				
ZONING	CATEGORY DISTRICT DWELLING TYPE	HIGH DENSITY R3-2500 TOWNHOUSE	Planned Residential Development	Commercial	Public Park	School	Flood Control	Utility Ease-ment	Open Space	Duncan Canyon Setback	Summit Avenue Setback
Planning Unit Area(s)		3 3A	All R3 Planning Unit Areas	5 & 8	4 10	9	D G K L	H I J M O P Q	C N R S T U V	E F	A B
Site Development Factor											
Min. Project Size		3.0 AC	3.0 AC	4 ac./ 3.5 ac.*	3 ac.	10 ac.	N/A	N/A	N/A	N/A	N/A
Min. Net Lot Size o Conventional		N/A	Determined by unit size/2	Determined by bldg. size/3	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Min. Bldg. Pad		15,000 SF	Determined by unit size/2 Per Applicable Zoning District	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Min. Net Lot Area/DU		2,500 SF	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Max. Lot Coverage		60%		40%/60%*	N/A	N/A	N/A	N/A	N/A	N/A	N/A

*Planning Area 8

**SITE DEVELOPMENT STANDARDS HUNTER'S RIDGE SPECIFIC PLAN
MULTIPLE FAMILY RESIDENTIAL AND NON-RESIDENTIAL**

**EXHIBIT II-5
(Continued)**

LAND USE		MULTIPLE FAMILY RESIDENTIAL		COMMERCIAL	PUBLIC		OPEN					
Zoning	Category District Dwelling Type	High Density R3-2500 Townhouse		Planned Residential Development	Commercial	Public Park	School	Flood Control	Utility Easement	Open Space	Duncan Canyon Setback	Summit Avenue Setback
Planning Unit Area(s)		3 3A		All R3 Planning Unit Areas	5 & 8	4 10	9	D G K L	H I J M O P Q	C N R S T U V	E F	A B
Site Development Factor												
Min. Lot Width												
o Conventional		100'		Determined by unit size/2	Determined by unit size/3	Per City require ment	Per School District req.	Per Flood Control req.	Per Utility req.		Project Front-age on Duncan	Project Front- age on Summit
o Planned Development												
Min. Lot Depth						Per City Req.	Per School Dist- rict Req.	Per Flood Control Req.	Per Utility req.		30'	20'

Amended _____
City Council Ord. No. ____

II-35

Amended 8/2/94
City Council Ord. No. 1123

Amended 10/19/99
City Council Ord. No. 1306

**SITE DEVELOPMENT STANDARDS HUNTER'S RIDGE SPECIFIC PLAN
MULTIPLE FAMILY RESIDENTIAL AND NON-RESIDENTIAL**

**EXHIBIT II-5
(Continued)**

LAND USE		MULTIPLE FAMILY RESIDENTIAL		COMMERCIAL	PUBLIC		OPEN				
ZONING	CATEGORY DISTRICT DWELLING TYPE	HIGH DENSITY R3-2500 TOWNHOUSE	Planned Residential Development	Commercial	Public Park	School	Flood Control	Utility Easement	Open Space	Duncan Canyon Setback	Summit Avenue Setback
Planning Unit Area(s)		3 3A	All R3 Planning Unit Areas	5 & 8	4 10	9	D G K L	H I J M O P Q	C N R S T U V	E F	A B
Site Development Factor											
Min. Lot Depth o Conventional o Planned Development		120'	Determined by unit size/2	Determined by bldg. size/3							
Min. Front Bldg. Setback (Avg/Min)		15'	15'/4'	10'/5'/8 min.*	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Min. Interior Side Yd Bldg. Setback (Avg/Min)		5'	10'/4'	0'/6'/0*	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Min. Exterior Blvd. Setback (Avg/Min)		5'	10'/4'	10'/6'/8 min.*	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Min. Rear Bldg. Setback (Avg/Min)		10'	20'/4'	0'/6'/0*	N/A	N/A	N/A	N/A	N/A	N/A	N/A

NOTE: *For Planning Area 8 only.

II-36

Amended _____
City Council Ord. No. ____

Amended 8/2/94
City Council Ord. No. 1123

Amended 10/19/99
City Council Ord. No. 1306

**SITE DEVELOPMENT STANDARDS HUNTER'S RIDGE SPECIFIC PLAN
MULTIPLE FAMILY RESIDENTIAL AND NON-RESIDENTIAL**

**EXHIBIT II-5
(Continued)**

LAND USE		MULTIPLE FAMILY RESIDENTIAL		COMMERCIAL	PUBLIC		OPEN				
ZONING	CATEGORY DISTRICT DWELLING TYPE	HIGH DENSITY R3-2500 TOWNHOUSE	Planned Residential Development	Commercial	Public Park	School	Flood Control	Utility Ease-ment	Open Space	Duncan Canyon Setback	Summ Avenu Setbac
Planning Unit Area(s)		3 3A	All R3 Planning Unit Areas	5 & 8	4 10	9	D G K L	H I J M O P Q	C N R S T U V	E F	A B
Site Development Factor											
Min. Distance Between Structures/11		15'	15'	0'/30'	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Single Story		20'	20'	0'/30'	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Two Story		5'-4	20'/4	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Min. Garage Front-On Setback/4 or Reverse Setback		35'/5	35'/5	30'/5	35'	N/A	N/A	N/A	N/A	N/A	N/A
Max. Building/5 Height		800 SF	Per Applicable Zoning District	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Min. Dwelling Unit Size											

Amended _____
City Council Ord. No. ____

II-37

Amended 8/2/94
City Council Ord. No. 1123

Amended 10/19/99
City Council Ord. No. 1306

**SITE DEVELOPMENT STANDARDS HUNTER'S RIDGE SPECIFIC PLAN
MULTIPLE FAMILY RESIDENTIAL AND NON-RESIDENTIAL**

**EXHIBIT II-5
(Continued)**

LAND USE		MULTIPLE FAMILY RESIDENTIAL		COMMERCIAL	PUBLIC		OPEN				
ZONING	CATEGORY DISTRICT DWELLING TYPE	HIGH DENSITY R3-2500 TOWNHOUSE	Planned Residential Development	Commercial	Public Park	School	Flood Control	Utility Easement	Open Space	Duncan Canyon Setback	Sum Aver Setba
Planning Unit Area(s)		3 2A	All R3 Planning Unit Areas	5 & 8	4 10	9	D G K L	H I J M O P Q	C N R S T U V	E F	A B
Site Development Factor											
Req. Parking Spaces o Garage/8 o Garage or Carport/8 o Parking Space (Guest)		2/2.25 1/1DU 3/1DU	2/2.25 3/1DU	1/250 of gross* bldg. area	Per city req	Per School District req.	N/A	N/A	N/A	N/A	N/A
Min. Private Yard/9 Area		100 8'	200 SF 8'	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Req. Common Useable OS o Area per DU o Per Min. Lot Area o Min Common Useable OS o Min. Width		200 SF 1,500 2,500 25'	300 SF	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A

*Required Parking Spaces for Self Storage is 1/150 units.

II-38

Amended _____
City Council Ord. No. _____

Amended 8/2/94
City Council Ord. No. 1123

Amended 10/19/99
City Council Ord. No. 1306

**SITE DEVELOPMENT STANDARDS HUNTER'S RIDGE SPECIFIC PLAN
MULTIPLE FAMILY RESIDENTIAL AND NON-RESIDENTIAL**

**EXHIBIT II-5
(Continued)**

LAND USE		MULTIPLE FAMILY RESIDENTIAL			COMMERCIAL	PUBLIC		OPEN				
Zoning	Category district Dwelling Type	High Density R3-2500 Townhouse		Planned Residential Development	Commercial	Public Park	School	Flood Control	Utility Easement	Open Space	Duncan Canyon Setback	Sumn Aven Setba
Planning Unit Area(s)		3 3A		All R3 Planning Unit Areas	5 & 8	4 10	9	D G K L	H I J M O P Q	C N R S T U V	E F	A B
Site Development Factor												
Min. Landscape Coverage		15%			15%/20%*	Per city require- ment	Per School Dist. req.	N/A	N/A	N/A	85% (allows 4' walk)	80% (allows 4' walk)
Net Residential Density		46.7		Per Applicable Zoning District	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A

NOTE: Minimum landscape coverage for self-storage of parking area.

GENERAL PROVISIONS MATRIX
(Continued)

Provision

Applicable To

R C P O

3) **Multiple Family**

- a) ~~A minimum of 200 square feet of recreation common open space shall be required per dwelling unit—excluding front and side yard areas.~~
- ~~○ This area shall have no dimension less than 25' with no encroachments within it.~~
 - ~~○ A minimum of 35% shall be in one area and at least 45% shall be landscape.~~
 - ~~○ Recreation areas shall be in lawn, including picnic tables, barbecues or swimming pool, volleyball or basketball courts, etc.~~
 - ~~○ Projects with 20+ units shall provide a tot lot (with commercial quality play equipment) at the rate of 25 square feet per unit. They shall have cushion type surface (sand/pea gravel with a minimum depth of 10 inches) and bordered by wood or concrete. Specific amenities and details shall be indicated on final plans.~~
- b) ~~Security and/or decorative lighting is required and plans shall be submitted for such.~~

R C P O

GENERAL PROVISIONS MATRIX
(Continued)

Provision

Applicable To

R C P O

- c) ~~There shall be no less than 1 specimen 24-inch box tree per unit. d) At least 100 square feet of private open space shall be required in the form of a screened patio area or balcony with a minimum dimension of 8 feet.~~
- 4) Parks: Large 20 scale plans are provided for both parks and the wilderness parks. Plans are provided for the 3 major community recreation areas listed below: X
- a) Park Site Adjacent Major Intersection and School (Exhibit V-36; page V-77)
- b) Park Site north of the lower S.C.E. Easement (Exhibit V-37; page V-78)
- c) Wilderness Parks (Exhibit V-38; page V-79)
- b. Wall/Fencing Plan - A project master plan locating and illustrating the six types of walls and fencing including: community theme wall (entries and street side), view fence, open metal fence, perimeter walls, and split rail fence. NOTE: These walls are intended to convey a rural character. (See Exhibits III-6 and 7, pages III-33, 36.) X X X X
- "In addition, the developer shall prepare a detailed Landscape, Walls and Irrigation Plan for the on-site collector street; the developer shall be responsible for the construction of all key entries and intersections in accordance with the phasing plan. The merchant builder(s) will install incrementally all other said improvements mandated by the Plan. The Plan shall be in accordance with Specific Plan development regulations and shall be approved by the Planning Director and General Service Agency prior to the issuance of grading permits for Phase I.

R C P O

II-59

Amended _____
City Council Ord. No. ____

Amended 8/2/94
City Council Ord. No. 1123

Amended 12/19/95
City Council Ord. No. 1170

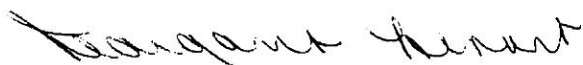
**PROOF OF PUBLICATION
(2015.5 C.C.P.)**

State of California
County of San Bernardino

I am a citizen of the United States and a resident of the County aforesaid; I am over the age of eighteen years, and not a party to or interested in the above entitled matter. I am the principal clerk of the printer of the Fontana Herald News, a newspaper of general circulation, printed and published every Thursday in the City of Fontana, County of San Bernardino, and which newspaper has been adjudged a newspaper of general circulation by the Superior Court of the State of California, in and for the County of San Bernardino, under the date of March 15, 1955, Case Number 73171, and that the notice, of which the annexed is a printed copy (set in type not smaller than nonpareil), has been published in each regular and entire issue of said newspaper and not in any supplement there of on the following dates, To-wit, December 21, 2000.

I certify (or declare) under penalty of perjury that the foregoing is true and correct.

Dated at Fontana, California, this 21st day of December.



Signature

This space is for the
County Clerk's stamp

**SUMMARY OF PROPOSED
ORDINANCE NO. 1340
P.O.# 01-0B003**

**CITY OF FONTANA
FONTANA, CALIFORNIA**

**SUMMARY OF PROPOSED
ORDINANCE NO. 1340**

NOTICE IS HEREBY GIVEN that the City Council of the City of Fontana, at a Regular Meeting scheduled on Tuesday, January 16, 2001, in the City Hall Council Chambers, 8353 Sierra Avenue, will consider adoption of Ordinance No. 1340, approving Specific Plan Amendment #00-07 (Hunter's Ridge Specific Plan Amendment #11), to change the land use designation of Planning Areas 3 and 3A from "R-3, 2,500" Multi-Family to "R-1, 4,500" Single-Family Residential and revise various land use requirements as they relate to the residential land use within the Hunter's Ridge Specific Plan.

A certified copy of the full text of the ordinance is available in the office of the City Clerk of the City of Fontana, 8353 Sierra Avenue, Fontana, California 92335.

**CITY COUNCIL OF THE
CITY OF FONTANA**
David R. Eshleman, Mayor

Beatrice Watson
City Clerk

Publish: December 21, 2000
P.O.# 01-0B003

FONTANA HERALD NEWS

16920 Spring Street
P.O. Box 549

Fontana, California 92334

Phone (909) 822-2231

Fax (909) 355-9358

**PROOF OF PUBLICATION
(2015.5 C.C.P.)**

State of California
County of San Bernardino

I am a citizen of the United States and a resident of the County aforesaid; I am over the age of eighteen years, and not a party to or interested in the above entitled matter. I am the principal clerk of the printer of the Fontana Herald News, a newspaper of general circulation, printed and published every Thursday in the City of Fontana, County of San Bernardino, and which newspaper has been adjudged a newspaper of general circulation by the Superior Court of the State of California, in and for the County of San Bernardino, under the date of March 15, 1955, Case Number 73171, and that the notice, of which the annexed is a printed copy (set in type not smaller than nonpareil), has been published in each regular and entire issue of said newspaper and not in any supplement there of on the following dates, To-wit, February 8, 2001.

I certify (or declare) under penalty of perjury that the foregoing is true and correct.

Dated at Fontana, California, this 8th day of February.



Signature

This space is for the
County Clerk's stamp

**SUMMARY OF ADOPTED
ORDINANCE NO. 1340
P.O.# 01-0B003**

**CITY OF FONTANA
FONTANA, CALIFORNIA**

**SUMMARY OF ADOPTED
ORDINANCE NO. 1340**

NOTICE IS HEREBY GIVEN that the City Council of the City of Fontana, at a regular meeting held on Tuesday, February 6, 2001 in the City Hall Council Chambers, 8353 Sierra Avenue, adopted Ordinance No. 1340, approving Specific Plan Amendment #00-07 (Hunter's Ridge Specific Plan Amendment #11) to change the land use designation of Planning Areas 3 and 3A from "R-3, 2,500" Multi-Family to "R-1, 4,500" Single Family Residential and revise various land use requirements as they relate to the residential land use within the Hunter's Ridge Specific Plan.

A certified copy of the full text of the ordinance is available in the office of the City Clerk of the City of Fontana, 8353 Sierra Avenue, Fontana, California 92335.

AYES: Mayor Eshleman, Council Members Gonzales, Roberts, Rutherford
NOES: None
ABSENT: None
ABSTAIN: Council Member Nuaimi

**CITY COUNCIL OF THE
CITY OF FONTANA**
David R. Eshleman, Mayor

Beatrice Watson
City Clerk

**Publish: February 8, 2001
P.O.# 01-0B003**

FONTANA HERALD NEWS

16920 Spring Street
P.O. Box 549

Fontana, California 92334

Phone (909) 822-2231

Fax (909) 355-9358

#10
3/20/01
RESOLUTION NO. 2001- 16

A RESOLUTION APPROVING GENERAL PLAN AMENDMENT #00-03, AN AMENDMENT OF THE LAND USE POLICY MAP TO CHANGE THE LAND USE DESIGNATION FROM "C-C" COMMUNITY COMMERCIAL TO "R-PC" RESIDENTIAL PLANNED COMMUNITY AS REFLECTED IN SPECIFIC PLAN AMENDMENT #00-03 (HUNTER'S RIDGE SPECIFIC PLAN AMENDMENT #10)

WHEREAS, the Planning Commission of the City of Fontana, at a meeting duly noticed and conducted on December 11, 2000, considered General Plan Amendment #00-03; and

WHEREAS, on December 11, 2000, the Planning Commission recommended to the City Council that General Plan Amendment #00-03 be approved; and

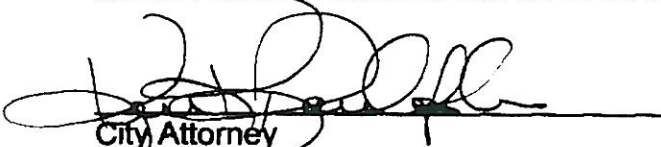
WHEREAS, Notice of the City Council public hearing concerning General Plan Amendment #00-03 was given pursuant to the Government Code by publication in The Herald News, a newspaper of general circulation within the City, on December 30, 2000.

NOW THEREFORE, be it resolved, determined, and ordered by the City Council of the City of Fontana as follows:

- Section 1. Find that the project will not have a significant effect on the environment, adopt the Negative Declaration and State of California Department of Fish and Game De Minimis Impact Finding, and direct staff to prepare and file a Notice of Determination.
- Section 2. The General Plan, Land Use Policy Map, is amended as per Specific Plan Amendment #00-03 (Hunter's Ridge Specific Plan Amendment #10) as shown on Exhibit "A" attached (Assessor Parcel No. 0226-082-39).
- Section 3. This resolution shall take effect when adopted.

APPROVED AND ADOPTED this 20th day of March, 2001.

READ AND APPROVED AS TO LEGAL FORM:


City Attorney

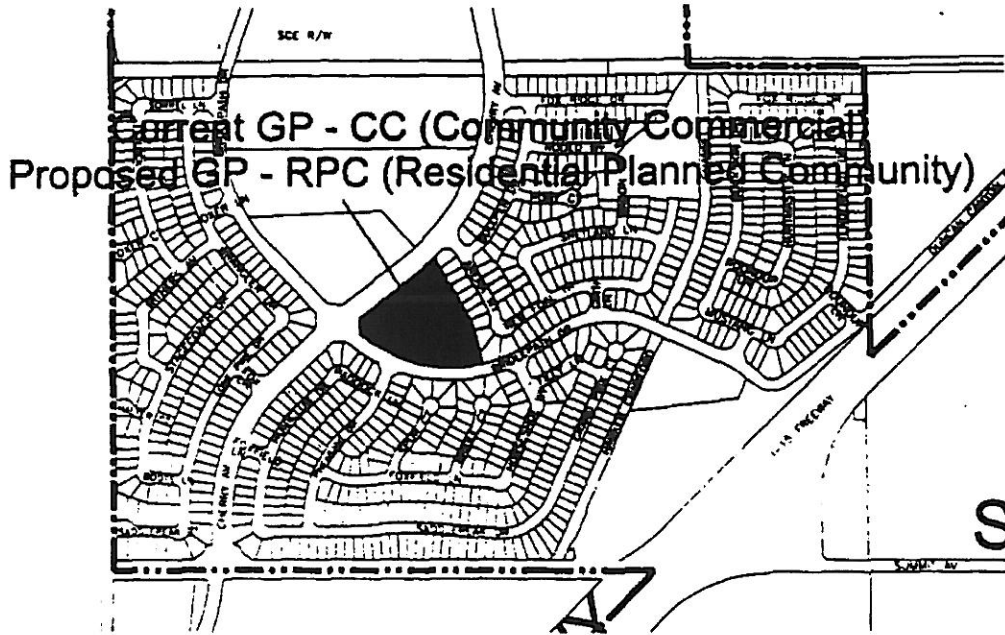


Exhibit "A"

DATE: March 20, 2001

CASE: SPA #00-03 & GPA #00-03

#11
2/5/02
ORDINANCE NO. 1346

**AN ORDINANCE OF THE CITY OF FONTANA
APPROVING SPECIFIC PLAN AMENDMENT NO. 00-03
(HUNTER'S RIDGE SPECIFIC PLAN AMENDMENT #10)
TO CHANGE THE LAND USE DESIGNATION OF
PLANNING AREA 5 FROM "C" COMMERCIAL TO "R-1,
4,500" SINGLE-FAMILY RESIDENTIAL AND REVISE
VARIOUS LAND USE REQUIREMENTS AS THEY
RELATE TO THE RESIDENTIAL LAND USE WITHIN THE
HUNTER'S RIDGE SPECIFIC PLAN.**

THE CITY COUNCIL OF THE CITY OF FONTANA DOES ORDAIN AS FOLLOWS:

Section 1. Find that the project will not have a significant effect on the environment, adopt the Negative Declaration and State of California Department of Fish and Game de Minimis Impact Finding, and direct staff to prepare and file a Notice of Determination.

Section 2. Specific Plan Amendment No. 00-03 (Hunter's Ridge Specific Plan Amendment #10) is consistent with the goals and policies of the General Plan.

Section 3. Specific Plan Amendment No. 00-03 is hereby approved and the land use designation of Planning Area 5 (Assessor Parcel No. 0226-082-39) will be changed from "C" Commercial to "R-1, 4,500" Single-Family Residential as shown on Exhibit "A" attached.

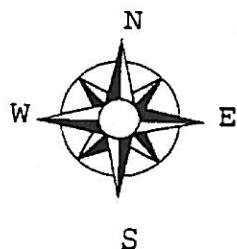
Section 4. In addition to the land use designation changes there are a number of other areas within the specific plan that are being revised as they relate to the Planning Area 5 as shown in Exhibit "B" attached and incorporated herein.

Section 5. Any provision of this Ordinance which is declared by a court of competent jurisdiction to be void, invalid or unlawful may be stricken from this Ordinance and the remainder of this Ordinance enforced in accordance with its terms. The Council declares that it would have adopted this Ordinance, such severance notwithstanding.

Section 6. This Ordinance shall take effect thirty (30) days after the date of the adoption and prior to the expiration of fifteen (15) days from passage thereof, shall be published by the City Clerk at least once in the Herald News, a newspaper of general circulation, published and circulated in the City of Fontana, and henceforth and thereafter the same shall be in full force and effect.

APPROVED AND ADOPTED this 5th day of February, 2002.

CITY OF FONTANA



CASE: SPA #00-03

CASE: SPA #00-03

I. INTRODUCTION

A. EXECUTIVE SUMMARY

This document contains all of the necessary information to implement the Hunter's Ridge Specific Plan.

The Hunter's Ridge site includes 570 acres. It is located three miles west of Lytle Creek at the base of the lower slopes of the San Gabriel Mountains in the northwestern corner of the City of Fontana. The project site is bounded by Summit Avenue and Duncan Canyon Road (adjacent to U.S. Interstate Highway 15 - Devore Freeway) on its south and southwestern edge and the San Sevaine Creek and Wash along its western boundary. It is further bounded to the east by the Rich Basin and cultivated fields, and to the north the property is adjacent to the San Bernardino National Forest.

The site is adjacent to other regional jurisdictions including the City of Rancho Cucamonga to the south and the County of San Bernardino to the west. The proposed Foothill Freeway (Route 30) will be south of the property adjacent to Highland Avenue.

The project relationship to the region is depicted on the Vicinity Map Exhibit (page I-2).

The Hunter's Ridge Specific Plan can be summarized by the following points:

It allows ~~1,696~~ **1,725** dwelling units on 596.0 acres for a gross density of ~~2.84~~ **2.89** dwelling units per gross acre. (*Note: This is less than the permitted 4.0 dwelling units per gross acre established by the LAFCO settlement agreement between the City of Fontana and the City of Rancho Cucamonga - See Appendix E: Background.)

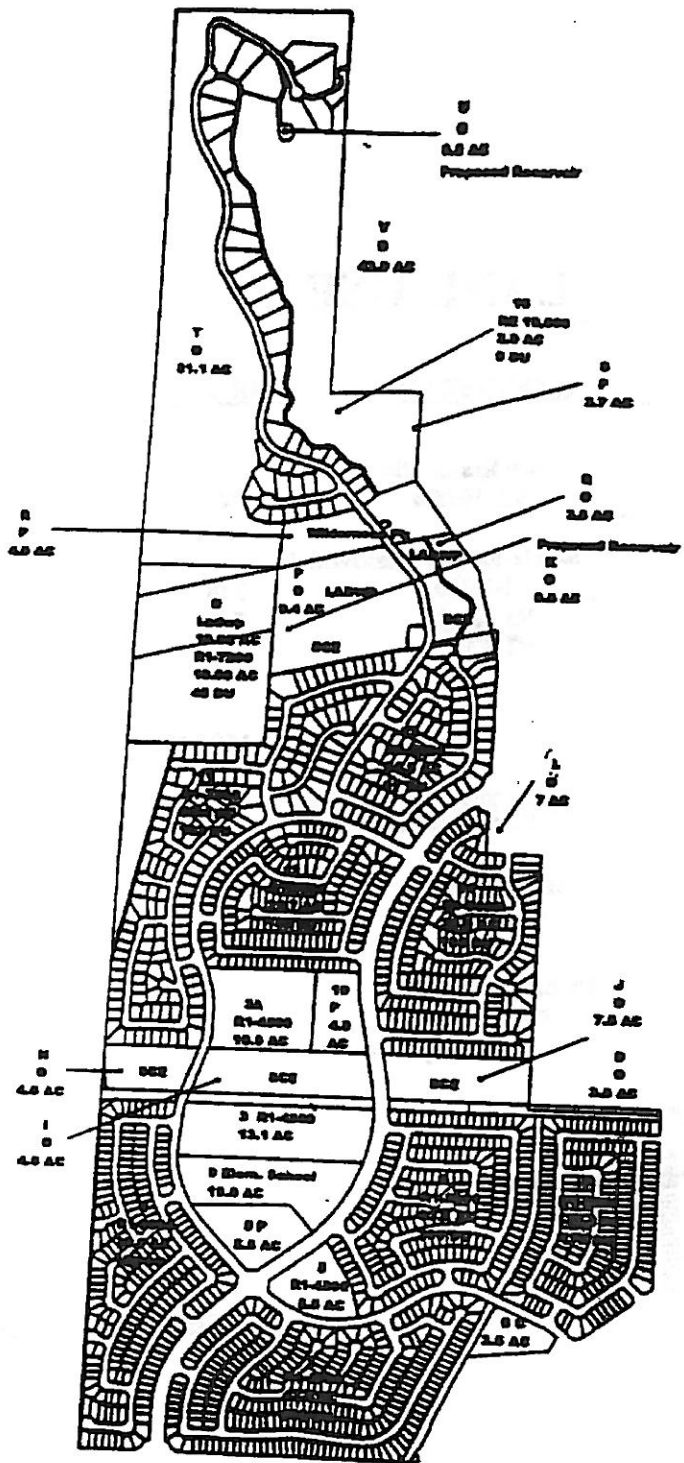
It provides rural residential, residential estate, single family residential, ranging in density from 1 to 22 dwelling units per net acre (see Statistical Summary, Table II-1).

It provides ~~nine~~ **three and a half (3 ½)** acres for neighborhood commercial use.

It includes 20.1 acres (10.7 acres for 2 parks plus an additional 9.4 acres for an equestrian trailhead/interpretive center as well as an additional 10.8 acres, which is 50 percent credit for improving 21.6 acres of lower SCE easement) of park land, exceeding the City's local park requirement by 3.8 acres.

It is designed to address the expressed desire by the City and the applicant to respond to the site's existing rural setting by providing scenic open space that respect the site's unique natural features (mountain slopes, drainages, and public easements), preserving significant historic resources, introducing local and regional recreation amenities, providing a local streetscape amenity package and promoting a rural effect streetscape and building materials.

I-1



LAND USE

<u>Residential</u>	<u># of DU</u>	<u>Net Acres</u>
Estate Residential RE-10,000	50	19.3
Single-Family Residential R1-7,200	318	90.4
R1-5,000	740	139.9
R1-4,500	<u>588</u> 617	<u>77.0</u> 100
Sub-Total	1696 1725	349.7
<u>Non-Residential</u>		
Commercial Neighborhood Commercial		9.0 4.5
Public (P) Park		19.3
Elementary School		10.0
Open (O) Improved		21.0
Unimproved		152.9
Street Public		<u>38.6</u>
Sub-Total		246.3
Total		596.0

Hunter's Ridge

A Specific Plan Prepared for the City of Fontana

REFERENCES FOR BASE INFORMATION:

*A.L.T.A. SURVEY BY ROBERT, BIEN & FROST July 15, 1985
J.P. KAPP & ASSOCIATES, INC.

EXHIBIT 1-2

2. Statistical Summary/Development Yield

This summary (Table 2-1) on page II-6 regulates the amount of development that can occur in each planning unit area (PUA). For residential uses, the limitation is expressed in two ways: 1) By a minimum required net lot area per unit, indicated by a suffix after the use designation (for example, R-1 7,200 is a single family residential use with a minimum net lot area per unit of 7,200 square feet); and 2) By a maximum number of dwelling units that can be built in each planning unit area. (Subject only to minor boundary or dwelling unit adjustment as described on this page and General Provisions for Reduced Building Pad Allowance, page II-61).

NOTE: In single family districts, minimum lot size and lot area per unit are identical; in multiple family districts, lot area per unit is always some fraction of minimum lot size.

Planning unit area boundaries may be adjusted with a resultant maximum acreage increase of 10 percent or decrease of 10 percent owing to final project design. As described more completely, on page II-55, this may also result in dwelling unit adjustments, subject to the following limitations:

- a) The maximum of ~~1,965~~ 1,725 dwelling units shall not be exceeded: (349.7 net residential acres);
- b) The maximum dwelling unit count for the aggregate of planning unit areas affected by a particular planning unit area adjustment shall not be increased beyond the aggregate shown in this plan;
- c) The number of estate lots (50) and single-family detached lots (318) with 7,200 square feet of lot area or larger shall not be decreased as a consequence of any boundary adjustment (except if Western Levee cannot be relocated to western boundary of PUA 11 - per SBCFC approval);
- d) Boundary adjustments may involve any adjacent planning unit area or non-adjacent area with the same zoning district designation as the planning unit area in question, so long as all of the affected land is owned or legally controlled by the same party, of both parties can reach mutual agreement;

Amended _____, 2001
City Council Ord. No. _____
Amended October 19, 1999
City Council Ord. No. 1306
Amended 5/4/99
City Council Ord. No. 1286

- f) A final geotechnical study of the Alquist-Priolo Zone shall investigate the fault alignment and evaluate the proposed location of SBCFC debris dam in San Sevaine Canyon, water tank location (PUA K), and any affected residential (PUA 11, 13, 15, 16) lots. Design measures shall be taken by registered engineer using recommended design criteria by registered soils engineer or geologist prior to building permit approval; and
- g) The dwelling unit percentages as stated below for each lot size category (example R-1 7,200, R-1 5,000, etc.) may not vary, except as stated herein, from the following percentages:

<u>LOT SIZE</u>	<u>%</u>	<u>DU</u>
R-E 10,000 =	2.5% 2.8%	50
R-1 7,200 =	16.2% 18.5%	318
R-1 5,000 =	37.7% 42.9%	740
R-1 4,500 =	23.8% 35.8	467 617
R-3 TH =	<u>19.8%</u>	<u>390</u>
TOTAL:	100.0%	1,965 1,725 DU

3. Purpose and Intent

The land uses in the various planning unit areas are described in terms of permitted uses and conditional uses. The purpose of each of the single family and multi-family residential uses, as well as commercial, and public/quasi-public uses are described on pages II-4 to II-11. Charts listing permitted and conditional uses follow page II-11.

The overall mix of uses is intended to provide for a reasonably balanced community. The range of residential designations is intended to provide a diversity of housing choices and lifestyles, as well as to serve several residential markets at the same time.

- a) (R-E 10,000) Residential Estate District: This residential district is intended for quality low density single family estate homes on large lots with 10,000 square foot minimum net lot area.

Amended 10/19/99
City Council Ord. No. 1306 ____
Amended 5/4/99
City Council Ord. No. 1286

II-4

Amended ____
City Council Ord. No. ____
Amended 12/19/95
City Council Ord. No. 1170

**HUNTER'S RIDGE
STATISTICAL SUMMARY/DEVELOPMENT YIELD**

TABLE II-1

Legend (Land Use)

O = Open Zone

P = Public

R = Residential

Planning Unit Area	Land Use	Maximum du	Net Acres	Average Net Residential Density
PHASE 1A				
1	R1-4500	262	43.4	6.04
2	R1-5000	199	38.0	5.24
6	R1-5000	205	33.9	6.04
7	R1-4500	176	28.1	6.26
5	R1-4500	29	5.5	5.64
3 & 3A	R1-4500	150	23.0	6.52
o Subtotal (SF Res)	_____	871 1021	148.9 171.9	5.86 5.94
o Total Residential	-----	1021	171.9	5.94
(20' Summit Buffer)	O		0.7	
(20' Summit Buffer)	O		0.2	
(Westerly Levee)	O		0.7	
(Hawker Crawford)	O		3.8	
(30' Freeway Buffer)	O		0.4	
(30' Freeway Buffer)	O		1.2	
(Hawker Crawford)	O		4.0	
H (SCE Easement)	O		4.6	
(SCE Easement)	O		9.4	
(SCE Easement)	O		7.5	
(Park)	P		5.9	
(Commercial)	C		9.0 3.5	
(Elementary School)	O		10.0	
Major Streets			14.4	
o Total Non-Residential			68.3 62.8	
o Phase 1A Total		871 1021	211.7 234.7	4.12 4.35

**HUNTER'S RIDGE
STATISTICAL SUMMARY/DEVELOPMENT YIELD**

**TABLE II-1
(Continued)**

Legend (Land Use)

O = Open Zone

P = Public

R = Residential

Planning Unit Area	Land Use	Maximum du	Net Acres	Average Net Residential Density
PHASE THREE				
15	RE-10000	17	5.6	3.04
16	RE-10000	9	2.9	3.10
17	RE-10000	24	10.8	2.22
o Subtotal (SF Res)		50	19.3	2.59
T Scenic Open Space	O		51.1	
U Reservoir	O		0.8	
V Scenic Open Space	O		43.9	
Major Roads	-----		5.9	
NON-RESIDENTIAL	-----	-----	101.7	
PHASE THREE TOTALS:	-----	50	121.0	0.41
Project Totals/Summary				
o SF Residential		1,501 1725	311.0 349.7	4.83
o Subtotal (Net)		1,696 1725	344.2 349.7	5.66
NON-RESIDENTIAL		-----	250.8 245.3	
Total Project (Gross):		1,696 1725	596.0	3.74 2.89

Amended 10/19/99
City Council Ord. No. 1306

Amended _____, 2001
City Council Ord. No. _____

Amended 8/2/94
City Council Ord. No. 1123

AMENDED 12/19/95
City Council Ord. No. 1170

**HUNTER'S RIDGE SPECIFIC PLAN
SITE DEVELOPMENT STANDARDS
SINGLE-FAMILY RESIDENTIAL
EXHIBIT II-4**

Land Use	Single Family Estate	Single-Family Residential			
Zoning Category District	Low Density	Medium Density			Planned Residential Development
	RE-10000	R1-7200	R1-5000	R1-4500	
Planning Unit Area(s)	15 16 17	11 13 18	2 6 12 14	1 7 5 3 3A	All R1-5000 and R1-4500
Site Development Standards					
Min. Project Size	N/A	N/A	N/A	N/A	Entire Planning Unit Area
Min. Net Lot Size	10,000 SF	7,200 SF	5,000 SF	4,500 SF	Determined by Unit Size/4
Min. Bldg. Pad/2	10,000 SF	7,200 SF/2	5,000 SF/2	4,500 SF	Determined by Unit Size/4
Min. Net Lot Area/DU	10,000 SF	7,200 SF	5,000 SF	4,500 SF	Per Applicable Zoning District
Max. Lot Coverage	40%	45%	45%	45%	N/A
Min. Lot Width	80'	60'	50'	45'- 38'(8)	Determined by Unit Size/4
Min. Lot Depth	110'	100'	70'	70'	Determined by Unit Size/4
Min. Front Bldg. Setback/6					Per Applicable Zoning District/4
o Average	30'	25'	22'	22'- 15' (8)(9)	
o Minimum	25'	20'	18'	18'	
Min. Interior Side Bldg. Setback					Per Applicable Zoning District/5
o Conventional					
Minimum-One Side	10'	6'	5'	5'	
Minimum-Aggregate	25'	12'	10'	10'	
Zero Lot Line					
o Minimum-One Side	N/A	N/A	0'	0'	
o Minimum-Aggregate	N/A	N/A	16'	15'	

II-30

Amended 6/20/95
City Council Ord. No. 1158
Amended 12/19/95
City Council Ord. No. 1170

Amended 5/4/99
City Council Ord. No. 1286
Amended _____, 2001
City Council Ord. No. ____

EXHIBIT II-4
(Continued)

Land Use		Single Family Estate	Single-Family Residential			
Zoning Category District		Low Density	Medium Density			Planned Residential Development
		RE-10000	R1-7200	R1-5000	R1-4500	
Planning Unit Area(s)		15 16 17	11 13 18	2 6 12 14	1 7 5 3 3A	All R1-5000 and R1-4500
Site Development Standards						
Min. Exterior (Corner Lot) Side Bldg. Setback		20'	15'	15'	15'	Per Applicable Zoning District/4
Min. Rear Bldg. Setback		25'	20'	15'	15'	Per Applicable Zoning District/4
Min. Distance Between Structures						
o Single Story		10'	8'	6'	6'	10'
o Two Story		12'	10'	8'	8'	20'
Min. Garage Front-On Setback		25'	20'	20'	20'	
Min. Garage Side-On Setback		10'	7.5'	5'	5'	20/3
						5/3
Max. Building Height		35'	35'	35'	35'	35'

II-31

Amended 8/2/94
City Council Ord. No. 1123

Amended 5/4/99
City Council Ord. No. 1286

Amended 12/19/95
City Council Ord. No. 1170

Amended _____, 2001
City Council Ord. No. ____

EXHIBIT II-4
(Continued)

Land Use	Single Family Estate	Single-Family Residential			
Zoning Category District	Low Density	Medium Density			Planned Residential Development
	RE-10000	R1-7200	R1-5000	R1-4500	
Planning Unit Area(s)	15 16 17	11 13 18	2 6 12 14	1 7 5 3 3A	All R1-5000 and R1-4500
Site Development Standards					
Dwelling Unit Size o Minimum o Median	2,100 sf *	1,200 sf 1,500 sf	1,100 sf 1,250 sf	1,000 sf 1,100 sf	Per Applicable Zoning District
Min. Parking Spaces o Garage o Garage or Carport o Parking Space (guest)	2	2	2	2	2
Min. Priv. Yard Area (see Min. Rear Bldg. Setback)	N/A	N/A	N/A	N/A	20 Percent of Building Area
Min. Width					10'
Min. Common Usable Open Space Area	N/A	N/A	N/A	N/A	500 SF
Min. Landscape Coverage	20% /6	20% /6	20% /6	20% /6	N/A
Net Residential Density in DU/Acre	3.3	4.5	6.2	6.4	Per Applicable Zoning Designation

* Custom homes will be individually built, therefore, average not applicable.

EXHIBIT II-4
(Continued)

1. GENERAL NOTES:
 - a. All area designations are in square feet unless otherwise noted.
 - b. All distance designations are in feet.
 - c. All setbacks are calculated from the property line unless otherwise noted.
2. In rural residential districts, this figure is a maximum. This is intended to minimize lot grading in rural residential zones to 10,000 s.f. building pads, however, if the pad is terraced (slop banks 2:1, with bank or wall 6 feet maximum height within the building pad the maximum building pad may be 12,500 s.f.
3. See General Provision for "Reduced Pad Allowance."
4. The individual lot consists of the building footprint plus 20 percent of the dwelling unit square footage.
5. Distances are calculated from the project area boundary and public or private street right-of-way lines, as appropriate.
6. The minimum setback may be used for no more than 33% of the planning unit area street frontage; the average setback shall apply along the remaining frontage.
7. The developer shall provide a streetscape landscape amenity package for each lot (except rural residential lots). See General Provisions, "Project Amenity Package," this section.
8. Applies to Planning Areas (PA) 3 and 3A only.
9. Applies to Planning Area (PA) 5 only.

II-33

Amended 12/19/95
City Council Ord. No. 1170

Amended 5/4/99
City Council Ord. No. 1286

Amended _____
City Council Ord. No. ____

**PROOF OF PUBLICATION
(2015.5 C.C.P.)**

State of California
County of San Bernardino

I am a citizen of the United States and a resident of the County aforesaid; I am over the age of eighteen years, and not a party to or interested in the above entitled matter. I am the principal clerk of the printer of the Fontana Herald News, a newspaper of general circulation, printed and published every Thursday in the City of Fontana, County of San Bernardino, and which newspaper has been adjudged a newspaper of general circulation by the Superior Court of the State of California, in and for the County of San Bernardino, under the date of March 15, 1955, Case Number 73171, and that the notice, of which the annexed is a printed copy (set in type not smaller than nonpareil), has been published in each regular and entire issue of said newspaper and not in any supplement there of on the following dates, To-wit, May 3, 2001.

I certify (or declare) under penalty of perjury that the foregoing is true and correct.

Dated at Fontana, California, this 3rd day of May.



Signature

This space is for the
County Clerk's stamp

**SUMMARY OF PROPOSED
ORDINANCE NO. 1346
P.O.# 01-0B003**

**CITY OF FONTANA
FONTANA, CALIFORNIA**

**SUMMARY OF PROPOSED
ORDINANCE NO. 1346**

NOTICE IS HEREBY GIVEN that the City Council of the City of Fontana, at a Regular Meeting scheduled on Tuesday, May 15, 2001, in the City Hall Council Chambers, 8353 Sierra Avenue, will consider adoption of Ordinance No. 1346, an Ordinance of the City of Fontana, approving Specific Plan Amendment #00-03 (Hunter's Ridge Specific Plan Amendment #10), to change land use designation of Planning Area 5 from "C" Commercial to "R-1", 4,500' Single Family Residential and review various land use requirements as they relate to the residential land use within the Hunter's Ridge Specific Plan.

A certified copy of the full text of the ordinance is available in the office of the City Clerk of the City of Fontana, 8353 Sierra Avenue, Fontana, California 92335.

**CITY COUNCIL OF THE CITY
OF FONTANA**
David R. Eshleman, Mayor

Beatrice Watson
City Clerk

Publish: May 3, 2001
P.O.# 01-0B003

FONTANA HERALD NEWS

16920 Spring Street
P.O. Box 549

Fontana, California 92334

Phone (909) 822-2231

Fax (909) 355-9358

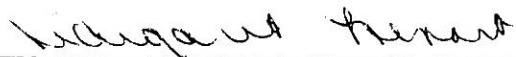
**PROOF OF PUBLICATION
(2015.5 C.C.P.)**

State of California
County of San Bernardino

I am a citizen of the United States and a resident of the County aforesaid; I am over the age of eighteen years, and not a party to or interested in the above entitled matter. I am the principal clerk of the printer of the Fontana Herald News, a newspaper of general circulation, printed and published every Thursday in the City of Fontana, County of San Bernardino, and which newspaper has been adjudged a newspaper of general circulation by the Superior Court of the State of California, in and for the County of San Bernardino, under the date of March 15, 1955, Case Number 73171, and that the notice, of which the annexed is a printed copy (set in type not smaller than nonpareil), has been published in each regular and entire issue of said newspaper and not in any supplement there of on the following dates, To-wit, February 7, 2002,

I certify (or declare) under penalty of perjury that the foregoing is true and correct.

Dated at Fontana, California, this 7th day of February.



Signature

This space is for the
County Clerk's stamp

**SUMMARY OF ADOPTED
ORDINANCE NO. 1346
P.O.# 02-0B003**

**CITY OF FONTANA
FONTANA, CALIFORNIA**

**SUMMARY OF ADOPTED
ORDINANCE NO. 1346**

NOTICE IS HEREBY GIVEN that the City Council of the City of Fontana, at a regular meeting held on Tuesday, February 5, 2002 in the City Hall Council Chambers, 8353 Sierra Avenue, approving Specific Plan Amendment No. 00-03 (Hunter's Ridge Specific Plan Amendment #10) to change the land use designation of Planning Area 5 from "C" Commercial to "R-1, 4,500" Single Family Residential and revise various land use requirements as they relate to the residential land use within the Hunter's Ridge Specific Plan.

A certified copy of the full text of the ordinance is available in the office of the City Clerk of the City of Fontana, 8353 Sierra Avenue, Fontana, California 92335.

AYES: Mayor: Eshleman,
Council Members Gonzales,
Nuaimi, Roberts, Rutherford
NOES: None
ABSENT: None

**CITY COUNCIL OF THE
CITY OF FONTANA**
David R. Eshleman, Mayor

Beatrice Watson
City Clerk

**Publish: February 7, 2002
P.O.# 02-0B003**

FONTANA HERALD NEWS

16981 Foothill Boulevard, Suite N
P.O. Box 549
Fontana, California 92334

Phone (909) 822-2231

Fax (909) 355-9358

#12 4/16/02
ORDINANCE NO. 1373

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF FONTANA, CALIFORNIA, APPROVING SPECIFIC PLAN AMENDMENT #02-002 (HUNTER'S RIDGE SPECIFIC PLAN AMENDMENT #12) TO REDUCE THE MINIMUM BUILDING PAD FROM 4,500 TO 3,450 SQUARE FEET IN THE R-1-4,500 ZONE.

THE CITY COUNCIL OF THE CITY OF FONTANA DOES ORDAIN AS FOLLOWS:

Section 1. After the publication of notice as required by law, the Planning Commission and City Council of the City of Fontana, California conducted public hearings on Specific Plan Amendment #02-002 (Hunter's Ridge Specific Plan Amendment #12).

Section 2. On February 25, 2002, the Planning Commission adopted a resolution forwarding a recommendation to the City Council to approve Specific Plan Amendment No. 02-002.

Section 3. Pursuant to the Local Guidelines for Implementing the California Environmental Quality Act (2001), adopt a Negative Declaration of Environmental Impact and a State of California Fish and Game Department de Minimus Impact Finding and Direct staff to file a Notice of Determination for Specific Plan Amendment No. 02-002.

Section 4. Specific Plan Amendment No. 02-002 is consistent with the goals and policies of the City of Fontana General Plan.

Section 5. Specific Plan Amendment No. 02-002 is approved and amends the Hunter's Ridge Specific Plan Minimum Building Pads 4,500 square feet to 3,450 square feet in the R-1-4,500 zone.

Section 6. This Ordinance shall take effect thirty (3) days after the date of the adoption and prior to the expiration of fifteen (15) days from the passage thereof, shall be published by the City Clerk at least once in the Herald News, a local newspaper of the general circulation, published and circulation in the City of Fontana, and henceforth and thereafter the same shall be in full force and effect.

APPROVED AND ADOPTED this 16th day of April, 2002.

READ AND APPROVED AS TO LEGAL FORM:


City Attorney

Hunter's Ridge Specific Plan No. 10

Mayor
David Eshleman

Councilpersons
Carl Coleman
John Roberts
Bea Watson
Nancy Hooper

Commissioners
Phillip W. Cothran, Chairman
Pierre E. Rankin
Patricia Jane Peoples
Jeanette Bachand
Juan Guzman

City Manager
Greg Devereaux

Frank Schuma
Community Development Director

Paul Balbach
Deputy Planning Manager

Robert Weddle
City Engineer

Craig Bruorton, AICP
Senior Planner

Kevin Randolph
City Attorney

Kathy Montoya
City Clerk

Project Master Developer
First City/Hunter's Ridge Limited Partnership
Doug Ford
Kathy Tong
310/914-8000

Amendment
Prepared By:
Crosby Mead Benton & Associates
6345 Balboa Boulevard, Suite 140
Encino, California 91316
818/343-5384

Updated 12/19/95
Updated 6/20/95
Updated 8/02/94

CITY OF FONTANA

COMMUNITY DEVELOPMENT DEPARTMENT

MEMORANDUM:

TO: Debbie M. Brazill, Planning Manager
Planning Staff

FROM: Cindy Ousley, Associate Planner *CO*

SUBJECT: Amendment No. 7 to Hunter's Ridge Specific Plan

DATE: June 2, 1999

Attached you will find a copy of Amendment No. 7 to the Hunter's Ridge Specific Plan which were approved on May 4, 1999, by Ordinance No. 1286. Please incorporate these changes within your copy of the specific plan. If you have any questions, please feel free to give me a call at extension 6694.

Attachment

File

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HUNTER'S RIDGE SPECIFIC PLAN
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HUNTER'S RIDGE SPECIFIC PLAN
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**FINAL
HUNTER'S RIDGE SPECIFIC PLAN**

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**FINAL
HUNTER'S RIDGE SPECIFIC PLAN
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2	Amendment to Bicycle Trail Relocation of School Site Relocation of Reservoir Deletion of Customized Street Name Sign/Stop Sign	8/2/94	Ordinance No. 1123	Ex. I-2 Pg. I-3 Ex. II-1A Pg. II-2 Ex. II-1B Pg. II-5 Pg. II-6 Pg. II-7 Pg. II-8 Pg. II-9 Pg. II-15 Pg. II-16 Pg. II-22 Ex. II-3A Pg. II-24 Pg. II-26 Pg. II-27 Pg. II-31 Pg. II-34 Pg. II-35 Pg. II-36 Pg. II-37 Pg. II-38 Pg. II-39 Pg. II-44 Pg. II-51 Pg. II-52 Pg. II-53 Pg. II-59 Pg. II-60

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3	Revisions of Aggregate Sideyard Setback for the R1-7200 and R1-5000 Components Inclusion of Patio Cover Standards Revision of Sidewalk Width Requirements for Locals	6/20/95	Ordinance No. 1158	Pg. II-30 Pg. II-50 Pg. III-28 Pg. V-19 Ex. V-7 Pg. V-22 Ex. V-28 Pg. V-54
4	Replacement of Foxborough Equestrian Trailhead Park and Historic Interpretive Center with Wilderness Park Deletion of Offsite Equestrian Trail Requirement Deletion of Landscaping Requirements on SCE, MWD and DWP Easements Deletion of Requirement to Move or Restore Historic Features Deletion of Tree Mitigation Program Phase 3 Redesign Revision of Improvement Requirements to Cherry Avenue, South of Summit Avenue Revision of Improvement Requirements to Summit Avenue, East of Cherry Avenue Revision of Improvement Requirements to Coyote Canyon Road Extension	12/19/95	Ordinance No. 1170	Pg. I-1 Ex. I-2 Pg. I-3 Pg. I-4 Ex. II-1A Pg. II-2 Ex. II-1B Pg. II-5 Pg. II-8 Pg. II-9 Pg. II-10 Pg. II-11 Pg. II-12 Pg. II-13 Pg. II-14 Pg. II-21 Pg. II-22 Pg. II-30 Pg. II-31 Pg. II-32 Pg. II-33

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	and DWP Easements			Pg. II-67
	Deletion of Requirement to			Pg. III-2
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	Requirements to Summit			Ex. III-3A
	Avenue, East of Cherry			Pg. III-9
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	Revision of Improvement			Pg. III-11
	Requirements to Coyote			
	Canyon Road Extension			Ex. III-5
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Amendment Number	Description	Date	Action	Amended Pages & Exhibits
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Amendment Number	Description	Date	Action	Amended Pages & Exhibits
4	Replacement of Foxborough Equestrian Trailhead Park and Historic Interpretive Center with Wilderness Park Deletion of Offsite Equestrian Trail Requirement Deletion of Landscaping Requirements on SCE, MWD and DWP Easements Deletion of Requirement to Move or Restore Historic Features Deletion of Tree Mitigation Program Phase 3 Redesign Revision of Improvement Requirements to Cherry Avenue, South of Summit Avenue Revision of Improvement Requirements to Summit Avenue, East of Cherry Avenue Revision of Improvement Requirements to Coyote Canyon Road Extension	12/19/95	Ordinance No. 1170	Ex. V-9 Pg. V-29 Ex. V-10 Pg. V-30 Pg. V-45 Ex. V-21 Pg. V-46 Ex. V-22 Pg. V-47 Pg. V-53 Ex. V-28 Pg. V-54 Ex. V-30 Pg. V-57 Ex. V-31A (Deleted) Pg. V-67 Pg. V-69 Pg. V-70 Pg. V-71 Ex. V-34 Pg. V-74 Ex. V-35 Pg. V-75 Pg. V-76 Ex. V-38 Pg. V-79 Pg. V-80

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Amendment Number	Description	Date	Action	Amended Pages & Exhibits
4	Replacement of Foxborough Equestrian Trailhead Park and Historic Interpretive Center with Wilderness Park Deletion of Offsite Equestrian Trail Requirement Deletion of Landscaping Requirements on SCE, MWD and DWP Easements Deletion of Requirement to Move or Restore Historic Features Deletion of Tree Mitigation Program Phase 3 Redesign Revision of Improvement Requirements to Cherry Avenue, South of Summit Avenue Revision of Improvement Requirements to Summit Avenue, East of Cherry Avenue Revision of Improvement Requirements to Coyote Canyon Road Extension	12/19/95	Ordinance No. 1170	Ex. V-39 (Deleted) Ex. V-40 Pg. V-82 Pg. V-93 Ex. V-42 Pg. V-96 Ex. V-44 Pg. V-100 Ex. V-46 Pg. V-103

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Amendment Number	Description	Date	Action	Amended Pages & Exhibits
Administrative Amend. #1	Revision of View Fence	3/6/97		Pg. II-50
	Locations			Pg. III-3
	Deletion of Signage on Walls			Pg. III-6
	at Entry Intersections			
	Deletion of Special			Ex. III-2
	Neighborhood Identity			Pg. III-5
	Symbols			
	Deletion of Brick and Stone			Ex. III-6
	Accents and Columns at the			Pg. III-33
	Primary and Secondary			
	Entries			Ex. III-8
	Deletion of Pergola			Pg. III-38
	Structures and Brick			
	Columns at North Secondary			Pg. V-5
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	Deletion of Walls, Paving,			Ex. V-11
	Signage and Lighting for			Pg. V-32
	Neighborhood Entries			
	Deletion of Landscape Median			Ex. V-13
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	Deletion of Entry Structure			
	at Bridlepath Drive and			Ex. V-15
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HUNTER'S RIDGE SPECIFIC PLAN AMENDMENT INDEX
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Amendment Number	Description	Date	Action	Amended Pages & Exhibits
5	Deletion of Requirement to Construct Temporary Improvements for Coyote Canyon Road Extension	5/20/97	Ordinance No. 1218	Ex. I-2 Pg. I-3 Ex. II-1A Pg. II-2 Pg. II-66 Pg. III-7 Ex. III-3 Pg. III-8 Ex. III-3A Pg. III-9 Ex. V-1 Pg. V-4 Pg. V-5 Ex. V-2 Pg. V-8 Pg. V-14 Ex. V-3 Pg. V-15 Ex. V-3A Pg. V-16 Pg. V-17 Pg. V-25 Pg. V-26 Pg. V-31 Pg. V-41 Pg. V-45

HUNTER'S RIDGE PROJECT CHRONOLOGY

	Case Number	Date	Action	Description
1. General Plan	GPA 87-4	3/1/88	Resolution No. 88-46	- GPA approving Specific Plan
	GPA 93-04	5/17/94	Resolution No. 94-46	<ul style="list-style-type: none"> - Delete portion of Duncan Canyon Road from Appaloosa Avenue to Summit Avenue. - Reclassify Duncan Canyon Road from Appaloosa Avenue to Coyote Canyon Road to a "collector". - Change cross-section for a portion of Cherry Avenue and Coyote Canyon Road to 110 feet to be consistent with Hunter's Ridge Specific Plan. - Accurately represent alignments of Cherry Avenue and Appaloosa Avenue. - Change CIR-1 adding a 110 feet modified primary cross-section.
2. Specific Plan	Specific Plan No. 10	3/1/88 4/20/88	Resolution No. 88-45 City Council Ordinance No. 908	- Project approval
	Specific Plan Amendment No. 1	4/20/93	City Council Ordinance No. 1075	- GTE Switching Station in San Sevaine Park
	Specific Plan Amendment No. 2 (SPA 93-01.r1)	8/2/94	City Council Ordinance No. 1123	<ul style="list-style-type: none"> - Amendment to Bicycle Trail - Relocation of School Site - Relocation of Reservoir - Deletion of Customized Street Name & Stop Sign - Elimination of wood fencing - Revision to Phasing Plan: Subphases 1A, 1B and 1C
	Specific Plan Amendment No. 3	6/20/95	City Council Ordinance No. 1158	<ul style="list-style-type: none"> - Revisions to aggregate sideyard setback for the R1-7200 and R1-5000 components - Inclusion of patio cover standards - Revision to sidewalk width requirements for local streets
	Specific Plan Amendment No. 4	12/19/95	City Council Ordinance No. 1170	<ul style="list-style-type: none"> - Deletion of Trailhead Park and Interpretive Center - Inclusion of Wilderness Parks - Deletion of Offsite Equestrian Trail - Deletion of Landscaping in SCE, MWD, and DWP Easements - Deletion of Historic Features - Deletion of Tree Mitigation Program - Phase 3 Redesign - Revision of Improvement Requirements to: Cherry Avenue, South of Summit Avenue, Summit Avenue, East of Cherry Avenue, Coyote Canyon Road Extension

**HUNTER'S RIDGE
PROJECT CHRONOLOGY
(Continued)**

	Case Number	Date	Action	Description
2. Specific Plan - continued	Administrative Amendment No. 1	3/6/97		<ul style="list-style-type: none"> - Revision of View Fence Location - Deletion of Signage on the Walls at Entry Intersections - Deletion of Special Neighborhood Identity Symbols - Deletion of Brick and Stone Accents and Columns at the Primary and Secondary Entries - Deletion of Pergola Structures and Brick Columns at North Secondary Entry - Deletion of Walls, Paving, Signage and Lighting for Neighborhood Entries - Deletion of Landscape Median at Neighborhood Entries - Deletion of Entry Structure at Bridlepath Drive and Cherry Avenue
	Specific Plan Amendment No. 5	5/50/97	City Council Ordinance No. 1218	<ul style="list-style-type: none"> - Deletion of Requirement to Construct Temporary Improvements for Coyote Canyon Road Extension
3. EIR	88-1	3/1/88	Resolution No. 88-45	<ul style="list-style-type: none"> - Certification of EIR - State Clearing House No. 87032311
	Addendum to Specific Plan EIR	11/95		<ul style="list-style-type: none"> - Addendum EIR for Specific Plan Amendment No. 4 and Development Agreement Amendment No. 2

**HUNTER'S RIDGE
PROJECT CHRONOLOGY
(Continued)**

	Case Number	Date	Action	Description
2. Specific Plan - continued	Administrative Amendment No. 1	3/6/97		<ul style="list-style-type: none"> - Revision of View Fence Location - Deletion of Signage on the Walls at Entry Intersections - Deletion of Special Neighborhood Identity Symbols - Deletion of Brick and Stone Accents and Columns at the Primary and Secondary Entries - Deletion of Pergola Structures and Brick Columns at North Secondary Entry - Deletion of Walls, Paving, Signage and Lighting for Neighborhood Entries - Deletion of Landscape Median at Neighborhood Entries - Deletion of Entry Structure at Bridlepath Drive and Cherry Avenue
	Specific Plan Amendment No. 5	5/20/97	City Council Ordinance No. 1218	<ul style="list-style-type: none"> - Deletion of Requirement to Construct Temporary Improvements for Coyote Canyon Road Extension
3. EIR	88-1	3/1/88	Resolution No. 88-45	<ul style="list-style-type: none"> - Certification of EIR - State Clearing House No. 87032311
	Addendum to Specific Plan EIR	11/95		<ul style="list-style-type: none"> - Addendum EIR for Specific Plan Amendment No. 4 and Development Agreement Amendment No. 2

**HUNTER'S RIDGE
PROJECT CHRONOLOGY
(Continued)**

	Case Number	Date	Action	Description
4. Development Agreement		8/20/91	City Council Ordinance No. 1029	
	Development Agreement Amendment No. 1	4/5/94	City Council Ordinance No. 1109	<ul style="list-style-type: none"> - Revision to Phasing Plan: Subphases 1A, 1B and 1C - Preparation of updated Fiscal Impact Analysis
	Development Agreement Amendment No. 2	12/19/95	City Council Ordinance No. 1170	<ul style="list-style-type: none"> - Deletion of Trailhead Park and Interpretive Center - Inclusion of Wilderness Park - Deletion of Offsite Equestrian Trail - Deletion of Landscaping in SCE, MWD and DWP Easements - Deletion of Historic Features - Deletion of Tree Mitigation Program - Phase 3 Redesign - Revision of Improvement Requirements to: Cherry Avenue, South of Summit Avenue Summit Avenue, East of Cherry Avenue Coyote Canyon Road Extension - Revision to Exhibit "D"
	Development Agreement Amendment No. 3	5/20/97	City Council Ordinance No. 1218	<ul style="list-style-type: none"> - Deletion of Requirement to Construct Temporary Improvements for Coyote Canyon Road
5. Purchase/Financing Agreement		11/6/90	Minute Order 90-694	
	Purchase/Financing Agreement Amendment No.1	2/19/91	Minute Order 91-123	<ul style="list-style-type: none"> - Deletes CFD funding for water and reappropriates funding to other CFD eligible facilities
	Purchase/Financing Agreement Amendment No. 2	7/18/95	Minute Order 95-162	<ul style="list-style-type: none"> - Include all facilities for CFD funding as identified in original Engineer's Report

HUNTER'S RIDGE PROJECT CHRONOLOGY (Continued)

	Case Number	Date	Action	Description
6. Community Facilities District No. 3	CFD Formation	06/19/90	Resolution No. 90-109	- Making Appointments
		06/19/90	Resolution No. 90-110	- Adopting Boundary Map
		06/19/90	Resolution No. 90-111	- Declaring Intention
		06/19/90	Resolution No. 90-112	- Ordering and Directing Preparation of a Report
		06/19/90	Resolution No. 90-113	- Declaring Intention to Issue Bond
		07/19/90	Resolution No. 90-141	- Declaring and Establishing Formation of a CFD
		07/19/90	Resolution No. 90-142	- Declaring Necessity to Incur Bond Indebtedness
		07/19/90	Resolution No. 90-143	- Declaring Results of Election
		07/19/90	Resolution No. 90-144	- Authorizing Preliminary Issuance of Bond
		08/07/90	Ordinance No. 986	- Authorizing Levy of Special Tax
		11/06/90	Resolution No. 90-244	- Authorizing Issuance of Bond
		11/06/90	Resolution No. 90-245	- Specifying Condition of Prepayment of Special Taxes
		11/13/90	Final Official Statement	
	CFD Restructuring	09/02/94	Resolution No. 94-46	- Modify the existing Rate and Method of Apportionment of Special Tax
		09/06/94	Resolution No. 94-105	- Preliminary Findings Approving Amended Report
		09/06/94	Resolution No. 94-106	- Modifications to Existing Special Tax
		09/06/94	Resolution No. 94-109	- Results of Special Election
		09/06/94	Resolution No. 94-110	- Approval of First Supplemental Bond Indenture
		09/06/94	Resolution No. 94-111	- Approval of Pledge Agreement
		09/20/94	Ordinance No. 1128	- Authorization of Levy of Special Taxes
	Annual Levy	06/20/95	Resolution No. 95-35	- Authorization of Levy of Special Taxes
		08/15/95	Resolution No. 95-57	- Repeat of Resolution No. 95-57 and Authorization of Levy of Special Taxes
		08/6/96	Resolution No. 96-46	- Authorization of Levy of Special Taxes for FY 1996-1997

**HUNTER'S RIDGE
PROJECT CHRONOLOGY
(Continued)**

	Case Number	Date	Action	Description
7. Local Landscape Maintenance District No. 3		11/06/90	Resolution No. 90-237 Resolution No. 90-238	- Summary Proceedings - Formation
		06/06/95	Resolution No. 93-27	- Annual Preliminary Engineer's Report
		08/01/95	Resolution No. 95-53	- Assessment for FY 1995-1996
		07/16/96	Resolution No. 96-31	- Intention to Levy and Collect Assessments
		07/16/96	Resolution No. 96-40	- Assessment for FY 1996-1997
Local Lighting Maintenance District No. 3		11/06/90	Resolution No. 90-239 Resolution No. 90-240	- Summary Proceedings - Formation
		06/01/93	Resolution No. 93-55	- Annual Preliminary Engineer's Report
		06/01/93	Resolution No. 93-56	- Assessment for FY 1993-1994
		07/05/94	Resolution No. 94-83	- Assessment for FY 1994-1995
		08/01/95	Resolution No. 95-55	- Assessment for FY 1995-1996
		07/16/96	Resolution No. 96-42	- Assessment for FY 1996-1997

1.0 Introduction

I. INTRODUCTION

A. EXECUTIVE SUMMARY

This document contains all of the necessary information to implement the Hunter's Ridge Specific Plan.

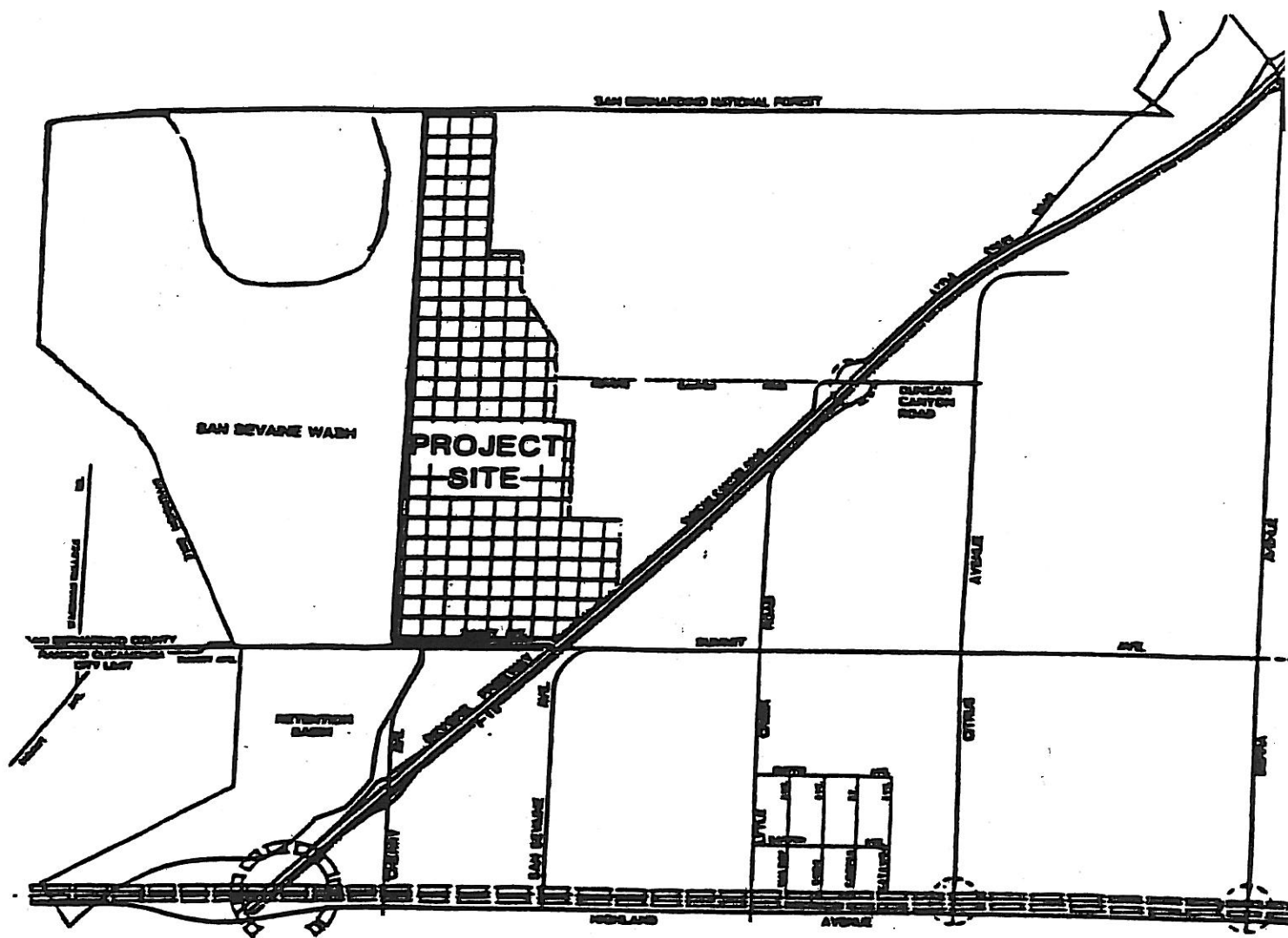
The Hunter's Ridge site includes 570 acres. It is located three miles west of Lytle Creek at the base of the lower slopes of the San Gabriel Mountains in the northwestern corner of the City of Fontana. The project site is bounded by Summit Avenue and Duncan Canyon Road (adjacent to U.S. Interstate Highway 15 - Devore Freeway) on its south and southwestern edge and the San Sevaine Creek and Wash along its western boundary. It is further bounded to the east by the Rich Basin and cultivated fields, and to the north the property is adjacent to the San Bernardino National Forest.

The site is adjacent to other regional jurisdictions including the City of Rancho Cucamonga to the south and the County of San Bernardino to the west. The proposed Foothill Freeway (Route 30) will be south of the property adjacent to Highland Avenue.

The project relationship to the region is depicted on the Vicinity Map Exhibit (page I-2).

The Hunter's Ridge Specific Plan can be summarized by the following points:

- " It allows 1,725 dwelling units on 595.0 acres for a gross density of 2.89* dwelling units per gross acre. (*Note: This is less than the permitted 4.0 dwelling units per gross acre established by the LAFCO settlement agreement between the City of Fontana and the City of Rancho Cucamonga - See Appendix E: Background.
- " It provides rural residential, residential estate, single family residential, ranging in density from 1 to 22 dwelling units per net acre (see Statistical Summary, Table II-1).
- " It provides nine (9) acres for neighborhood commercial use.
- " It includes 20.1 acres (10.7 acres for 2 parks plus an additional 9.4 acres for an equestrian trailhead/interpretive center as well as an additional 10.8 acres, which is 50 percent credit for improving 21.6 acres of lower SCE easement) of park land, exceeding the City's local park requirement by 3.8 acres.
- " It is designed to address the expressed desire by the City and the applicant to respond to the site's existing rural setting by providing scenic open space that respect the site's unique natural features (mountain slopes, drainages, and public easements), preserving significant historic resources, introducing local and regional recreation amenities, providing a local streetscape amenity package and promoting a rural effect streetscape and building materials.



NOT TO SCALE

CITY OF FONTANA, CALIF

Amended 5/4/99
City Council Ord. No. 1286

Hunter's Ridge

PREPARED FOR THE CITY OF FONTANA



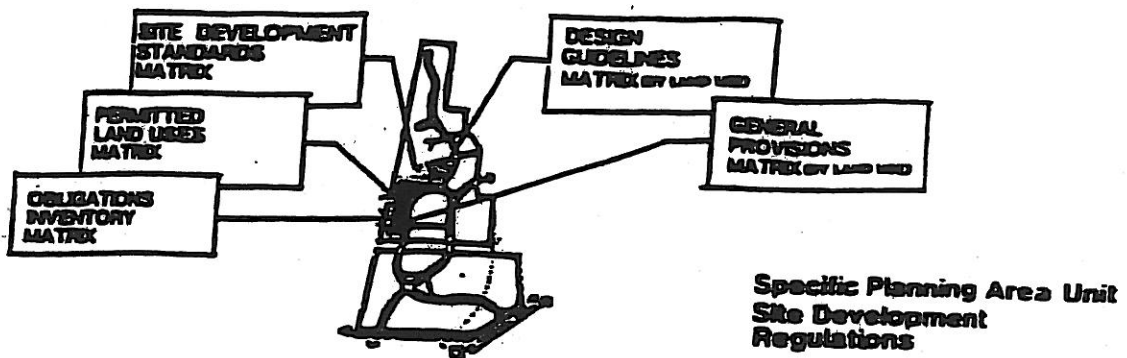
- " It is designed to achieve effective separation of uses and independent neighborhood access, both of which are achieved largely by the internal community loop street and arterial system.
- " It includes a commitment by the applicant to provide a local streetscape upgrade, two wilderness parks, a regional equestrian trail connection, and to improve the lower Southern California Easement (PUAs H, I, J) with a bicycle trail.
- " It incorporates a series of matrix-type diagrams to clearly present permitted land use, site development standards, design guidelines and public facility/service obligations.
- " It contains extensive design guidelines for assuring quality development.
- " It is phased to facilitate financing, marketing and to assure timely provision of infrastructure.

B. A USER'S GUIDE TO THE PLAN

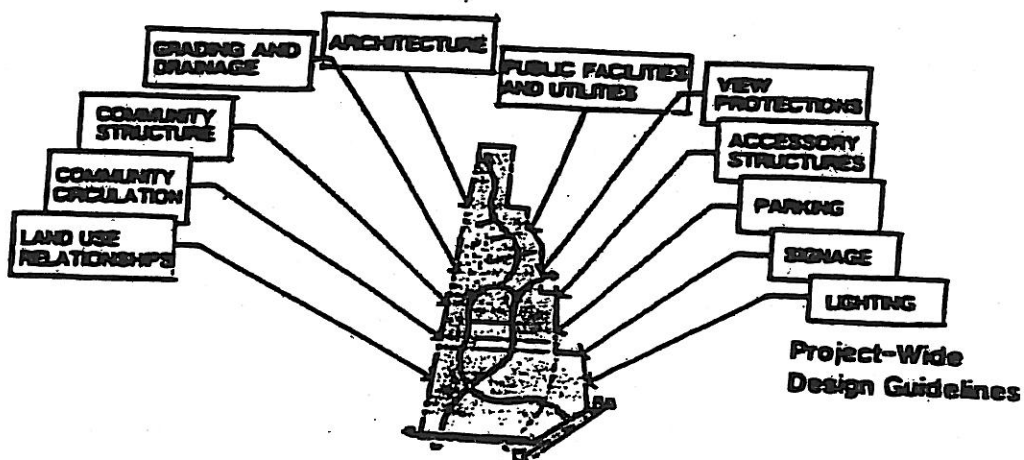
The plan contains a large amount of information and guidance. It is designed to facilitate use by those who wish to build projects in conformance with the plan, staff personnel who must review project proposals and decision makers who are called upon to act on these projects.

1. Contents and Sequence

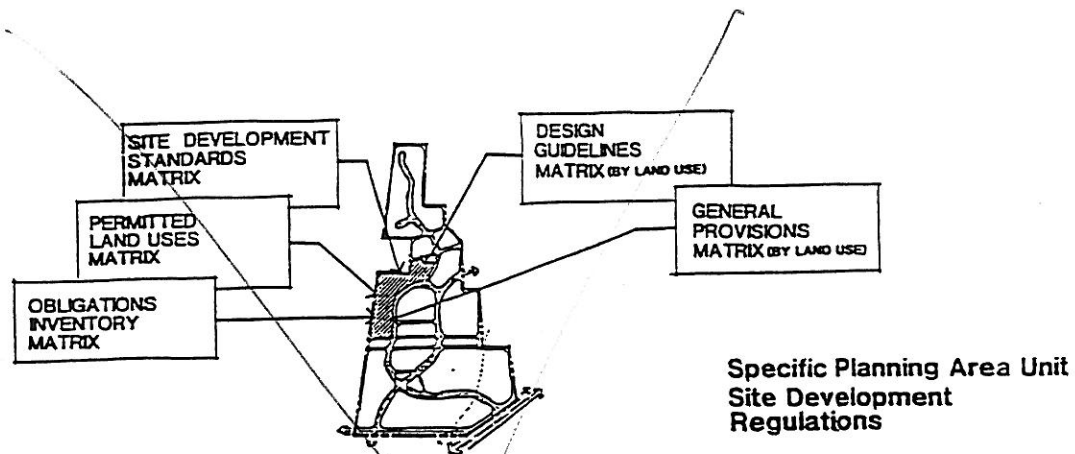
- a. An introduction provides an executive summary and a broad overview of the plan and describes its use.
- b. A development regulations chapter states the specific rules that must be observed by all projects. It covers uses, site development standards, general provisions, design guideline topics that require attention and requirements for public services and facilities. (See sketch on next page.)



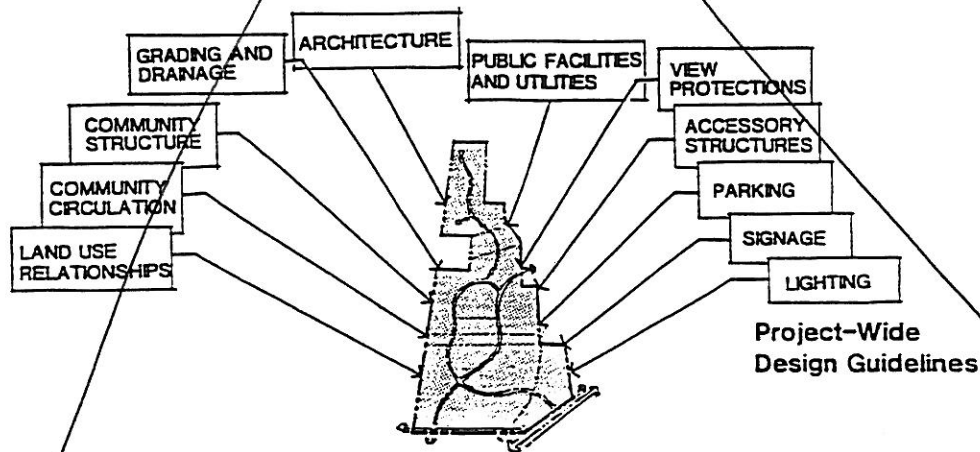
- c. A design guidelines chapter describes in narrative and illustrates in diagrams the aspects of development which must be addressed by each development project in order to achieve the level of development quality intended by the plan. (See sketch below.)



- d. A plan administration and implementation chapter describes the rules and procedures for processing development plans and, if necessary, amending the specific plan. It also includes important sections on phasing development and financing the necessary public improvements and services.



- c. A design guidelines chapter describes in narrative and illustrates in diagrams the aspects of development which must be addressed by each development project in order to achieve the level of development quality intended by the plan. (See sketch below.)



- d. A plan administration and implementation chapter describes the rules and procedures for processing development plans and, if necessary, amending the specific plan. It also includes important sections on phasing development and financing the necessary public improvements and services.

- e. An elements of the specific plan chapter describes in narrative and map form the basic ideas that give the plan its character and allow it to work. This material constitutes the rationale for the rules and guidelines discussed above.
- f. An appendix contains a wide variety of background data and analysis which helped in the formulation of the plan or will help in its interpretation. This material is informative, but not regulatory. Of particular importance is the definition section which is an essential reference in applying the regulations and guidelines.

2. Organization

All the requirements for a development project (such as "development regulations") are presented first, followed by subjects that must be addressed, but which may be approached with some flexibility (such as "design guidelines").

These "content" instructions are then followed by the processing rules and procedures ("plan administration and implementation").

Next is found a description of the concepts which may be useful in making an interpretation of a regulation or guideline by understanding the idea behind it. ("Elements of the Specific Plan").

Finally, background and reference materials serve as a source of insight for understanding the plan's rationale, preparing background material for staff reports and performing any other technical analysis of proposed development projects that may be required.

3. How to Use This Plan

In determining what the plan allows and requires a number of matrices have been prepared. The following sequence is suggested:


- a. Determine whether or not the proposed use is permitted by checking the permitted use matrix following page II-12. Determine whether or not a conditional use permit is required.
- b. If it is a permitted or conditionally permitted use, determine the required site development standards by reviewing the appropriate site development standard matrix following page II-30. If it is not, change the project or seek a Specific Plan Amendment.

- c. Then, check off all of the applicable general provisions for the basic use(s) proposed, using the matrix beginning on page II-41.
- d. Next, identify the design guidelines that are applicable on the design guideline matrix following page II-70.
- e. Follow this by determining the required public facilities and services from the obligations inventory, using the tables (under separate cover).
- f. In the case of a project applicant, schedule a pre-filing meeting with the staff to verify the accuracy of plan interpretation thus far and to clarify any remaining questions.
- g. Using the list generated from Step d. above, copy the appropriate text and illustrations from the design guidelines (Chapter III) for use in project design.
- h. Then, review Chapter IV for submission requirements and procedures.
- i. Refer to the appropriate specific plan element (Chapter V) or section of the appendix of this plan for intent or background as necessary.
- j. Prepare the tentative tract map, tentative parcel map, or design review application, as appropriate.
- k. Consult with the staff as necessary to resolve questions.
- l. Complete and submit plans.

CITY OF FONTANA
Community Development Department
Planning Division

MEMORANDUM

TO: PLANNING STAFF

FROM: DEBBIE BRAZILL, PLANNING MANAGER 

DATE: APRIL 1, 1998

SUBJECT: PATIO COVERS/ENCLOSURES/ADDITIONS IN HUNTER'S RIDGE

Amendment #5 to the Hunter's Ridge Specific Plan adopted by the City Council on May 6, 1997 (Ordinance No. 1218) states the following (also see attached):

"All open patio covers shall be architecturally compatible with residential units and shall be constructed of wood or other similar materials (i.e., open lattice). No plastic patio covers shall be permitted. Only metal patio covers with a clear and distinct wood appearance (this includes wood grain and a thickness to the metal to simulate a standard wooden lattice patio) shall be permitted; all other types of metal patio covers are not permitted.

The standards herein for open patio covers are not applicable to enclosed patio covers or additions (refer to City's Development Code)."

As of the date of this memo, the following shall be the interpretation/policy regarding this matter:

I. "OPEN" PATIO COVERS may be permitted as follows:

1. Wood lattice with a flat surface.
2. Lattice with a flat surface that looks like wood but is actually made of some other material (metal, vinyl-covered wood, etc.).
3. Must meet required setbacks as noted in the Hunter's Ridge Specific Plan.

II. "SOLID" PATIO COVERS may be permitted as follows:

1. Lattice with a flat surface that looks like wood but is actually made of metal and has clear or frosted skylights.
2. Solid wood patio cover with roofing materials and slope to match the existing structure.
3. Must meet required setbacks as noted in the Hunter's Ridge Specific Plan.

III. "ENCLOSURE" OF AN "EXISTING" PATIO COVER may be permitted as follows:

1. It shall be a room intended for recreational or outdoor living purposes only and not used as a habitable room, and is in compliance with the latest adopted Building Code.
2. Must meet required setbacks (like a room addition) as noted in the Development Code.

IV. "NEW" ROOM ADDITIONS may be permitted as follows:

1. The architecture of the proposed addition shall be compatible in design with the main structure. The roof shall be of the same style and materials as the main structure, i.e. gabled tile roof, etc. No flat, lean-to or shed-type roofs.
2. Must meet required setbacks as noted in the Development Code.

2.0 Development Regulations: Specific Rules

II. DEVELOPMENT REGULATIONS: SPECIFIC RULES

A. INTRODUCTION

The project development regulations are divided into five sections:

1. Land Use - Defines permitted and conditionally permitted uses to implement the plan's intent;
2. Site Development Regulations - Establishes the specific mandated rules for creation of building sites and location of structures to protect the public health, safety and welfare;
3. General Provisions - States the general rules that must be observed in all development projects in order to protect the public health, safety and welfare;
4. Design Guidelines - Identifies the appearance-related requirements for all development projects to achieve the desired quality of living environment expressed in the plan; and
5. Obligations Inventory - Prescribes the public services and facilities and associated financing mechanisms to accompany each increment of development so that contemporary public improvements and related public services are assured as this community is built.

Taken together, these requirements specify what must be done, when it must be done and who is responsible for doing what it takes to implement the plan.

Each section is presented in a matrix format with supporting text. This is intended to make the plan more understandable and to facilitate the plan's administration and processing of development projects.







B. LAND USE REGULATIONS

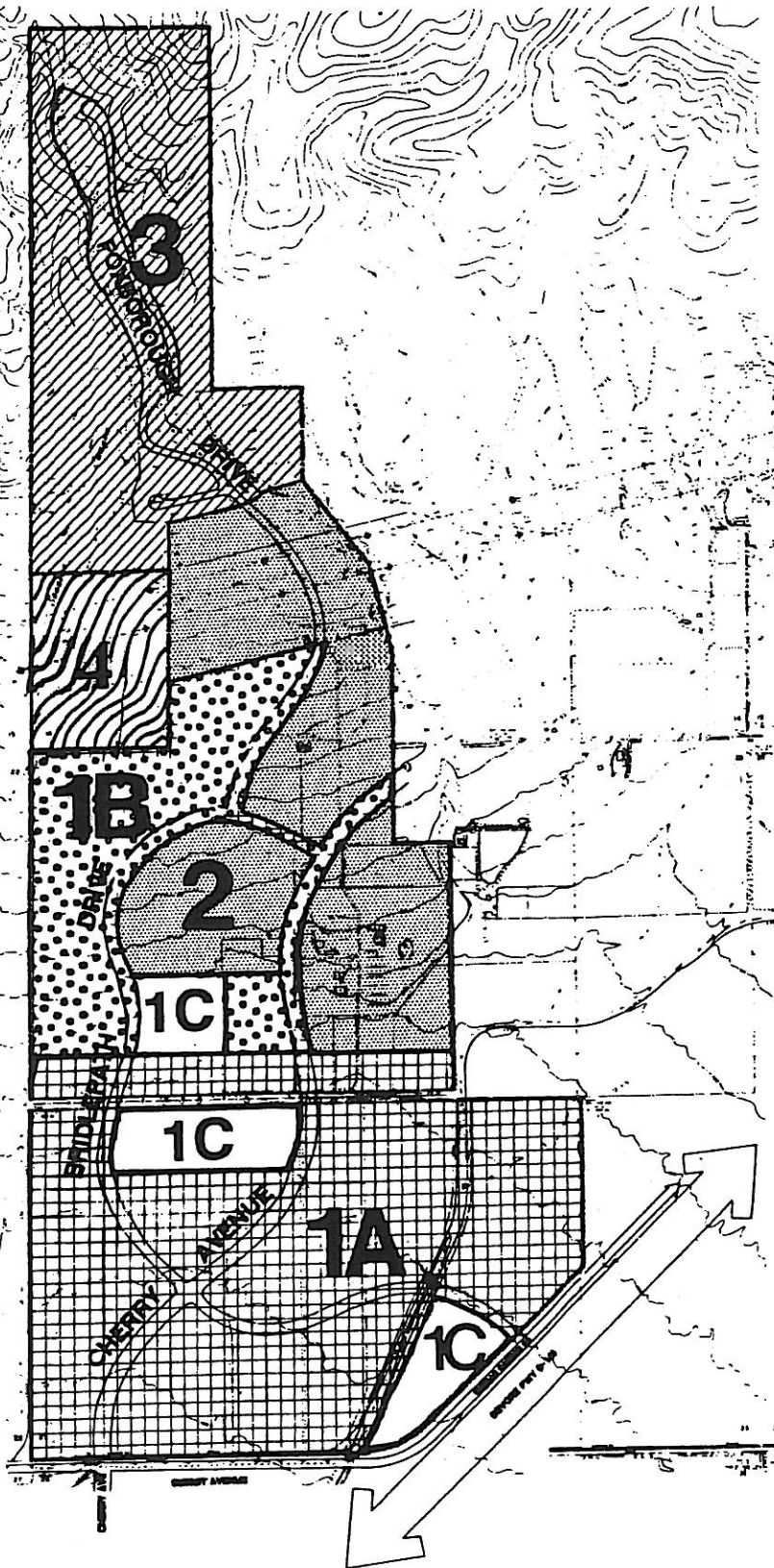
1. Land Use Plan

The land use plan map, Exhibit II-1A, identifies the basic land uses allowed in the plan and indicates the desired arrangement of those uses. It is the graphic summary of the plan and provides the frame of reference for all of the plan's regulations.

Phasing Plan

LEGEND

-  PHASE 1A
-  PHASE 1B
-  PHASE 1C
-  PHASE 2
-  PHASE 3
-  PHASE 4



Adopted 5/4/99
City Council Ord. No. 1286

Hunter's Ridge

A SPECIFIC PLAN PREPARED FOR THE CITY OF FONTANA
AMENDED



EXHIBIT II-1B

AND
USE

Land Use

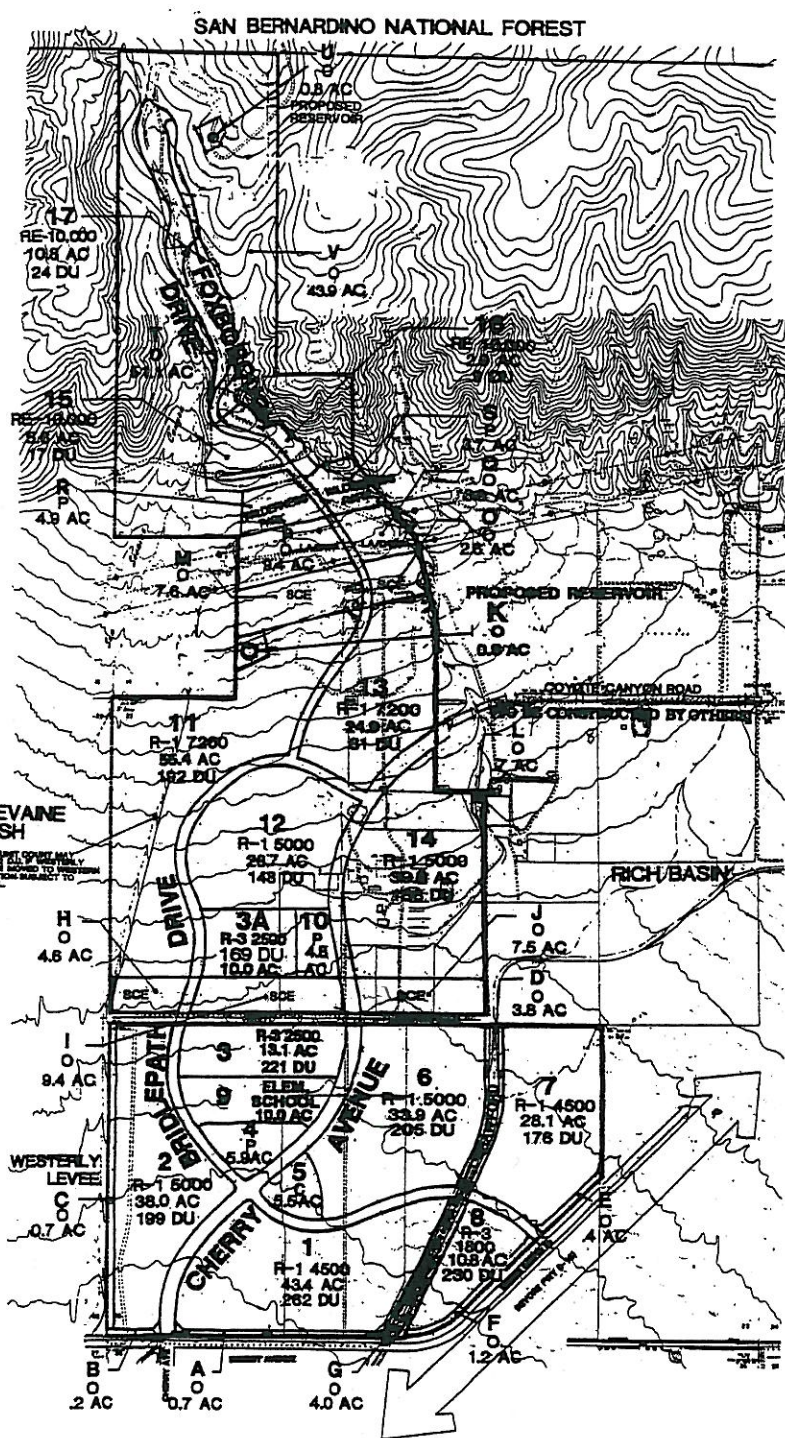
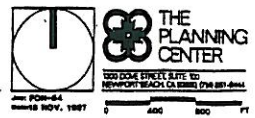
LEGEND

RESIDENTIAL	# OF DU	NET ACRES
ESTATE RESIDENTIAL		
RE-10000	50	19.3
SINGLE FAMILY RESIDENTIAL		
R1-7200	273	80.3
R1-5000	740	139.9
R1-4500	438	71.5
MULTI FAMILY RESIDENTIAL		
R3-2500 (TOWNHOUSE)	390	23.1
R3-1800 (APARTMENTS)	230	10.8
SUB-TOTAL	2,121	344.9
NON-RESIDENTIAL		
COMMERCIAL (C)		
NEIGHBORHOOD COMMERCIAL		
PUBLIC (P)		
PARK		19.3
ELEMENTARY SCHOOL		10.0
OPEN (O)		
IMPROVED		21.0
UNIMPROVED		133.0
STREET		
PUBLIC		33.9
SUB-TOTAL		222.7
TOTAL		567.6

PLANNING UNIT AREA DATA

1 — PLANNING UNIT
AREA NUMBER/LETTER
R1 4500—ZONING DISTRICT
43.4 AC—NET ACRES
262 DU—MAXIMUM PERMITTED DWELLING UNITS

NUMBERS 1 THROUGH 16: FOR SALE P.U.A.'S
LETTERS A THROUGH V: FOR DEDICATION OR SALE P.U.A.'S



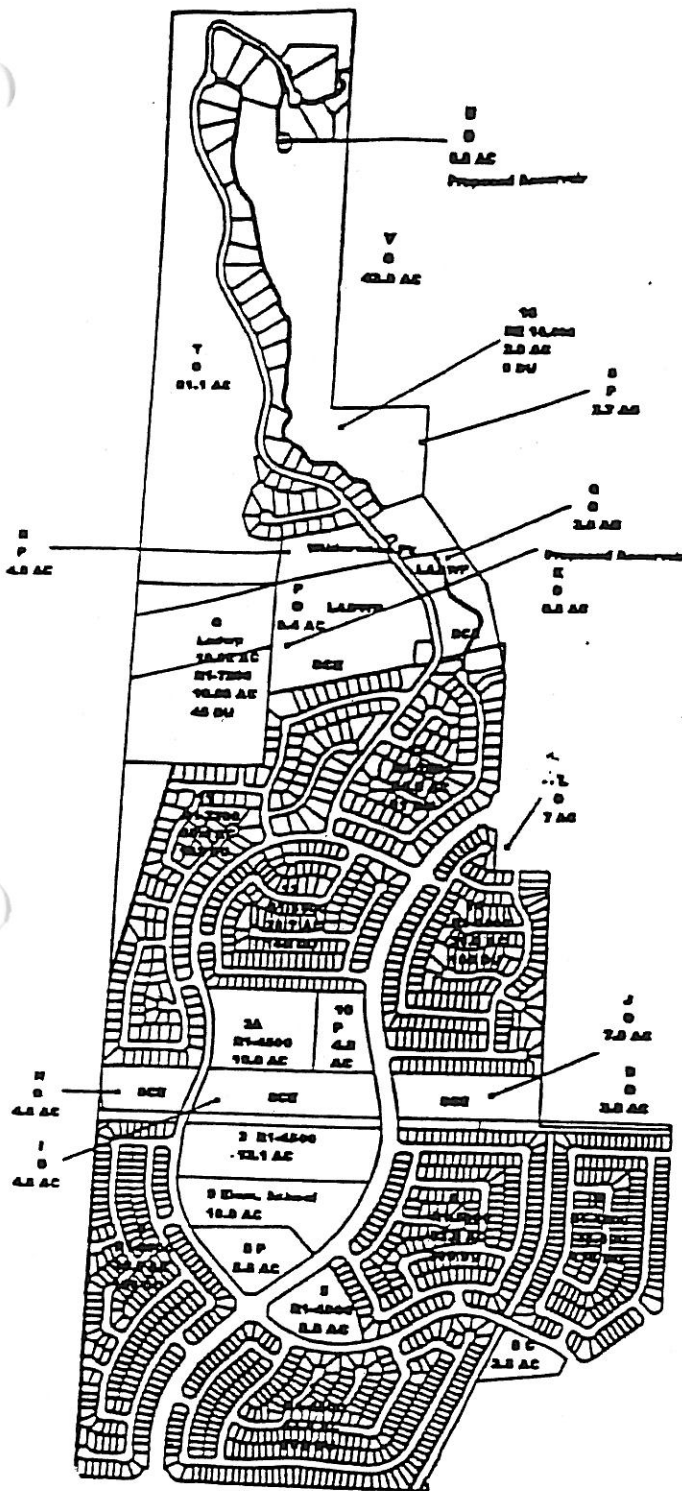
Hunter's Ridge

A SPECIFIC PLAN PREPARED FOR THE CITY OF FONTANA

REFERENCES FOR BASE INFORMATION:
*ALTA SURVEY BY ROBERT, BEN & FROST JULY 16, 1995
*J.P. KAPP & ASSOCIATES, INC.

EXHIBIT V-2

Amended:
City Council Ord. Nos. 1218 (05/20/97)
1170 (12/19/95)
1123 (08/02/94)



LAND USE

<u>Residential</u>	<u># of DU</u>	<u>Net Acres</u>
Estate Residential RE-10,000	50	19.3
Single-Family Residential R1-7,200	318	90.4
R1-5,000	740	139.9
R1-4,500	617	100.0
Sub-Total	1725	349.7
<u>Non-Residential</u>		
Commercial Neighborhood Commercial		4.5
Public (P) Park Elementary School		19.3 10.0
Open (O) Improved Unimproved		21.0 152.9
Street Public		38.6
Sub-Total		246.3
Total		596.0

Hunter's Ridge

A Specific Plan Prepared for the City of Fontana

REFERENCES FOR BASE INFORMATION:

*A.L.T.A. SURVEY BY ROBERT, BIEN & FROST July 15, 1985
J.P. KAPP & ASSOCIATES, INC.

EXHIBIT 1-2

2. Statistical Summary/Development Yield

This summary (Table 2-1) on page II-6 regulates the amount of development that can occur in each planning unit area (PUA). For residential uses, the limitation is expressed in two ways: 1) By a minimum required net lot area per unit, indicated by a suffix after the use designation (for example, R-1 7,200 is a single family residential use with a minimum net lot area per unit of 7,200 square feet); and 2) By a maximum number of dwelling units that can be built in each planning unit area. (Subject only to minor boundary or dwelling unit adjustment as described on this page and General Provisions for Reduced Building Pad Allowance, page II-61).

NOTE: In single-family districts, minimum lot size and lot area per unit are identical; in multiple family districts, lot area per unit is always some fraction of minimum lot size.

Planning unit area boundaries may be adjusted with a resultant maximum acreage increase of 10 percent or decrease of 10 percent owing to final project design. As described more completely, on page II-55, this may also result in dwelling unit adjustments, subject to the following limitations:

- a) The maximum of 1,725 dwelling units shall not be exceeded: (349.7 net residential acres);
- b) The maximum dwelling unit count for the aggregate of planning unit areas affected by a particular planning unit area adjustment shall not be increased beyond the aggregate shown in this plan;
- c) The number of estate lots (50) and single-family detached lots (318) with 7,200 square feet of lot area or larger shall not be decreased as a consequence of any boundary adjustment (except if Western Levee cannot be relocated to western boundary of PUA 11 - per SBCFC approval);
- d) Boundary adjustments may involve any adjacent planning unit area or non-adjacent area with the same zoning district designation as the planning unit area in question, so long as all of the affected land is owned or legally controlled by the same party, of both parties can reach mutual agreement;

Amended 3/20/01

City Council Ord. No. 1344

Amended 12/19/00

City Council Ord. No. 1340

Amended October 19, 1999

City Council Ord. No. 1306

Amended 5/4/99

City Council Ord. No. 1286

- f) A final geotechnical study of the Alquist-Priolo Zone shall investigate the fault alignment and evaluate the proposed location of SBCFC debris dam in San Sevaine Canyon, water tank location (PUA K), and any affected residential (PUA 11, 13, 15, 16) lots. Design measures shall be taken by registered engineer using recommended design criteria by registered soils engineer or geologist prior to building permit approval; and
- g) The dwelling unit percentages as stated below for each lot size category (example R-1 7,200, R-1 5,000, etc.) may not vary, except as stated herein, from the following percentages:

<u>LOT SIZE</u>	<u>%</u>	<u>DU</u>
R-E 10,000 =	2.8%	50
R-1 7,200 =	18.5%	318
R-1 5,000 =	42.9%	740
R-1 4,500 =	<u>35.8%</u>	<u>617</u>
 TOTAL:	 100.0%	 1,725 DU

3. Purpose and Intent

The land uses in the various planning unit areas are described in terms of permitted uses and conditional uses. The purpose of each of the single family and multi-family residential uses, as well as commercial, and public/quasi-public uses are described on pages II-4 to II-11. Charts listing permitted and conditional uses follow page II-11.

The overall mix of uses is intended to provide for a reasonably balanced community. The range of residential designations is intended to provide a diversity of housing choices and lifestyles, as well as to serve several residential markets at the same time.

- a) (R-E 10,000) Residential Estate District: This residential district is intended for quality low density single family estate homes on large lots with 10,000 square foot minimum net lot area.

Amended 10/19/99
City Council Ord. No. 1306
Amended 5/4/99
City Council Ord. No. 1286
Amended 3/20/2001
City Council Ord. No. 1344
Amended 12/19/95
City Council Ord. No. 1170

Amended 12/19/00
City Council Ord. No. 1340

**HUNTER'S RIDGE
STATISTICAL SUMMARY/DEVELOPMENT YIELD**

TABLE II-1

Legend (Land Use)

O = Open Zone

P = Public

R = Residential

Planning Unit Area	Land Use	Maximum du	Net Acres	Average Net Residential Density
PHASE 1A				
1	R1-4500	262	43.4	6.04
2	R1-5000	199	38.0	5.24
6	R1-5000	205	33.9	6.04
7	R1-4500	176	28.1	6.26
5	R1-4500	29	5.5	5.64
3 & 3A	R1-4500	150	23.0	6.52
o Subtotal (SF Res)	_____	1021	171.9	5.94
o Total Residential	-----	1021	171.9	5.94
(20' Summit Buffer)	O		0.7	
(20' Summit Buffer)	O		0.2	
(Westerly Levee)	O		0.7	
(Hawker Crawford)	O		3.8	
(30' Freeway Buffer)	O		0.4	
(30' Freeway Buffer)	O		1.2	
(Hawker Crawford)	O		4.0	
H (SCE Easement)	O		4.6	
(SCE Easement)	O		9.4	
(SCE Easement)	O		7.5	
(Park)	P		5.9	
(Commercial)	C		3.5	
(Elementary School)	O		10.0	
Major Streets	_____		14.4	
o Total Non-Residential			62.8	
o Phase 1A Total		1021	234.7	4.35

**HUNTER'S RIDGE
STATISTICAL SUMMARY/DEVELOPMENT YIELD**

**TABLE II-1
(Continued)**

Legend (Land Use)

O = Open Zone

P = Public

R = Residential

Planning Unit Area	Land Use	Maximum du	Net Acres	Average Net Residential Density
PHASE 1B 11	R1-7200	192	55.4	3.47
o Subtotal (SF Res)		192	55.4	3.47
o Total Residential		192	55.4	3.47
K (Reservoir)	O		0.8	
10 (Park)	P		4.8	
Major Street	-----		10.3	
o Total Non-Residential			15.9	
o Phase 1B Total		192	71.3	2.69

Planning Unit Area	Land Use	Maximum du	Net Acres	Average Net Residential Density
PHASE 1C				
o Subtotal (MF Res)				

Amended 3/20/01

City Council Ord. No. 1344

Amended 10/19/99

City Council Ord. No. 1306

Amended 8/2/94

City Council Ord. No. 1123

**HUNTER'S RIDGE
STATISTICAL SUMMARY/DEVELOPMENT YIELD**

**TABLE II-1
(Continued)**

Legend (Land Use)

O = Open Zone

P = Public

R = Residential

Planning Unit Area	Land Use	Maximum du	Net Acres	Average Net Residential Density
PHASE TWO				
12	R1-5000	148	28.7	5.16
13	R1-7200	81	24.9	3.25
14	R1-5000	188	39.3	4.78
o Subtotal (SF Res)		417	92.9	4.49
L (County Flood Control)	O		0.7	
M (SCE Easement)	O		7.6	
N Scenic Open Space	O		0.8	
O (SCE Easement)	O		2.6	
P Los Angeles/DWP	O		9.4	
Q Los Angeles/DWP	O		3.8	
R Wilderness Park	P		4.9	
S Wilderness Park	P		3.7	
Major Roads	-----		3.3	
NON-RESIDENTIAL	-----	-----	36.8	
PHASE TWO TOTALS:		417	129.7	3.25

**HUNTER'S RIDGE
STATISTICAL SUMMARY/DEVELOPMENT YIELD**

**TABLE II-1
(Continued)**

Legend (Land Use)

O = Open Zone

P = Public

R = Residential

Planning Unit Area	Land Use	Maximum du	Net Acres	Average Net Residential Density
PHASE THREE				
15	RE-10000	17	5.6	3.04
16	RE-10000	9	2.9	3.10
17	RE-10000	24	10.8	2.22
o Subtotal (SF Res)		50	19.3	2.59
T Scenic Open Space	O		51.1	
U Reservoir	O		0.8	
V Scenic Open Space	O		43.9	
Major Roads	-----		5.9	
NON-RESIDENTIAL	-----	-----	101.7	
PHASE THREE TOTALS:	-----	50	121.0	0.41
Project Totals/Summary				
o SF Residential		1725	349.7	4.83
o Subtotal (Net)		1725	349.7	4.93
NON-RESIDENTIAL		-----	246.3	
Total Project (Gross):		1725	596.0	2.89

Amended 10/19/99
City Council Ord. No. 1306

Amended 3/20/01
City Council Ord. No. 1344

Amended 8/2/94
City Council Ord. No. 1123

AMENDED 12/19/95
City Council Ord. No. 1170

- b) (R-1 7,200) Single Family Residential District: This residential district is intended for quality low density single family uses composed chiefly of individual homes, together with supportive recreational, religious, educational and other community facilities. The minimum net lot area per unit shall be 7,200 square feet.
- c) (R-1 5,000) Single Family Residential District: This residential district is intended to provide for medium density, quality, diversified single family housing (conventional detached, clustered or zero lot line) together with supportive recreational, religious, educational and other community facilities. The minimum net lot area shall be 5,000 square feet.
- d) (R-1 4,500) Single Family Residential District: This residential district is also intended to provide for medium density, quality, diversified single family housing. Its purpose is similar to R1-5000 and offers variety in lot size. The minimum lot area shall be 4,500 square feet.
- f) C - Commercial District: This neighborhood commercial district is intended to provide retail and service commercial facilities to serve residents and visitors to Hunter's Ridge, surrounding neighborhoods and the general community.
- g) P - Public: The public district is intended to provide for schools and parks to primarily serve residents and employees in Hunter's Ridge at or above current standards.

II-10

Amended 3/20/01
City Council Ord. No. 1344

Amended 10/19/99
City Council Ord. No. 1306

Amended 8/2/94
City Council Ord. No. 1123

Amended 12/19/95
City Council Ord. No. 1170

- i) O - Open District: The open district is intended to be used for flood control channels, utility easements, areas too steep to build upon, landscape setbacks, historic sites, north-south and east-west equestrian trail and scenic open space.

4. Permitted/Conditional Uses

Certain uses are automatically permitted by right in each land use district, subject to site development standards, general provisions, design guidelines, public facility obligations and administrative provisions of this plan. Such uses are indicated on Exhibits II-1 through II-3, permitted use, on pages II-12 and II-20. A "P" at the intersection of a listed use and zoning district denotes that as a permitted use in the district.

Certain other uses are permitted in each land use district only upon approval of a conditional use permit. This is required because the nature of the use, its particular location, relationship to adjacent uses, or special operational features associated with the use call for a careful review by the City to protect the public health, safety and welfare. Such uses are indicated on Exhibits II-1 through II-3 by a "C" in the appropriate place and shall comply with the provisions of Article XXIV (conditional use permits) of the City zoning code.

See Chapter IV, The Implementation Process, for procedures and requirements for projects involving either permitted or conditionally permitted land uses.

P -Permitted
C -Conditional Use

**HUNTER'S RIDGE SPECIFIC PLAN
PERMITTED USES
SINGLE-FAMILY
RESIDENTIAL DISTRICTS**

EXHIBIT II-1

USES	R-E 10,000	R-1 7,200	R-1 5,000	R-1 4,500
PLANNING AREAS	15 16 17	11 13 18	2 6 12 14	1 7 5 3 3A
One-Family Dwellings (detached)	p	p	p	p
Second Unit/Granny Flat	c/1	c/1		
Two-Family Dwellings (attached)				
Multiple-Family Dwellings (attached)				
Condominiums & Semi-Detached		c	c	c
Accessory Structures/Uses	p/2	p/2	p /2	p/2
Agriculture (new and cont. uses)	c/2			
Boarding House	c/4	c/4	c/4	c/4
Cemeteries	c	c	c	c
Churches	c	c	c	c
Community or Private Clubs	c	c	c	c
Community Facilities	c	c	c	c
Day Care and Pre-School, Nursery School	c	c	c	c

1 Allowable only by a homeowner, not the original developer or builder.

2 Where related and incidental to the permitted use, as regulated by Section 30-174 of the City Code.

3 As required by Section 30-157(i) of the City Code.

4 The keeping of not more than two non-transient boarders or lodgers by a resident family is permitted in the main dwelling unit. A conditional use permit shall be required for more than two boarders.

Amended 5/4/99

Amended 3/20/01

City Council Ord. No. 1286

City Council Ord.1344

Amended 12/19/95

Amended 12/19/00

City Council Ord. No. 1170

City Council Ord. No. 1340

P - Permitted
C - Conditional Use

**HUNTER'S RIDGE SPECIFIC PLAN
PERMITTED USES
SINGLE-FAMILY
RESIDENTIAL DISTRICTS
(CONTINUED)**

EXHIBIT II-1

USES	R-E 10,000	R-1 7,200	R-1 5,000	R-1 4,500
PLANNING AREAS	15 16 17	11 13 18	2 6 12 14	1 7 5 3 3A
Dog Kennels	c/5			
Family Care, Foster or Group Home	c	c		
Home Occupants	p/6	p/6	p/6	p/6
Horses (4 per 30,000 sf lot area)	c/8			
House Pets	p/7	p/7	p/7	p/7
Livestock	c			
Non-Commercial Stables and Related Uses	c/8			
Pedestrian, Bicycle and Equestrian Trails	p	p	p	p
Private Recreation Facilities (Community-owned)	p	p	p	p
Private Schools	c	c	c	c
Public & Private Equestrian Uses	c/8			

5 Any lot or premises on which four or more dogs at least four months of age are kept.

6 The keeping of not more than two non-transient boarders or lodgers by a resident family is permitted in the main dwelling unit. A conditional use permit shall be required for more than two boarders.

7 A total of two adult dogs or cats and their litter (up to 3 months of age.)

8 Footnote 8 has been intentionally omitted.

P - Permitted
C - Conditional Use

**HUNTER'S RIDGE SPECIFIC PLAN
PERMITTED USES
SINGLE-FAMILY
RESIDENTIAL DISTRICTS
(CONTINUED)**

EXHIBIT II-1

USES	R-E 10,000	R-1 7,200	R-1 5,000	R-1 4,500
PLANNING AREAS	15 16 17	11 13 18	2 6 12 14	1 7 5 3 3A
Public Safety Facilities	c	c	c	c
Public Utility & Serv. Facilities	c/9	c/9	c/9	c/9
Recreational Vehicle Storage	c/10	c/10	c/10	c/10
Rifle Range	c			
Temporary Uses	p/11	p/11	p/11	p/11
Tennis Club/Swimming Clubs	p	p	c	c
Zero Lot Line Single-Family Design			c	c

9 As required to implement the Specific Plan.

10 As permitted in Section 30-157 (i) City Code; in addition, no such vehicle shall be parked in the front yard of a lot, front driveway or public right-of-way, unless for the purpose of loading and unloading, in which case six hours is permitted. Permanent storage where permitted shall be screened from view from any public road.

11 As permitted by the City Code.

Amended 5/4/99
City Council Ord. No. 1286

P - Permitted
C - Conditional Use

**HUNTER'S RIDGE SPECIFIC PLAN
PERMITTED USES
MULTIPLE-FAMILY
RESIDENTIAL DISTRICTS**

EXHIBIT II-2

USES	R-3 1,800
PLANNING AREAS	8
One-Family Dwellings (detached)	p/1
One-Family Dwelling (attached)	p
Two or More Dwellings (detached)	p
Two-Family Dwellings (attached/duplex)	p
Multiple-Family Dwellings (attached)	p
Semi-Detached Dwellings	
Condominiums	p
Accessory Structures/Uses	p/2
Apartments	p
Boarding House	c
Charitable Organizations	c
Churches, Public and Private	c
Community or Private Clubs	c
Community Facilities	c
Convent	c

1 One-family detached dwellings are permitted and must conform to the provisions of the proposed product type. (Example: 7,200 s.f. lots must conform to R-1 7200 provisions herein.)

2 Where related and incidental to the permitted use, as required by Section 33-22 of the City Code.

P - Permitted
C - Conditional Use

**HUNTER'S RIDGE SPECIFIC PLAN
PERMITTED USES
MULTIPLE-FAMILY
RESIDENTIAL DISTRICTS
(CONTINUED)**

EXHIBIT II-2

USES	R-3 1,800
PLANNING AREAS	8
Day Care, Pre-School, and Nursery School	c
Family Care, Foster or Group Home	c
Fraternities & Sororities, Dormitories	c
Home Occupations	p/3
Hospital, Nursing Homes	c
House Pets	p/4
Pedestrian, Bicycle & Equestrian Trails	p
Private Recreation Facilities (commonly-owned)	p
Private Schools	c
Public Safety Facilities	c
Public Utility and Service Facilities	p/5
Temporary Uses	p/6
Tennis Club/Swimming Clubs	c

3 As permitted by Section 33-22 (d) of the City Code.

4 If allowed by landlord; a total of one dog or cat and their litter (up to 3 months of age).

5 As required to implement the Specific Plan.

6 As permitted by the City Code.

P - Permitted
C - Conditional Use

**HUNTER'S RIDGE SPECIFIC PLAN
PERMITTED USES
NON-RESIDENTIAL DISTRICTS**

EXHIBIT II-3

COMMERCIAL USES

PLANNING AREA

5

Retail Establishments

Apparel Store	p
Appliance Store	p
Bakery	p
Bars or Cocktail Lounges	c
Book or Stationery Store	p
Camera Store	p
Clothing Store	p
Confectionery Store	p
Department Stores	c
Drive-thru or Fast Food Establishments	c
Drug Store or Pharmacy	p
Dry Goods, Notion Store	p
Florist Shop	p
Furniture Store	p
Garden Supplies	p
Gift Shop	p

NOTE: Other uses not listed will be considered as conditional uses (c).

P - Permitted
C - Conditional Use

**HUNTER'S RIDGE SPECIFIC PLAN
PERMITTED USES
NON-RESIDENTIAL DISTRICTS
(CONTINUED)**

EXHIBIT II-3

COMMERCIAL USES

PLANNING AREA

5

Retail Establishments, (Continued)

Grocery, Fruit, Vegetable, Meat, Fish, Poultry, or Delicatessen, including the sale of alcoholic beverages as an incidental part of a permitted use	p
Hardware or Paint Store	p
Hobby Supplies	p
Ice Cream Store	p
Jewelry Store	p
Liquor Stores	c
Newsstand	p
Photographic Supplies	p
Shoe Store	p
Sporting Goods	p
Tobacco Store	p
Toy Store	p
Variety Store	p

P - Permitted
C - Conditional Use

**HUNTER'S RIDGE SPECIFIC PLAN
PERMITTED USES
NON-RESIDENTIAL DISTRICTS
(CONTINUED)**

EXHIBIT II-3

COMMERCIAL USES

PLANNING AREA

5

Service Establishments

Accessory Uses and Structures	c
Amusement Establishments (circus, pony riding - no stables, merry-go-round and the like on areas two acres or more)	c
Appliance Repair Store	p
Athletic or Health Club	c
Automobile Service Station, Repair Facilities including Service	c/1
Bank, Financial Facilities	p
Barber Shop, Beauty Parlor	p
Cafe or Restaurant (not serving alcohol)	p
Cafes or Restaurants providing Dancing, Entertainment or Alcoholic Beverages	c
Civic and Cultural Facilities, including Conference Facilities	c
Clinic - Medical, Dental, Chiropractic, Chiropodist or Similar Specialties	p
Community Facilities and Services	p
Day Care Center, Pre-School or Nursery	c
Dressmaker	p

1 Subject to provisions of City Zoning Code 33-142 (c).

P - Permitted
C - Conditional Use

**HUNTER'S RIDGE SPECIFIC PLAN
PERMITTED USES
NON-RESIDENTIAL DISTRICTS
(CONTINUED)**

EXHIBIT II-3

COMMERCIAL USES

PLANNING AREA

5

Service Establishments, (Continued)

Launderette, Laundry Facility	p
Photographer	p
Post Office	p
Professional Offices; Administrative, Business, Organizational, including Medical	p
Professional Studio	p
Public Safety Facility (Police, Fire)	c
Public Uses, Structures and Facilities	p
Self Storage (Mini-Storage Warehouse)	c
Shoe Repair	p
Tailor	p
Temporary Uses	p/2
Theater	p
Travel Agency	p
Use including Outdoor activity, Display or Storage	c

2 As permitted by the City Code.

Amended 10/19/99
City Council Ord. No. 1306

C. SITE DEVELOPMENT STANDARDS

The previous section describes which land uses may be developed within the plan and establishes their location.

This section describes in both text and matrix format the rules by which buildable sites (lots) are created and how structures and ancillary uses are to be located on them.

1. Site Development Matrix Information

All aspects of the site and building location requirements tailored to each use district are indicated on two exhibits:

Exhibit II-4 on page II-30, single-family residential site development standards; and

Exhibit II-5 on page II-34, multiple-family and nonresidential site development standards.

Standards are indicated for both conventional and planned unit development options where appropriate. Parking, open space and landscape coverage requirements are also specified.

2. Using the Exhibits

- a. Exhibit Structure: Site development factors are listed down the left side of each exhibit. They are generally similar to topics contained in conventional zone codes.

Land uses are located across the exhibit from left to right, starting generally with the least intensive use.

- b. Land Uses: Seven basic uses are provided for in the plan and shown on the exhibits:

- 1) Single Family Estate
- 2) Single Family Residential
- 3) Multiple Family Residential
- 4) Commercial
- 5) Public
- 6) Open

- c. Use Distinctions: Within the residential uses there are further zoning designations to establish distinctions within each basic use:
- 1) Category - A general description indicating relative residential density relationships from very low to high. This terminology is descriptive, not regulatory.
 - 2) District - A combination of the appropriate land use designations found in the City's Zoning Code plus the minimum net lot area per dwelling unit (example: R1-7200 is a single family district in which each net lot must contain at least 7,200 square feet of land area for each dwelling unit). This terminology is regulatory.
 - 3) Dwelling type - A general and commonly used term for the type of dwelling unit which establishes the primary character of development within each multiple family zoning district (Exhibit II-5, only). This terminology is descriptive, not regulatory.
- d. Planning Unit Areas: The land use plan, Exhibit II-1A, delineates 40 planning unit areas. Each planning unit area constitutes a zoning district within which specified development regulations apply. Each planning unit area is identified under the appropriate zoning district on Exhibits II-4 and II-5. This is the direct link between the plan diagram or map (Exhibit II-1A) and these regulations.
- e. Terminology: The following discussion describes how each term is used in applying the standards presented in Exhibits II-4 and II-5. Where appropriate, special provisions are made for planned unit development (typically, a condominium type of ownership).
- 1) Minimum Project Size - This requirement is used in planned unit development or cluster residential development, and commercial projects to establish the minimum acreage required for a project. A characteristic common to all of these developments is the potential for individual ownership lots with some common interest in a portion of the project site. This may take the form of a residential condominium, or a commercial shopping center, with a central management of the entire center, but individual ownership of business sites.

- 2) Minimum Net Lot Size - This requirement establishes the minimum land area that must be included in fee ownership of a lot or legal building site. It is the area that would be included within a lot for sale in a conventional single family subdivision or a more limited lot within a residential condominium.

In the former case, no additional compensating land area is required to supplement the lot size, in the latter case, a certain amount of commonly owned land area would be required beyond each individual ownership parcel. Thus, for cluster or planned unit development, since the lot may be only slightly larger than the building footprint, a single lot size cannot be specified in advance.

The minimum net lot size for planned residential development shall be the dwelling unit footprints plus 20 percent of the dwelling unit square footage.

Within planned commercial development minimums will be determined by building footprints of individually owned structures so long as required parking is provided on-site or within the development via an approved mutual property owners agreement and easement for parking and process.

- 3) Minimum Building Pad - This requirement establishes the minimum, nominally flat land area on which a building and associated usable yard areas can be placed (see General Provisions; Grading). The minimum building pad is not absolutely level. It must have a slight grade for drainage (minimum 1 percent toward approved drainage facilities) or, as an option an absolutely flat pad with a 1 percent swale, and, where the terrain is gently sloping, includes a small transition grade to the adjacent lot(s). In naturally flat or gradually sloping areas, the building pad and lot are essentially the same for all practical purposes. In steeper terrain, the net lot includes not only the graded building pad, but additional slope area on which structures cannot be built (see sketch next page).

The front building setback area of the building pad must maintain a finished average grade that is mowable (15 percent or less). Once the final grade becomes too steep to mow (over 15 percent slope) the surface shall be defined as a slope bank. Retaining walls may be used as an option to 2:1 slope banks if designed and stamped by a certified civil engineer from the State of California. (Within front setback area a wall may not exceed 3-1/2 feet above finish grade, or 6 feet maximum height in side or rear yards.)

NOTE: The minimum building pad shall be considered equal to the minimum net lot area unless the average existing slope is over 3 percent or slope banks (2:1) are above 3 feet in height.

- 4) Minimum Net Lot Area Per Dwelling Unit - This requirement establishes the amount of land that must be permanently owned in fee for each dwelling unit. For single family detached units, this figure is the same as "minimum net lot size."

For multiple family units, this figure is some portion of the total lot.

In either case, minimum net lot area per dwelling unit is the amount of land available to accommodate the dwelling unit, garages or carports, supplemental parking spaces, required yards, slopes, accessory structures and any additionally mandated space to be owned in fee and controlled by the owner of the unit, either individually or jointly with other homeowners in the project.

Because of its commonality to all residential categories, it is the basis for distinguishing between residential districts and sub-districts in this plan. The break points between rural residential, estate residential, single family residential, and multiple family residential basically respect the lot area per dwelling unit factors specified in the City's Zoning Ordinance. The exception is that two single family districts (R1-5000 and R1-4500) have less than the area per unit ratio of 7,200 square feet prescribed in the zoning code.

- 5) Maximum Lot Coverage - This requirement establishes the maximum percentage of lot area that may be devoted to buildings (dwelling, garage, commercial building, accessory building, etc.). The coverage limitation applies whether the building is single or multiple story.

In commercial uses, the maximum amount of floor space to be accommodated is controlled by the coverage plus required parking spaces plus required yards (defined by setbacks) plus access drives plus required landscape areas not included in the other areas.

- 6) Minimum Lot Width - This requirement defines the minimum lot width as the average distance between side lot lines. For rectangular lots (except corner lots), width and frontage (length of lot line along a street right-of-way) are the same. For wedge shaped lots, the frontage may be somewhat less than the specified width and the rear lot line somewhat wider, in which case lot width will be measured from the front building setback. For flag or panhandle shaped lots minimum lot width will apply, however the panhandle portion may be less to a minimum of 20 feet wide with a maximum length of 150 feet.
- 7) Minimum Lot Depth - This requirement defines the minimum lot depth as the average distance between the front and rear lot lines. For rectangular lots (except corner lots), both side lot lines are the same. For wedge shaped or flag lots the depth would be different from the length of either side lot line.

For cluster development, the lot may be slightly larger than the actual building footprint so a single dimension cannot be specified in advance.

SPECIAL NOTE: Minimum width and depth dimensions, if multiplied together, will yield less than the minimum net lot size. This is to allow for some flexibility in lot configuration. Use of minimum width will require more than one minimum depth. The reverse is also true.

- 8) Minimum Front Building Setback - This requirement establishes the minimum distance from a front (street) lot line at which a main structure can be built. Combined with lot width and building configuration, it defines the visual space separating the structure from the street. (See "minimum building pad" for slope maximum.)

These factors contribute significantly to the sense of spaciousness of a neighborhood, but they do not contribute appreciably to usable space, except for extra vehicle parking in driveways. With varied setbacks, it is also possible to achieve a more interesting street scene than with a uniform setback.

Two figures are specified. An average setback must be observed on the lots along one side of each street between cross streets or between a cross street and a cul-de-sac. No more than 33 percent of the buildings along such a street section shall be at the same setback.

A minimum building setback is also specified for main buildings. Note that separate setbacks apply to garages.

- 9) Minimum Interior Side Building Setback - This requirement establishes the minimum distance from an interior side lot line at which a main structure can be built. This side yard is for access, light and air and building separation. It is typically usable to only a limited degree in conventional development.

A way to improve usability is to reduce one side yard and increase the other. This is required in most of the estate and single family districts. An even more effective zero lot line option is provided in the single family districts.

A minimum individual and a minimum aggregate side yard setback is specified for conventional development. For a zero side yard project, a minimum side yard setback is specified for the opposite site.

- 10) Minimum Exterior Side Setback - This requirement establishes the minimum distance from an exterior (street side) lot line at which a main structure can be built. This side yard is to provide separation from the adjacent street and to improve sight distance for drivers at intersections.
- 11) Minimum Rear Setback - This requirement establishes the minimum distance from a rear lot line at which a main structure can be built. This rear yard, thus created, provides the largest concentration of space available for exclusive use of the site's occupants. This can be enhanced significantly if one side yard can be enlarged sufficiently to wrap usable space around two sides of the dwelling.

- 12) Minimum Distance Between Structures - This requirement establishes the space that must be provided between structures on the same lot or adjacent lots. The separation is increased where one or more residential structures exceeds one story in height. This requirement provides for light, air and access (particularly, emergency access).
- 13) Minimum Garage Front-On Setback - This requirement establishes the minimum distance from a front or exterior side lot line at which a garage may be built if it faces directly on the street. In a single family residential district this distance enables an automobile to be parked in the driveway, avoid blocking the public sidewalk and still allow unimpeded movement of the garage door. In a multiple family district this distance is much less because garages usually front on private roads or drives. However, setbacks should insure maneuverability and maximize open space.
- 14) Minimum Garage Side-On Setback - This requirement establishes the minimum distance from a front lot line at which a garage may be built if it opens at right angles to the street and is supplemented with driveway space that can accommodate two automobiles without blocking a portion of the sidewalk. This setback may also be used if there is a mandatory automatic roll-up garage door opener, accompanied by a deed restriction obligating the property owner to maintain the mechanism in operating condition at all times.
- 15) Maximum Building Height - This requirement establishes the maximum vertical distance between the ground adjacent to the structure and the top of the structure (see building height definition in Chapter 33 of the City Zoning Code for precise measurement instructions).
- 16) Minimum Dwelling Unit Size - This requirement establishes the square footage of floor area in a residential dwelling unit that must be provided in order to obtain a building permit for that unit. The minimums do not include garage or carport area, so the actual building "footprint" may be somewhat larger than the prescribed minimum dwelling unit size.

- 17) Required Parking Spaces - This requirement establishes the minimum number of spaces permanently provided to serve the use on a site. In conventional single family residential development the spaces must be on the lot they serve. In multiple family and commercial development the spaces must be within the development project but may be in detached structures or proximate locations and managed by a legally established master association or property owner.

All required resident parking spaces in multiple family townhouse districts must be in garages. Guest parking at a ratio of 1 space per 3 units may be in uncovered spaces.

Required spaces for the multiple family apartment districts may be in either garages, carports, or a combination of both. Guest parking at a ratio of one space per 3 units may be in uncovered spaces.

- 18) Minimum Private Yard - This requirement establishes the minimum outdoor space for exclusive use of residents of multiple family and planned residential developments. The amount of space is proportional to each unit size and its minimum dimension is intended to insure that the space can be effectively used.

The private yards area for rural, estate and single family uses is defined by the required rear building setback area, excluding front building setback areas and exterior side building setback, if any.

- 19) Minimum Common Usable Open Space - This requirement establishes the minimum outdoor land area (200 sf) for each dwelling unit in a planned residential development and in multiple family projects. This land area must be assembled into one or more single spaces, each one of which must contain at least 2,500 square feet with a minimum width of 25 feet, and has no slopes in excess of 15 percent.

- 20) Minimum Landscape Coverage - This requirement establishes the minimum on-site land area on which approved landscaping must be installed and maintained for townhouses, apartment and commercial uses.

- 21) Net Residential Density - This factor indicates relative densities of the various zoning districts, taking into account both land area devoted to lots and local public streets to serve those lots.

**HUNTER'S RIDGE SPECIFIC PLAN
SITE DEVELOPMENT STANDARDS
SINGLE-FAMILY RESIDENTIAL
EXHIBIT II-4**

Land Use	Single Family Estate	Single-Family Residential			
Zoning Category District	Low Density	Medium Density			Planned Residential Development
	RE-10000	R1-7200	R1-5000	R1-4500	
Planning Unit Area(s)	15 16 17	11 13 18	2 6 12 14	1 7 5 3 3A	All R1-5000 and R1-4500
Site Development Standards					
Min. Project Size	N/A	N/A	N/A	N/A	Entire Planning Unit Area
Min. Net Lot Size	10,000 SF	7,200 SF	5,000 SF	4,500 SF	Determined by Unit Size/4
Min. Bldg. Pad/2	7,200 SF	7,200 SF/2	5,000 SF/2	4,500 SF	Determined by Unit Size/4
Min. Net Lot Area/DU	10,000 SF	7,200 SF	5,000 SF	4,500 SF	Per Applicable Zoning District
Max. Lot Coverage	40%	45%	45%	45%	N/A
Min. Lot Width	80'	60'	50'	45'	Determined by Unit Size/4
Min. Lot Depth	110'	100'	70'	70'	Determined by Unit Size/4
Min. Front Bldg. Setback/6					Per Applicable Zoning District/4
o Average	30'	25'	22'	22'- 15' (8)(9)	
o Minimum	25'	20'	18'	18'	
Min. Interior Side Bldg. Setback					Per Applicable Zoning District/5
o Conventional					
Minimum-One Side	10'	6'	5'	5'	
Minimum-Aggregate	25'	12'	10'	10'	
Zero Lot Line					
o Minimum-One Side	N/A	N/A	0'	0'	
o Minimum-Aggregate	N/A	N/A	16'	15'	

II-30

Amended 6/20/95
City Council Ord. No. 1158
Amended 12/19/95
City Council Ord. No. 1170

Amended 5/4/99
City Council Ord. No. 1286
Amended 3/20/01
City Council Ord. No. 1344



**EXHIBIT II-4
(Continued)**

Land Use	Single Family Estate	Single-Family Residential			
Zoning Category District	Low Density	Medium Density			Planned Residential Development
	RE-10000	R1-7200	R1-5000	R1-4500	
Planning Unit Area(s)	15 16 17	11 13 18	2 6 12 14	1 7 5 3	All R1-5000 and R1-4500
Site Development Standards				3A	
Min. Exterior (Corner Lot) Side Bldg. Setback	20'	15'	15'	15'	Per Applicable Zoning District/4
Min. Rear Bldg. Setback	25'	20'	15'	15'	Per Applicable Zoning District/4
Min. Distance Between Structures					
o Single Story	10'	8'	6'	6'	10'
o Two Story	12'	10'	8'	8'	20'
Min. Garage Front- On Setback	25'	20'	20'	20'	20/3
Min. Garage Side- On Setback	10'	7.5'	5'	5'	5/3
Max. Building Height	35'	35'	35'	35'	35'

EXHIBIT II-4
(Continued)

Land Use	Single Family Estate	Single-Family Residential			
Zoning Category District	Low Density	Medium Density			Planned Residential Development
	RE-10000	R1-7200	R1-5000	R1-4500	
Planning Unit Area(s)	15 16 17	11 13 18	2 6 12 14	1 7 5 3 3A	All R1-5000 and R1-4500
Site Development Standards					
Dwelling Unit Size o Minimum o Median	2,100 sf *	1,200 sf 1,500 sf	1,100 sf 1,250 sf	1,000 sf 1,100 sf	Per Applicable Zoning District
Min. Parking Spaces o Garage o Garage or Carport o Parking Space (guest) Min. Priv. Yard Area (see Min. Rear Bldg. Setback) Min. Width Min. Common Usable Open Space Area Min. Landscape Coverage	2 N/A N/A 20% /6	2 N/A N/A 20% /6	2 N/A N/A 20% /6	2 N/A N/A 20% /6	2 20 Percent of Building Area 10' 500 SF N/A
Net Residential Density in DU/Acre	3.3	4.5	6.2	6.4	Per Applicable Zoning Designation

* Custom homes will be individually built, therefore, average not applicable.

EXHIBIT II-4
(Continued)

1. GENERAL NOTES:
 - a. All area designations are in square feet unless otherwise noted.
 - b. All distance designations are in feet.
 - c. All setbacks are calculated from the property line unless otherwise noted.
2. In rural residential districts, this figure is a maximum. This is intended to minimize lot grading in rural residential zones to 10,000 s.f. building pads, however, if the pad is terraced (slop banks 2:1, with bank or wall 6 feet maximum height within the building pad the maximum building pad may be 12,500 s.f.
3. See General Provision for "Reduced Pad Allowance."
4. The individual lot consists of the building footprint plus 20 percent of the dwelling unit square footage.
5. Distances are calculated from the project area boundary and public or private street right-of-way lines, as appropriate.
6. The minimum setback may be used for no more than 33% of the planning unit area street frontage; the average setback shall apply along the remaining frontage.
7. The developer shall provide a streetscape landscape amenity package for each lot (except rural residential lots). See General Provisions, "Project Amenity Package," this section.
8. Applies to Planning Areas (PA) 3 and 3A only. Minimum front building setback is 15 feet with no average requirement.
9. Applies to Planning Area (PA) 5 only.

**SITE DEVELOPMENT STANDARDS HUNTER'S RIDGE SPECIFIC PLAN
MULTIPLE FAMILY RESIDENTIAL AND NON-RESIDENTIAL**

EXHIBIT II-5

LAND USE		MULTIPLE FAMILY RESIDENTIAL		COMMERCIAL	PUBLIC		OPEN				
ZONING	CATEGORY DISTRICT DWELLING TYPE	HIGH DENSITY R3-2500 Townhouse	Planned Residential Development	Commercial	Public Park	School	Flood Control	Utility Easement	Open Space	Duncan Canyon Setback	Summ Avenu Setbac
Planning Unit Area(s)			All R3 Planning Unit Areas	5 & 8	4 10	9	D G K L	H I J M O P Q	C N R S T U V	E F	A B
Site Development Factor											
Min. Project Size			3.0 AC	4 ac./ 3.5 ac.*	3 ac.	10 ac.	N/A	N/A	N/A	N/A	N/A
Min. Net Lot Size o Conventional			Determined by unit size/2	Determined by bldg. size/3	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Min. Bldg. Pad			Determined by unit size/2 Per Applicable Zoning District	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Min. Net Lot Area/DU			N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Max. Lot Coverage				40%/60%*	N/A	N/A	N/A	N/A	N/A	N/A	N/A

*Planning Area 8

**SITE DEVELOPMENT STANDARDS HUNTER'S RIDGE SPECIFIC PLAN
MULTIPLE FAMILY RESIDENTIAL AND NON-RESIDENTIAL**

**EXHIBIT II-5
(Continued)**

LAND USE		MULTIPLE FAMILY RESIDENTIAL			COMMERCIAL	PUBLIC		OPEN				
Zoning	Category District Dwelling Type	High Density R3-2500 Townhouse		Planned Residential Development	Commercial	Public Park	School	Flood Control	Utility Easement	Open Space	Duncan Canyon Setback	Summit Avenue Setback
Planning Unit Area(s)				All R3 Planning Unit Areas	5 & 8	4 10	9	D G K L	H I J M O P Q	C N R S T U V	E F	A B
Site Development Factor												
Min. Lot Width o Conventional o Planned Development				Determined by unit size/2	Determined by unit size/3	Per City require ment	Per School District req.	Per Flood Control req.	Per Utility req.		Project Front-age on Duncan	Project Front- ag on Sumn
Min. Lot Depth						Per City Req.	Per School Dist- rict Req.	Per Flood Control Req.	Per Utility req.		30'	20'

**SITE DEVELOPMENT STANDARDS HUNTER'S RIDGE SPECIFIC PLAN
MULTIPLE FAMILY RESIDENTIAL AND NON-RESIDENTIAL**

**EXHIBIT II-5
(Continued)**

LAND USE		MULTIPLE FAMILY RESIDENTIAL		COMMERCIAL	PUBLIC		OPEN				
ZONING	CATEGORY DISTRICT DWELLING TYPE	HIGH DENSITY R3-2500 TOWNHOUSE	Planned Residential Development	Commercial	Public Park	School	Flood Control	Utility Easement	Open Space	Duncan Canyon Setback	Summit Avenue Setback
Planning Unit Area(s)			All R3 Planning Unit Areas	5 & 8	4 10	9	D G K L	H I J M O P Q	C N R S T U V	E F	A B
Site Development Factor											
Min. Lot Depth o Conventional o Planned Development			Determined by unit size/2	Determined by bldg. size/3							
Min. Front Bldg. Setback (Avg/Min)			15'4'	10'5'8 min.*	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Min. Interior Side Yd Bldg. Setback (Avg/Min)			10'4'	0'6'0*	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Min. Exterior Blvd. Setback (Avg/Min)			10'4'	10'6'8 min.*	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Min. Rear Bldg. Setback (Avg/Min)			20'4'	0'6'0*	N/A	N/A	N/A	N/A	N/A	N/A	N/A

NOTE: *For Planning Area 8 only.

**SITE DEVELOPMENT STANDARDS HUNTER'S RIDGE SPECIFIC PLAN
MULTIPLE FAMILY RESIDENTIAL AND NON-RESIDENTIAL**

**EXHIBIT II-5
(Continued)**

LAND USE		MULTIPLE FAMILY RESIDENTIAL		COMMERCIAL	PUBLIC		OPEN				
ZONING	CATEGORY DISTRICT DWELLING TYPE	HIGH DENSITY R3-2500 TOWNHOUSE	Planned Residential Development	Commercial	Public Park	School	Flood Control	Utility Ease-ment	Open Space	Duncan Canyon Setback	Su Av Se
Planning Unit Area(s)			All R3 Planning Unit Areas	5 & 8	4 10	9	D G K L	H I J M O P Q	C N R S T U V	E F	
Site Development Factor											
Min. Distance Between Structures/11			15'	0'/30'	N/A	N/A	N/A	N/A	N/A	N/A	1
Single Story			20'	0'/30'	N/A	N/A	N/A	N/A	N/A	N/A	1
Two Story			20'/4	N/A	N/A	N/A	N/A	N/A	N/A	N/A	1
Min. Garage Front-On Setback/4 or Reverse Setback											
Max. Building/5			35'/5	30'/5	35'	N/A	N/A	N/A	N/A	N/A	1
Height											
Min. Dwelling Unit Size			Per Applicable Zoning District	N/A	N/A	N/A	N/A	N/A	N/A	N/A	1

Amended 3/20/01
City Council Ord. No. 1344

Amended 8/2/94
City Council Ord. No. 1123

Amended 10/19/99
City Council Ord. No. 1306

**SITE DEVELOPMENT STANDARDS HUNTER'S RIDGE SPECIFIC PLAN
MULTIPLE FAMILY RESIDENTIAL AND NON-RESIDENTIAL**

**EXHIBIT II-5
(Continued)**

LAND USE		MULTIPLE FAMILY RESIDENTIAL			COMMERCIAL	PUBLIC		OPEN				
ZONING	CATEGORY DISTRICT DWELLING TYPE	HIGH DENSITY R3-2500 TOWNHOUSE		Planned Residential Development	Commercial	Public Park	School	Flood Control	Utility Easement	Open Space	Duncan Canyon Setback	S A S
Planning Unit Area(s)				All R3 Planning Unit Areas	5 & 8	4 10	9	D G K L	H I J M O P Q	C N R S T U V	E F	
Site Development Factor												
Req. Parking Spaces o Garage/8 o Garage or Carport/8 o Parking Space (Guest) Min. Private Yard/9 Area Minimum width Req. Common Useable OS o Area per DU o Per Min. Lot Area o Min Common Useable OS o Min. Width				2/2.25 .3/DU 200 SF 8' 300 SF	1/250 of gross* bldg. area N/A N/A	Per city req N/A N/A	Per School District req. N/A N/A	N/A N/A N/A	N/A N/A N/A	N/A N/A N/A	N/A N/A N/A	

*Required Parking Spaces for Self Storage is 1/150 units.

Amended 3/20/01
City Council Ord. No. 1344

Amended 8/2/94
City Council Ord. No. 1123

Amended 10/19/99
City Council Ord. No. 1306

FYI

TGA

TGA Development & Engineering, Inc.

13800 Heacock Street, Suite 129D, Moreno Valley, CA. 92553 Phone (951) 413-1914 Fax (951) 413-1915

Craig Bruorton
City of Fontana
8353 Sierra Ave.
Fontana, CA 92335

Dear Mr. Craig Bruorton:

This letter is to inform you that as of May 9th, we will move to a new office to make room for our company growth. Please update your records with the following new address and numbers:

TGA Development & Engineering, Inc.
1181 California Avenue, Suite 101B
Corona, CA. 92881

Main: (951) 371-0264
Fax: (951) 371 - 1365

Sincerely,

Manuel Gonzales, P.E.
Principal

**SITE DEVELOPMENT STANDARDS HUNTER'S RIDGE SPECIFIC PLAN
MULTIPLE FAMILY RESIDENTIAL AND NON-RESIDENTIAL**

**EXHIBIT II-5
(Continued)**

LAND USE		MULTIPLE FAMILY RESIDENTIAL			COMMERCIAL	PUBLIC		OPEN				
Zoning	Category district Dwelling Type	High Density R3-2500 Townhouse		Planned Residential Development	Commercial	Public Park	School	Flood Control	Utility Easement	Open Space	Duncan Canyon Setback	Su Av Se
Planning Unit Area(s)				All R3 Planning Unit Areas	5 & 8	4 10	9	D G K L	H I J M O P Q	C N R S T U V	E F	
Site Development Factor												
Min. Landscape Coverage					15%/20%*	Per city require- ment	Per School Dist. req.	N/A	N/A	N/A	85% (allows 4' walk)	8 (allow 4' wa
Net Residential Density				Per Applicable Zoning District	N/A	N/A	N/A	N/A	N/A	N/A	N/A	1

NOTE: Minimum landscape coverage for self-storage of parking area.

Amended 3/20/01
City Council Ord. No. 1344

Amended 8/2/94
City Council Ord. No. 1123

Amended 10/19/99
City Council Ord. No. 1306

1. General Notes:
 - a. All area designations are in square feet unless otherwise noted.
 - b. All distance designations are in feet.
 - c. All setbacks are calculated from the property line unless otherwise noted.
2. The individual lot consists of the building footprint plus 20 percent of the dwelling unit square footage.
3. See Subsection II.C.2.e.2 on Page 11-21.
4. Distances are calculated from the project area boundary (see 1e. above) and public right-of-way lines, as appropriate. NOTE: This applies to garages. Carports, because they are open, are more visible and may be placed on the private street edge as long as it is 26 feet wide for two-way traffic.
5. All structures will be a maximum of 2-1/2 stories (exception: see footnote 6).
6. Apartment height will be defined by two height zones. Apartments may not exceed 35 feet in height (2-1/2 stories) within 150 feet of Duncan Canyon Road, Summit Avenue or the project community collector (64 R.O.W.). Outside this 150-foot zone apartments may not exceed 45 feet in height (3-1/2 stories) but only for the purposes of locating garages under or as part of the units. This is intended to increase common open space.
7. Studios - 600 s.f. min.; One Bedroom = 800 s.f. min.
8. Parking Standards: Two spaces for studio, one and two bedroom; 2.25 spaces for three bedrooms or more.
9. Private yard: On the ground floor said space (screened patio) shall be contiguous to the unit served. For units above the first floor this space will be provided in the form of a balcony or recessed area open on at least two sides and will be contiguous to the unit served.
10. Recreation buildings and facilities (pools, tennis courts, etc.) may be included within the common useable open space area. However, no portion of off-street parking spaces, driveways, covered pedestrian accessways or utility areas such as drying areas or trash areas shall be included in the common open space calculations. NOTE: At least 35% of required useable open space must be in one area, and 45% shall be landscaped (See General Provisions, 22, project amenity package for multi-family, this section).
11. For commercial structures, the smaller number pertains to the sides of structures within a planned unit area, the larger number pertains to the sides of structures relating to exterior project area boundaries (especially adjacent to residential uses).

GENERAL PROVISIONS MATRIX

<u>Provision</u>	<u>Applicable To</u>
	<u>R C P O</u>
1. Agricultural Uses Legally existing Agricultural uses, including structures and appurtenances accessory thereto, shall be permitted within the Specific Plan area, subject to the provisions of Chapter 33, Sections 27-33 of the Fontana City Code.	X X X X
2. Bonding - see Improvements It shall be made a requirement that all improvement costs shall be bonded.	X X X X
3. Conflicting Regulations Whenever the regulations contained herein conflict with the Section 33-1 through 33-175 of the City of Fontana Zoning Ordinance, the regulations contained herein shall take precedence. In the absence of such conflict or in the absence of specific provisions with this code, the requirements of Chapter 33 will prevail.	X X X X
4. Community Finance District Prior to recordation of any tract map, the developer will be responsible for establishing and having in place a Mello-Roos Community Facilities District (CFD) or other funding mechanism capable of offsetting the entire proposed negative net recurring costs as outlined in the Fiscal Impact Analysis prepared for the project by Stanley R. Hoffman and Associates. Such plan shall be consistent with City municipal finance program guidelines, and shall not burden the ultimate landowners with unreasonable property taxes.	X X X X
5. Drainage (City Master Plan) The developer shall dedicate land for and install drainage improvements in compliance with the amended City Master Plan of Storm Drains and the North Fontana Redevelopment Plan to the satisfaction of the City of Fontana Public Works Director. NOTE: Drainage improvements apply to drainage facility requirements to accommodate this project. NOTE: City Master Plan is in process of being amended at this writing. (See page V-103 for details.)	X X X X

R C P O

R - Residential
 C - Commercial
 P - Public
 O - Open

GENERAL PROVISIONS MATRIX

(Continued)

<u>Provision</u>	<u>Applicable To</u>
	<u>R C P O</u>
6. Energy Conservation	X X X
As part of the Development Plan, the applicant shall document commitments to the non-mechanical ventilation of structures, solar energy capture and other energy conservation measures.	
7. Environmental Impact Report (EIR)	X X X X
An EIR has been certified. Environmental Assessment requirements and supplemental reports, if any, shall be focused on subjects identified for such requirements in the Hunter's Ridge EIR pursuant to CEQA guidelines.	
8. Fire/Fuel Modification Zone	
(See Part V - Open Space/Streetscape and EIR Appendix and p. V-72 for provisions for Fuel Management Plan.)	
9. Flood, Regional	X X X X
The developer shall be in compliance with the San Bernardino County Master Plan of Flood Control to the satisfaction of the Chief Engineer of San Bernardino County. NOTE: Flood improvements apply to Etiwanda Creek, San Sevaine and Hawker-Crawford Systems, as well as the possible location of a debris dam in the San Sevaine Canyon, and the relocation of the westerly levee further west along the San Sevaine Wash.	
10. Geologic Hazards	X X X X
Prior to tract map approval, detailed geologic investigation reports shall be submitted to the Planning Department to determine if geologic hazards exist especially within the Alquist-Priolo zone (see Exhibit 7, EIR). If such hazards exist, uses may be limited or conditions may be applied to mitigate the possible effects of any geologic hazards.	
11. Grading	
a. The developer must provide a report prepared by a licensed engineering geologist and soils engineer as the basis for the grading plan. The report is to document means of assuring a safe and stable development. Site stability must be certified by City Engineer prior to building permit issuance.	X X X X

GENERAL PROVISIONS MATRIX
(Continued)

<u>Provision</u>	<u>Applicable To</u>
	<u>R C P O</u>
b. Terraces at least 6 feet in width shall be established at not more than 30 feet vertical intervals on all cut and fill slopes (2:1). NOTE: 1-1/2:1 slopes may be allowed if approved by a certified soils engineer.	X X X X
c. All graded slopes of 5 feet vertical height or more shall be landscaped and automatically irrigated. If these slopes are hydroseeded the developer is responsible for maintenance until 90 percent germination occurs. A signed release from homebuyer (as proof of acceptance) is required prior to occupancy, and shall be filed with the City General Service Agency. (See 14. Landscape and Irrigation; General Provisions for more.)	X X X X
d. The finished average grade of the front building setback area of the building pad must be mowable (15 percent slope or less). Once the final grade becomes too steep to mow (over 15 percent slope) the surface shall be defined as a slope bank. Retaining walls may be used as an option to 2:1 slope banks if designed and stamped by a certified civil engineer from the State of California. (Within front setback area a wall may not exceed 3-1/2 feet above finish grade, or 6 feet maximum height in side or rear yards).	X X X X
e. Minimum grades: 1) Building foundation to approved drainage swale -- 2 percent minimum. 2) Building pad to approved drainage swale -- 1 percent minimum. 3) Drainage swale -- 1 percent minimum.	X X X X
f. The grading of the interface between all planning unit areas and open space areas shall conform to the natural topography and create harmonious transitions of the man-made graded slope banks with the natural terrain. Rounding the tops and toes of all such slopes, revegetation and stabilization shall be required. NOTE: This is especially true in the upper canyon area (R-E Zoning).	X X X X

GENERAL PROVISIONS MATRIX
(Continued)

<u>Provision</u>	<u>Applicable To</u>
	<u>R C P O</u>
g. In estate residential zones (RE-10,000) located next to San Sevaine Canyon building pad grading is to be minimized to a maximum area of 10,000 sf. Note: Existing unique Phase III native trees of 12" DBH or greater shall be preserved (canyon oaks, southern California black walnut trees, and stands of holly-leaf cherry), as well as sensitive gully/swale vegetation may be pruned and thinned periodically to achieve fire safety goals and should be retained and protected from grading whenever possible. (See Fuel Management Plan to follow.)	X
h. For further grading guidelines, see Section III. Design Guidelines, Subsection b., Grading and Drainage.	X X X X
12. Homeowners or Property Owners Association By-Laws	
If established, homeowners association or property owners association by-laws must be approved by the Planning Director, City Engineer and recorded concurrent with final map recordation.	X X X
13. Improvements - Phasing	
In order to ensure the orderly development of the infrastructure associated with this Specific Plan, the developer shall:	X X X X
" Submit to the City for approval a final master tract map for the entire Specific Plan area which provides for the installation of or bonding for all infrastructure identified in a "Master List of Infrastructure Items" to be developed for the project and approved by the Director, Maintenance and Engineering Services Agency. This list shall be submitted with the master tentative tract map;	
" Create with the final master tract map all of the Phase III lots and agree to have these lots taxed as "approved land;"	
" Include the upper (i.e., Phase III area) water reservoir in the "Regional Facilities" CFD financing anticipating funding by way of Series B bonds at such time as Phase III development occurs.	

GENERAL PROVISIONS MATRIX
(Continued)

<u>Provision</u>	<u>Applicable To</u>
	<u>R C P O</u>
14. Landscaping and Irrigation	
a. Individual front yard landscaping and automatic irrigation systems shall be installed and maintained by the builder prior to occupancy of each building.	X X X X
b. Automatic landscaping irrigation systems shall be installed by the developer in all front building setback areas prior to occupancy of the building. Two shall be provided; one valve for the lawn and one for shrubs. In addition, irrigation supply lines shall be stubbed out to rear and side yards.	X X X X
c. Landscape materials and irrigation systems shall be designed to conserve water to the maximum extent possible.	X X X X
"Non-toxic vegetation shall be utilized in landscaping adjacent to equestrian trails."	
d. A computerized central/satellite irrigation control system (Toro Network System 8000 or equal) will be provided for irrigation of public areas by the master developer to alleviate the high cost of water, chemicals and personnel, while developing optimum plant growth and vigor. Solid state satellites will also be provided for the project irrigation system. NOTE: Irrigation hookups to each planning unit area to this system will be provided. Merchant builder to provide irrigation system and any other needed satellites for PUA.	X X X X
e. The developer shall install for each dwelling unit: Two 15 gallon street trees, shrubs, one mailbox (USPS regulation), fronting public sidewalk of brushed concrete (broom finish) and hydroseed lawn. (See 26. project amenity package this section and Exhibit V-41a).	X
f. An exemption for estate residential zones may be provided (from section e. above) if built as single custom homes and approved by the Planning Commission. (See 11. Grading, g. on II-44.) NOTE: Estate residential zone is subject to planting requirements of fuel management plan.	X

GENERAL PROVISIONS MATRIX
(Continued)

<u>Provision</u>	<u>Applicable To</u> <u>R C P O</u>
g. The developer shall install all primary and secondary entry improvements at same time road is built that they front on.	X
Neighborhood entries shall be installed by Merchant builder when each neighborhood entry road is constructed. NOTE: Additional palms and accent trees shall then be planted in collector street or Cherry Avenue (see Exhibits V-32 and 33).	X
h. All graded slopes 5 feet vertical or more shall be landscaped and automatically irrigated. If these slopes are to be hydroseeded, developer is responsible for maintenance until 90 percent germination occurs. A signed release from homebuyer (as proof of acceptance) is required prior to occupancy, and shall be filed with the General Service Agency.	X X X X
i. All landscape and irrigation plans shall be reviewed and approved by General Services Agency. Developers shall provide two complete landscape and irrigation plans (incl. street tree, yard tree, turf and shrubs and any additional landscape areas required). These shall be approved prior to issuance of building permits. See General Provision 26.b.	X X X X
j. Plant palette, sizes, spacing and planting guidelines; see Part V - F. Open Space/ Streetscape Plan.	X X X X
k. Developer shall dedicate and improve all park and open space to City specifications. Landscape Maintenance District shall be formed and park lands dedicated as a condition of the Master Tract Map recordation.	X X
l. Developer will provide site inspection of all construction and installation of parks, open space areas and streetscapes by a California licensed landscape architect.	X X

GENERAL PROVISIONS MATRIX
(Continued)

<u>Provision</u>	<u>Applicable To</u>
	<u>R C P O</u>
m. Boundary landscaping shall be required adjacent to residential areas abutting storage, loading, parking and commercial areas. (See note below). The landscaping shall generally be placed along the entire property line and shall be a minimum of 10 feet in depth. An average of 1 tree per 30 lineal feet shall be planted in the boundary area in addition to groundcover and shrubbery.	X X
n. All improved building sites shall have a minimum landscaped coverage of 15 percent. Landscaping shall consist of an effective combination of street trees, trees, groundcover and shrubbery, and shall be provided with an automatic irrigation system.	X
o. A reduction in coverage percentage as specified in the Use Regulations may be sought and approved in recognition of quality design. For purposes of this provision, quality considerations include: superior visual buffering; visually creative massing of materials; maximum provision of shade; visually pleasing combinations of landscape/hardscape/textures/contouring; noise attenuation value; theme reinforcement; use of courtyards, atriums and other effective treatment of ground floor public space; creative use of water, sculpture or art work; effective use of specimen trees; overall visual interest; ease of maintenance in mature condition and water conservation effectiveness.	X
p. Driveway and parking areas shall be separated from adjacent aesthetic improvements by a curb at least 6 inches high.	X X X
q. Parking areas will be visually screened as much as possible from adjacent streets and other uses. Materials used for screening shall be of sufficient size and height to meet this requirement. Application to residential areas shall apply only to multi-family areas.	X X X

GENERAL PROVISIONS MATRIX
(Continued)

<u>Provision</u>		<u>Applicable To</u>			
		<u>R</u>	<u>C</u>	<u>P</u>	<u>O</u>
r.	In addition to boundary planting, 1 tree per each 5 parking stalls shall be installed within and immediately abutting the parking area. Trees are to give relief from monotony and provide convenient shading.	X	X	X	
s.	Where undeveloped parcels exist, landscaping plans will provide for erosion control on all vacant graded sites.	X	X	X	X
t.	Undeveloped building pads will be maintained in a weed-free condition.	X	X	X	X
u.	Lawn and groundcovers are to be trimmed or mowed regularly. All planting areas are to be kept free of weeds and debris.	X	X	X	
v.	All landscape plantings are to be kept in a healthy and growing condition. Fertilization, cultivation and tree pruning shall be a part of regular maintenance.	X	X	X	X
w.	All outdoor storage and refuse collection areas shall be screened so that facilities and stored materials are not visible from streets, freeways and adjacent properties.	X	X	X	X
x.	Outdoor storage of all company-owned and operated motor vehicles, except for passenger vehicles, shall be screened from view from streets, freeways and adjacent properties.	X	X	X	X
y.	All water reservoirs shall be screened with dense evergreen trees and painted with an earth tone(s) to visually screen from public view as much as possible.				X
15.	Loading				
a.	Street side loading may be allowed subject to the approval of the Director of Planning. Street side loading areas shall be screened from view of adjacent streets.		X	X	

GENERAL PROVISIONS MATRIX
(Continued)

Provision

Applicable To

R C P O

16. Maps - General

Prior to the recordation of the Master Tentative Tract Map, the developer shall furnish the Planning Department with a reproducible mylar of the Land Use Plan, with an overlay of the Assessor's Parcels. Both maps shall be at a scale of 1"=200'.

17. Model Homes

Model homes and their garages and private recreation facilities may be used as offices for the first sale of homes within a recorded tract and subsequent similar tracts utilizing these same architectural designs subject to the regulations of the City of Fontana governing said uses and activities. The garages shall be reconverted to usable required garages capacity prior to sale of the model homes.

X

Model homes shall provide landscaped yards as examples for homeowners. (The City encourages the plant material to be labeled).

At least one home in each model complex be designed and landscaped in a xeriscape (i.e., water-efficient) manner.

18. Noise

The developer shall submit plans for noise attenuation, if noise attenuation is required, as part of development plans. Construction activities shall be limited to the times of 7:00 a.m. to 6:00 p.m. A detailed acoustical analysis should be conducted by the developer for those areas which might experience noise levels above acceptable City standards. The analysis should take place prior to the finalization of the tentative tract map and should determine the specific level of noise reduction required. Mitigation measures could include construction of an earthen berm or a non-porous wall, which will reduce noise levels significantly, and incorporation of noise reducing features into the project design.

X X X X

GENERAL PROVISIONS MATRIX
(Continued)

Provision

Applicable To

R C P O

19. Outside Use Areas

X X X

Outside use or display in conjunction with a permitted use is allowed under a conditional permit. Such areas are included in coverage and floor area limitations. Such areas shall be designed and maintained to blend with the overall development and, where necessary, be screened from adjacent residential uses and roadways. Outside use areas shall not be overflow storage facilities. Outside display shall be allowed only during business hours. Limited time "Parking Lot" sales may be permitted by special provision in the conditional permit setting forth frequency; duration; extent; means of accommodating vehicular and pedestrian traffic; and security provisions.



20. Patios

X

Open patio covers shall be permitted within the rear yard setback area for all single-family detached residential units. Open patio covers may encroach into the required rear yards to a depth from the rear property line as follows:

4,500 sq. ft. lots: Five (5) feet*

5,000 sq. ft. lots: Five (5) feet*

7,200 sq. ft. lots: Refer to City's Development Code

10,000 sq. ft. lots: Refer to City's Development Code

* Note: Patio covers can not exceed more than 50% of lot width. Patio covers shall be constructed with support posts only and shall not have any walls (solid, transparent, translucent, lattice or otherwise).

All open patio covers shall be architecturally compatible with residential units and shall be constructed of wood or other similar materials (i.e., open lattice). No plastic patio covers shall be permitted. Only metal patio covers with a clear and distinct wood appearance (this includes wood grain and a thickness to the metal to simulate a standard wooden lattice patio) shall be permitted; all other types of metal patio covers are not permitted.

The standards herein for open patio covers are not applicable to enclosed patio covers or additions (refer to City's Development Code).

Amended:

City Council Ord. Nos. 1170 (12/19/95)

1158 (06/20/95)

GENERAL PROVISIONS MATRIX
(Continued)

Provision

Applicable To

R C P O

X

21. Parks

The following facility standards are per NRPA (National Park and Recreation) Standards with a projected population at Hunter's Ridge of 6,520 at build-out. Population = 3.1 persons per dwelling at 2,121 dwellings.

a. Park Site (PUA 4) Shall include the following:

1. 36 ea. Parking lot spaces
2. 2 ea. Sand volleyball courts (trees to shade area)
3. 4 ea. Lighted tennis courts
4. 25 ea. Picnic tables grouped in 5 ea. per area (equal to Robbins Forecast, P.O. Box 2225, Irwindale, CA.) with trees heavily grouped for shading
5. 1 ea. 8' concrete fitness trail around perimeter of park
6. 10 ea. Security lighting as required by Police Department equal to Lumi Dyne - L-1520,250 HPS
7. 1 ea. Playground equipment equal to Miracle Playground Structure, Walt Rankin and Associates, P.O. Box 2156, La Mesa, CA 92041
8. 6 ea. Grills, pedestal mount, waist high, single site grill, stationary hot dip galvanized equal to Iron Mountain Forge Metal #200
9. 1 ea. Block restroom
10. 2 ea. Drinking fountains equal to Haws Model 3380
11. 4 ea. Trash receptacles equal to Robbins Precast
12. 4 ea. Benches equal to Iron Mountain Forge #338-6GR
13. 2 ea. Bike racks equal to Miracle #175 single sided bike racks
14. 1 ea. "Park Sign" concrete graffiti proofed covered.
15. 1 ea. Unattended telephone equipment building.

GENERAL PROVISIONS MATRIX
(Continued)

Provision

Applicable To

R C P O

- | | | |
|----|--|---|
| b. | Park Site (PUA 10) shall include the following: <ul style="list-style-type: none">1. 50 ea. Parking lot spaces2. 3 ea. Park drinking fountain equal to Haws Model 33803. 1 ea. Mound on the westerly side of the park (PUA 10)
 to separate the park from the multifamily
 site (PUA 3A).4. 1 ea. Lighted Little League/Softball field 300' depth,
 Musco Lighting Co.5. 2 ea. Ballfield aluminum bleachers, 5-row, 21', General
 Seating Co., P.O. BOX 5699. San
 Bernardino, CA 924126. 1 ea. 1,000 sf. recreation center/ restrooms7. 6 ea. Trash receptacles equal to Robbins Precast
 Concrete8. 3 ea. Bike rack equal to Miracle #715 single sided bike
 rack9. 6 ea. Grills. pedestal mount, waist high single site grill,
 stationary hot dip galvanized10. 1 ea. Block restroom - mens: 2 urinals, 1 water
 closet sink; womens: 2 water closets, 1 sink11. 4 ea. Benches equal to Iron Mountain Forge
 #338-6GR12. 12 ea. Security lighting per Police standards equal
 to Lumi Dyna - L-1520, 250 HPS | X |
| c. | Wilderness Parks
(See Part V - Open Space/Streetscape) | |
| d. | Easements
(See Part V - Open Space/Streetscape) | |
| e. | Existing Water Pond in Northern Area

Should be used to irrigate parks and streetscapes to provide water
saving costs to residents. Pumps required if necessary to irrigate
parks and greenbelts. | X |

GENERAL PROVISIONS MATRIX
(Continued)

Provision

Applicable To

R C P O

22. **Parking**

Parking Specifications

- | | | | | | | |
|----|---|---|---|---|---|--|
| a. | Average of one space per 250 square feet of gross building area. One space per 150 storage units. | X | | | | |
| b. | Parking lots and driveways may be located a minimum of 5' from the property line if buffered by approved landscaping and edge treatment per the Specific Plan Design Guidelines. | X | X | X | X | |
| c. | Handicapped parking spaces shall be provided in non-residential uses at a minimum of 1 space/40 required parking spaces. Spaces shall be grouped and located near major building entrances. Each space shall have a minimum width of twelve feet and a vertical clearance of not less than 96 inches. | X | X | X | | |
| d. | If at least a 10-foot sideyard is provided, for a conventional single-family residence, recreation vehicles may be stored if screened from adjacent residences (see Exhibit III-49). Otherwise, RV storage shall be prohibited. | X | | | | |
| e. | Recreational vehicles shall be permitted only in designated RV storage only in designated RV storage areas for single-family, zero lot line, or multi-family dwellings. | X | | | | |
| f. | Establishment and maintenance of transportation system management programs to the satisfaction of the Planning Commission as an integral part of a Development Plan may justify consideration of off-street parking reductions. | X | | | | |
| g. | On-site or off-site shared parking facilities may be approved by the Planning Commission as part of a development plan so long as avoidance of conflicts in hours of operation can be documented. | X | X | X | | |

GENERAL PROVISIONS MATRIX
(Continued)

<u>Provision</u>	<u>Applicable To</u>
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h. Compact parking stalls (16' x 8') may account for a maximum of 30% of required stalls.	X X X X
i. Except as provided in this plan, all on-site and off-site parking for all uses shall be as required by City of Fontana Zoning Ordinance, Article 22, Off-Street Parking Regulations.	X X X X
23. Phasing Plan Revisions	
All public improvements shall be phased and constructed according to the phasing program in this Specific Plan, except that modifications may be approved by the Planning Director and the City Engineer.	X X X X
" NOTE: Also see 26.b. Phasing Plan, II-59.	
24. Planned Development	
Except as provided in this plan, planned residential development, planned unit development (commercial) condominium projects or any form of cluster development shall comply with the provisions of Article XXIV (conditional use permits) of the City Zoning Code.	X X
25. Planning Unit Area Adjustment	
A planning unit area may be adjusted up or down in size a maximum of 10 percent. However, in residential areas, such adjustments shall not operate to increase the numbers of dwelling units permitted in the plan. The procedure for adjustments includes the following steps. All information indicated shall be submitted along with a proposed master tentative or tentative tract map.	X X X X
a. Prepare and submit the following:	
1) A map at the same scale as the tract map which indicates the adopted all adjacent planning unit areas affected by such adjustment.	X X X X
2) A map at the same scale as the tract map showing the boundaries of all affected planning unit areas as they would appear if adjusted.	X X X X

GENERAL PROVISIONS MATRIX
(Continued)

<u>Provision</u>	<u>Applicable To</u>
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3) A 1"=400 scale map of the specific plan reflecting the boundary adjustments as proposed, with all planning unit area data on the map adjusted accordingly, including the notation under the title block: Adjustment Planning Unit Area(s) ____, Revision No. ____, dated ____.	X X X X
4) An 11" x 17" reproducible reduction of the 1"=400' map.	X X X X
b. Calculate the adjustments according to the following rules:	
1) Dwelling unit counts may be increased a maximum of 10 percent if a planning unit area is to be enlarged, but the adjacent affected planning unit areas and/or a planning unit area with the same zoning district designation (ex. R-1 7200) must be reduced, in aggregate, an equal number of units.	X
2) If the number of dwelling units is reduced by the proposed adjustment to a planning unit area, compensating increases may be placed either in adjacent planning unit areas of the same zoning and/or a planning unit area elsewhere with the same zoning district designation.	X
3) Any units thus added to another planning unit area shall be of the same type and conform to the same regulations as that planning unit area.	X

GENERAL PROVISIONS MATRIX
(Continued)

Provision

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26. Project Amenity Package

It is a requirement of this project that an upgraded "project amenity package" be provided. The amenity package is a composite of physical site elements. These elements individually, as well as in combination, are intended to convey the character of the project. These elements include... (see Part II: General Provisions and Part V: Design Elements for details).

- | | | |
|------|--|---------|
| a. | Landscape Master Plan - A master plan for the project open space, parks and streetscape is included to illustrate the desired community landscape framework for all common and public areas (see Landscape Development Plan, page V-29). | X X X X |
|
 | | |
| 1) | Project-Wide Amenities: These include landscape plans for the community roads, entries, intersections, border buffer treatments, commercial frontage, open space, parks and equestrian areas. | |
|
 | | |
| 2) | Front Yard Amenity Package: In addition to the project-wide amenities the developer will install for the front yard of each single family dwelling (see Exhibit V-47): | |
|
 | | |
| a) | Trees -- 2 15-gallon trees (minimum one yard tree). | |
| b) | Shrubs -- 1 per 25 sf of shrub area: Shrub Area -- 5' minimum depth; required as foundation planting in front of building and entry; Shrub Area -- determined as 25% minimum of front yard after excluding driveway (driveway = 40% maximum of front yard area). | |
| c) | Groundcover -- lawn or approved groundcover required. NOTE: turf shall be separated from fence or front of building by a 5' minimum width full landscaped planter. | |

GENERAL PROVISIONS MATRIX
(Continued)

Provision

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- d) Irrigation -- Automatic landscape irrigation systems shall be installed by the developer prior to occupancy in all front yard areas. Two systems shall be provided: one valve for lawn and one for shrubs. In addition, irrigation supply lines shall be stubbed out to rear and side yards for homeowner connection.
- e) Sidewalks -- 4' minimum in public ROW broom brush finish (see City Detail 1-10b;GSA); In front yard, entry walk required from drive; One side yard access and gate required -- walkway or stepping stones by developer required.
- f) Mailbox -- 1 per home (see III-41 for details on grouping).
- g) Model Homes --See 17. Model Homes this section.

GENERAL PROVISIONS MATRIX
(Continued)

Provision

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- | | | |
|----|---|---------|
| 3) | Parks: Large 20 scale plans are provided for both parks and the wilderness parks. Plans are provided for the 3 major community recreation areas listed below: <ul style="list-style-type: none"> a) Park Site Adjacent Major Intersection and School (Exhibit V-36; page V-77) b) Park Site north of the lower S.C.E. Easement (Exhibit V-37; page V-78) c) Wilderness Parks (Exhibit V-38; page V-79) | X |
| | | |
| b. | Wall/Fencing Plan - A project master plan locating and illustrating the six types of walls and fencing including: community theme wall (entries and street side), view fence, open metal fence, perimeter walls, and split rail fence. NOTE: These walls are intended to convey a rural character. (See Exhibits III-6 and 7, pages III-33, 36.)

"In addition, the developer shall prepare a detailed Landscape, Walls and Irrigation Plan for the on-site collector street; the developer shall be responsible for the construction of all key entries and intersections in accordance with the phasing plan. The merchant builder(s) will install incrementally all other said improvements mandated by the Plan. The Plan shall be in accordance with Specific Plan development regulations and shall be approved by the Planning Director and General Service Agency prior to the issuance of grading permits for Phase I. | X X X X |

GENERAL PROVISIONS MATRIX

(Continued)

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"The developer shall prepare a Phasing Plan showing the phasing of all landscaping and walls within the public right-of-way of all major roads (excluding local roads) within the project. This plan shall also show the phasing of all park and trail areas."

- c. Master Sign Program - A master sign program will be developed to delineate for each type of sign (described in the Design Guidelines) the location, size, materials, color, copy and type style. This program must be approved by the Planning Commission before the Issuance of Building Permits. X X X X

27. Process and Procedures

In any case where the processes or procedures for reserving an interpretation or implementation question are not spelled out or are not agreed to, the order of seeking direction is:

X X X X

Planning Director; Planning Commission; then City Council. Any process or procedure determination may be appealed in the same order.

28. Project Monitoring

"At the time of recordation of the master tract map, the following stipulation will be added as part of the Conditions, Covenants and Restrictions (CC&Rs) for the project: 'First City Properties, Inc., or its successor, as the master developer, will be responsible for monitoring and assuring that all merchant builders abide by and fully conform to all Development Standards and Conditions outlined in the Specific Plan and EIR.'"

X X X X

29. Projections into Properties

- a. Roof projections may extend into a required side yard a maximum of 50 percent of the yard's width, not to exceed 2 feet, and may extend into a required front or rear yard a maximum of 4 feet.

X

GENERAL PROVISIONS MATRIX
(Continued)

<u>Provision</u>	<u>Applicable To</u>			
	<u>R</u>	<u>C</u>	<u>P</u>	<u>O</u>
b. Greenhouse and bay windows, planting boxes, air conditioning condensing unit and fireplace structures may project a maximum of 2 feet into a required side yard.			X	
c. Staircases, balconies, and other similar structural features may not project more than 50 percent into any required front, rear, or side yard setback, but in no case shall exceed 4 feet.			X	
d. Open trellis and beam construction may be permitted to attach the garage or carport to the dwelling.			X	
30. Public Financing				
Special taxes on any parcel shall not overburden the ultimate property owner. The maximum tax for any parcel shall be limited to approximately 2% of the assessed value of the parcel, excluding reimbursable costs of improvements or services. All aspects of the complete municipal financing program associated with this development shall be reviewed by the Public Facilities Finance Committee (PFF). The PFFC shall make recommendations to the City Council relative to the ultimate maximum tax which is to be authorized.	X	X		
31. Reduced Building Pad Allowance				
The following provision is a means of assuring future merchant builders that the following planning unit areas (PUAs 11, 12, 13 and 14) in hillside areas will achieve the maximum yield stated in the statistical yield table (Table II-1, page II-6), subject to the following provisions:			X	
a. The net lot area for a PUA must always maintain the minimum net lot area for that district. (Example: R1-7,200 must always maintain a 7,200 sf minimum net lot area).				

GENERAL PROVISIONS MATRIX
(Continued)

<u>Provision</u>	<u>Applicable To</u>			
	<u>R C P O</u>			
b. This allowance is only applicable in hillside areas where existing natural undisturbed grade is 5 - 20% slope. NOTE: This applies only to the previously referenced PUAs which are R-1 5000 and R-1 7200). This allowance minimizes grading and assures usable flat lot area while assisting the developer to achieve dwelling unit yield in difficult hillside conditions. This allowance will most often be requested for lots with slope banks in the back yard. NOTE: In no case may the minimum rear building setback area be reduced because this is needed for safety and to assure minimum private yard area for the resident.				X
c. The building pad may be reduced a maximum of 15% less than the minimum net lot area. (See Exhibit, page II-24 for illustration of how net lot relates to building pad.)				X
Example = Net Building Pad Lot Range (15%)				
5,000 4,250 - 5,000 sf				
7,200 6,100 - 7,200 sf				
d. This provision may be applied to a maximum of 10% of the lots in a PUA.				X
32. Schools				
Suitable agreements between the two school districts and the developer will be reached prior to the recording of any tract map or parcel map within the Hunter's Ridge Specific Plan Area and the developer shall prepare a Schools Financing Plan which shall provide for the construction of all school facilities required by the project. The Schools Financing Plan shall be approved by the City Council and School District. The Schools Financing Plan shall include, but not be limited to one or more of the following funding mechanisms: payment of school impact fees, State funding, and/or establishment of Mello-Roos Community Facilities District for Schools.	X	X		
The developer shall provide timely development statistics so the City and school district can assure adequate elementary, junior high school and high school classrooms.				
" Safe Route to School - See Exhibit, page V-84.				

GENERAL PROVISIONS MATRIX
(Continued)

Provision

Applicable To

R C P O

33. Setbacks

a. Building Setbacks from Arterial Highways

The minimum setbacks specified shall apply to structures abutting streets and shall be measured from the ultimate right-of-way line, excluding lettered lots: the creation of lettered lots will not effect the measurement of the setback from the street right-of-way:

X X X X

Street

Minimum Setback

Duncan Canyon Road	40 feet
Summit Avenue	35 feet
Cherry Avenue	15 feet*
Bridlepath Drive	15 feet*

NOTE: *10 feet for commercial uses.

b. Setbacks for Garages and Carports

(See garages, p. II-28)

Front-on entrances to garages and carports shall be set back either 20 or more feet from the back of sidewalk line, and 5 feet or more from private access drives in multifamily areas. This setback may also be used in conjunction with mandatory automatic roll-up garage door openers. Where garages and carports are entered directly from an alley, the setback may be zero if automatic garage doors installed by the developer.

X

Side-on garages and carports shall be set back a minimum of 5 feet, for zero lot line, or as otherwise specified in the District regulations, providing adequate parking space for 2 vehicles (in single family districts) is provided without blocking sidewalks. Under no circumstances will garages or carports be modified so as to preclude their use for automobile storage.

X

GENERAL PROVISIONS MATRIX
(Continued)

<u>Provision</u>	<u>Applicable To</u> <u>R C P O</u>
c. <u>Setbacks for Plan Area Exterior Boundaries</u>	
Exterior boundary setback between different residential and non-residential uses shall be a minimum of 20 feet.	X X X
d. <u>Setbacks for Visual Barriers (Fences, Hedges and Walls)</u>	
Visual barriers shall be limited to a maximum height of 6 feet. Height of visual barriers within residential front setback areas shall not exceed 42 inches. Visual barriers greater than 42 inches in height shall be set back a minimum of 15 feet from the front property line. This shall not preclude the planting of trees in parkway, median or front yard areas.	X X X X
e. <u>Setbacks for Buildings</u>	
See Site Development Standards for each District.	X X
f. <u>Setback from Bullock Creek</u>	
A 35-foot building and grading setback from centerline Bullock Creek shall be maintained.	X X
34. Sewers	
The developer should obtain verification from the City of Fontana that adequate treatment capacity is available. The developer must install on-site and required off-site sewer lines for City ownership and maintenance. (See page V-101 for detail.)	X X X
35. Sidewalk and Pedestrian Access	
If other than normal City requirements for sidewalks and pedestrian access are desired, the Planning Commission shall review and may approve any such proposed deviation at the time of Development Plan review.	X X X X

GENERAL PROVISIONS MATRIX
(Continued)

Provision

Applicable To

R C P O

36. Signs

a.	The design of identification and directional signs including the location, materials, colors, copy and the method of signing, size, and construction shall be approved by the City in accordance with the existing sign ordinance except as noted herein. A Master I.D. Sign Program shall be required and approved prior to the Issuance of Building Permit.	X	X		
b.	Identification signs shall advertise only a use on the same parcel. Moving or flashing signs are prohibited. Internally lit signs are preferred.	X	X		
c.	Each street entryway to a planning unit area shall be limited to one ground sign on each side.	X	X	X	
d.	Ground signs shall be a setback minimum of 5 feet from any property line.	X	X	X	
e.	Freestanding monument signs shall not exceed a height of 6 feet as measured from the closest curb height.	X	X	X	
f.	A directional sign may not exceed 4 square feet in area and 3 feet in height. The sign shall contain directional information only.	X	X	X	X
g.	Billboard signs are prohibited.	X	X	X	X
h.	The City shall have the right to remove any non-conforming signs.	X	X	X	X

GENERAL PROVISIONS MATRIX
(Continued)

Provision

Applicable To

R C P O

37. Streets and Arterial Highways

- | | | |
|----|---|---------|
| a. | The developer shall provide rights-of-way and construct internal streets, collectors, major arterials (Cherry Avenue) and adjacent arterial highways (Summit Avenue, Duncan Canyon Road) all in accordance with the Hunter's Ridge Specific Plan and to the satisfaction of the Community Development Director or designee. In the event full median improvement is deemed impractical by the City Engineer, bonding or fund impounding provisions shall be made by the developer and deemed acceptable. (See Development Obligations Inventory, separate cover.) | X X X X |
| b. | Whenever a street, whether public or private, is required by a subdivision, the entire street section shall be completed prior to City Council acceptance of the subdivision's improvements and release of bonds. Should a portion of any required street be located on adjoining property, then the cost of improvement of that portion of the street shall be reimbursed upon development of the adjoining property. | X X X X |
| c. | The developer shall provide and dedicate to the City an unrestricted 20-foot right-of-way to provide access (through PUA 18 and V.) connecting to Forest Road IN36. This will provide access for the Forest Service, SCE and emergency vehicles through the property to the National Forest. A gate will be placed at the westerly end of the access way, which will have shielded (enclosed) locks, of which one will be a Forest Service gate lock. This right-of-way shall be made a lettered lot and shall be labeled, "Fire Access Way" on the tentative tract map. The U.S. Forest Service shall enter into an agreement with the City of Fontana that the U.S. Forest Service shall maintain this fire access way. | X X |

Amended:

City Council Ord. Nos. 1218 (05/20/97)

1170 (12/19/95)

1123 (08/02/94)

GENERAL PROVISIONS MATRIX
(Continued)

Provision

Applicable To

R C P O

38. Street Standards

- | | | |
|----|--|---------|
| a. | All streets, whether public or private, within projects consisting of single-family detached dwelling units shall have a minimum pavement width of 36 feet as measured curb-to-curb. | X X X X |
| b. | Access drives in multi-family areas are permitted per City standards for 2-way traffic and turn-arounds of 25' wide, and not less than 15' wide for one-way access drives. | X |
| c. | All traffic facilities shall be designed for a minimum Level of Service (LOS) C. | X X |

39. Swimming Pools

See City Zoning Code.

40. Storage Sheds/Playhouses

See City Zoning Code.

41. Temporary Uses

Temporary uses may be permitted upon review and approval according to the appropriate process as determined by the Planning Director. Uses include:

- | | | |
|----|---|-------|
| a. | Model homes, temporary real estate offices and subdivision signs, temporary on-site construction offices, continued use of an existing building during construction of a new building or site preparation. | X X X |
| b. | Real estate signs, future development signs, subdivision directory signs in conformance with the Master Sign Program (sign regulations not addressed in the Sign Program are subject to the City of Fontana Sign Code), and other uses established for a limited time which, by determination of appropriate authority would not conflict with the Specific Plan may be permitted upon review and approval according to the appropriate process as determined by the Planning Director. | X X |

Amended:

City Council Ord. Nos. 1218 (05/20/97)

1170 (12/19/95)

1123 (08/02/94)

GENERAL PROVISIONS MATRIX
(Continued)

<u>Provision</u>	<u>Applicable To</u>
	<u>R C P O</u>
42. Trails	
a. Bicycle trails shall be 4 feet minimum width and placed on both sides of Cherry Avenue and Bridlepath Drive. A solid strip and signs shall be per Caltrans standards.	X X X X
b. Equestrian trail --see Trail Exhibit III-5. Streetscape. Also see General Provision 14.c for non-toxic plants.	X X X X
c. Safe Route to School -- see Exhibit, page V-84.	
43. Use Substitution	
In any case where approval is sought for a permitted or conditionally permitted residential use other than the primary use in the applicable zoning district, the proposed use shall be governed by the development regulations applicable to the zoning district of the proposed use. Only zoning districts contained in the plan are to be used for this substitution.	X
For example, if a R3-2500 zoned planning unit area (multiple-family) is proposed for R1-5000 single-family development, regulations for the R1-5000 district shall apply. If the project proposes a lot area per unit and lot size of 5,300 square feet, the R1-5,000 regulations would still apply. Note: Planned Residential Developments shall conform to the regulations stated in Exhibit II-5 herein.	X
44. Utility Lines	
All telephone, cable and electric lines of 12 KV or less will be placed underground. Transformer or terminal equipment shall be screened from view of adjacent streets and properties. NOTE: A cable television hook-up shall be provided for each dwelling unit.	X X X X

Amended:
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1123 (08/02/94)

GENERAL PROVISIONS MATRIX
(Continued)

Provision

Applicable To

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45. Water Supply

Service and facilities within the planned community shall be furnished by the City of Fontana or other water districts and shall be consistent with the concept plan for such infrastructure in said plan. The developer must obtain verification that adequate water service/facilities are available. Water tanks shall be painted an earth tone and screened by dense evergreen trees from view of adjacent streets or properties as much as possible.

X X X X

46. Window Openings

Window openings shall not exceed a height of 30 feet above the grade at that location.

X X X X

47. Zero Side Yard Projects

A zero side yard single family residence must have no openings in either the dwelling unit or garage on the zero yard side of the building.

X

Amended:

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1170 (12/19/95)

1123 (08/02/94)

E. DESIGN GUIDELINES

DESIGN GUIDELINES CHECKLIST ALL NOTATIONS ARE SUBSECTIONS WITHIN CHAPTER III

<u>APPLICABLE LAND USE CATEGORY</u>				
SUBJECT	SINGLE FAMILY	MULTIPLE FAMILY	COMMERCIAL	PUBLIC
ARTERIALS (see STREETS)				
<u>ARCHITECTURE</u>				
Ancillary	H.15i	H.15i	H.15i	H.15i
Colors	E.8b	E.8b	E.8b	
Doors	E.6	E.6	E.6	
Elevations	E.5a,c	E.5b,c	E.5d	
Garages/Carports	E.8	E.8		
Mass	E.2	E.2	E.2	E.2
Materials	E.7	E.7	E.7	
Orientation	E.1	E.1	E.1	E.1
Roof form and material	E.5	E.5	E.5	
Setbacks	E.3	E.3	E.3	E.3
Style	E.4	E.4	E.4	
Windows	E.6	E.6	E.6	
DRAINAGE	D.2	D.2	D.2	D.2
<u>ENTRIES</u>				
Community	B.1a	B.1a	B.1a	B.1a
Neighborhood	B.1b	B.1b		
Exterior Equipment (III-27)	F.1	F.1		
GRADING	D.1	D.1	D.1	D.1
INTERSECTIONS, MAJOR	B.1c	B.1c	B.1c	B.1c
<u>LAND USES</u>				
Commercial			A.3	
Residential	A.1	A.1		
LANDSCAPING				
<u>LIGHTING</u>				
Exterior, Building		K.1	K.1	K.1
General Illumination	K.5	K.5	K.5	K.5
Parking Areas		K.3	K.3	K.3
Streets	K.2	K.2	K.2	K.2
Walkways, Trails, Paths	K.4	K.4	K.4	K.4

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DESIGN GUIDELINES CHECKLIST
ALL NOTATIONS ARE SUBSECTIONS WITHIN CHAPTER III
(CONT'D)

<u>APPLICABLE LAND USE CATEGORY</u>				
SUBJECT	SINGLE FAMILY	MULTIPLE FAMILY	COMMERCIAL	PUBLIC
OPEN SPACE/STREETSCAPES				
PARKING AND PARKING LOTS		I.1	I.1	I.1
PATHS AND TRAILS				
Bicycle	B.3b	B.3b	B.3b	B.3b
Equestrian	B.3c			
Pedestrian	B.3a	B.3a		
PAVING				
Areas	H.17a	H.17a	H.17a	H.17a
General	H.17b	H.17b	H.17b	H.17b
Special	H.17c	H.17c	H.17c	H.17c
REFUSE (1b,d,e,f, pg III-40)				
SERVICE AREAS		H.16	H.16	
SIGNS				
Commercial			J.3	
Directional			J.3c	
General	J.1	J.1	J.1	J.1
Off-Site	J.2b	J.2b	J.3b	
On-Site	J.2a	J.2a	J.3a	
Programs			J.4	
Prohibited	J.5	J.5	J.5	J.5
Residential	J.2	J.2		
STORAGE AREAS	H.16	H.16	H.16	H.16
STREET FURNISHINGS				
Benches		H.15g	H.15g	H.15g
Bollards		H.15d	H.15d	H.15d
Bus Shelters		H.15f	H.15f	H.15f
General	H.15a	H.15a	H.15a	H.15a
Mail Boxes	H.15.b	H.15.b		
Newspaper Stands			H.15e	
Pools	H.15h	H.15h		H.15h
Trash Receptacles	H.15c	H.15c	H.15c	

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DESIGN GUIDELINES CHECKLIST
ALL NOTATIONS ARE SUBSECTIONS WITHIN CHAPTER III
(CONT'D)

<u>APPLICABLE LAND USE CATEGORY</u>				
SUBJECT	SINGLE FAMILY	MULTIPLE FAMILY	COMMERCIAL	PUBLIC
STREETS				
Access Drives	B.2h	B.2h	B.2h	B.2f
Community Collector	B.2c	B.2c		B.2c
Cul-De-Sac	B.2e	B.2e		
Major Divided Highway	B.2a	B.2a		B.2a
Secondary Highway	B.2b	B.2b		
Internal Collector	B.2d	B.2d		
Rural Road	B.2f			
Private				
UTILITIES	F.1	F.1	F.1	F.1
VIEW PROTECTION	G.1	G.1	G.1	G.1
WALLS/FENCES				
Colors	H.4	H.4	H.4	H.4
Easement	H.10	H.10		H.10
Exceptions		H.14		H.14
Front Yard	H.8	H.8	H.8	
General	H.2	H.2	H.2	H.2
Materials	H.3	H.3	H.3	H.3
Parking Lot Walls			H.11	
Perimeter	H.5	H.5		
Privacy Fences	H.7	H.7		
Recreation Area Fences	H.9	H.9		
Rear and Side Yard	H.7	H.7		
Retaining	H.13	H.13	H.13	H.13
Theme Walls	H.4,1b	H.4,1b	H.4,1b	H.4,1b
Types/Location	H.1	H.1	H.1	H.1
View Fences	H.6	H.6	H.6	H.6
Wood Fences	H.12			H.12

Amended:

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F. DEVELOPMENT OBLIGATIONS INVENTORY

Note: Obligations that are assigned by this Obligation Inventory (under separate cover) may be reassigned without need for a specific plan amendment, upon approval of the City department(s) affected.

3.0 Design Guidelines: Quality Assurance

III. DESIGN GUIDELINES

A. LAND USE RELATIONSHIPS

The location of land uses within the project area is based on a neighborhood concept. This concept establishes neighborhoods that focus on a series of neighborhood parks along a community-oriented loop road. The following guidelines will apply:

1. Residential Relationships

- a) A mixture of residential land uses, housing types and prices will be provided.
- b) Residential land uses will be buffered from the following areas and land uses:
 - 1) High volume traffic corridors (Cherry Avenue, Duncan Canyon Road, Devore Freeway).
 - 2) Schools
 - 3) High density residential adjacent to low density residential.
 - 4) Commercial areas.
- c) Designs that consider periodic high wind impact are encouraged.
- d) Residential lots will be designed to provide for rear yard privacy and security.
- e) Residential cul-de-sacs will be designed to front on neighborhood or community open space and trail systems whenever possible.
- f) Adequate emergency service access to neighborhoods will be provided.
- g) Energy efficient design and solar access considerations are encouraged.

2. Community Facilities and Uses

- a) Schools and parks will be located in close proximity to residential neighborhoods, and shall be designed to have convenient drop-off zones.
- b) Pedestrian and bicycle access will be conveniently provided to connect neighborhoods to schools, parks and commercial uses while crossing as few streets as possible.

- c) Schools will be located adjacent to parks.

3. Commercial Areas

- a) Visual screening and sound barriers will be provided between commercial and residential uses.
- b) Parking areas will be located behind buildings or screened from view where possible.
- c) Easy visual access from public roads to commercial uses to facilitate exposure and security is encouraged.
- d) Parking lots will be landscaped to soften and reduce the amount of paved surface.
- e) Lighting will be oriented to on-site uses to protect adjacent uses from unnecessary glare.
- f) Shops should be oriented to the walking customers as well as the car shopper.
- g) Individual developments should use architectural styles that reflect the history and culture of the area where possible.
- h) Bus stops and shelters and turn out lanes should be conveniently located and incorporated into commercial areas where possible.

B. COMMUNITY CIRCULATION: ENTRIES, STREETS, PATHS, TRAILS AND PAVING

In order to achieve a cohesive overall circulation system for Hunter's Ridge and provide strong community structure and neighborhood identity, a consistent level of design quality for public rights-of-way will be maintained. To accomplish this dual purpose, and to assure the quality of the circulation and parking environments, these guidelines should be consistently applied to enhance major entries and intersections, and define the clear hierarchy of street importance.

This section explains the concepts of community and neighborhood entries, circulation systems for vehicular and nonvehicular modes of transportation, and how those systems will be reinforced through the circulation design, use of paving materials, street right-of-way setbacks, and walls. Detailed treatment of areas within the landscaping, street furnishings, signing and lighting are discussed later in the guidelines.

The community vehicular structure focuses on the design of community entries, major and secondary highway, collector streets, local residential streets and cul-de-sacs, as well as the design of access drives, parking and mass transit(See Circulation Plan.)

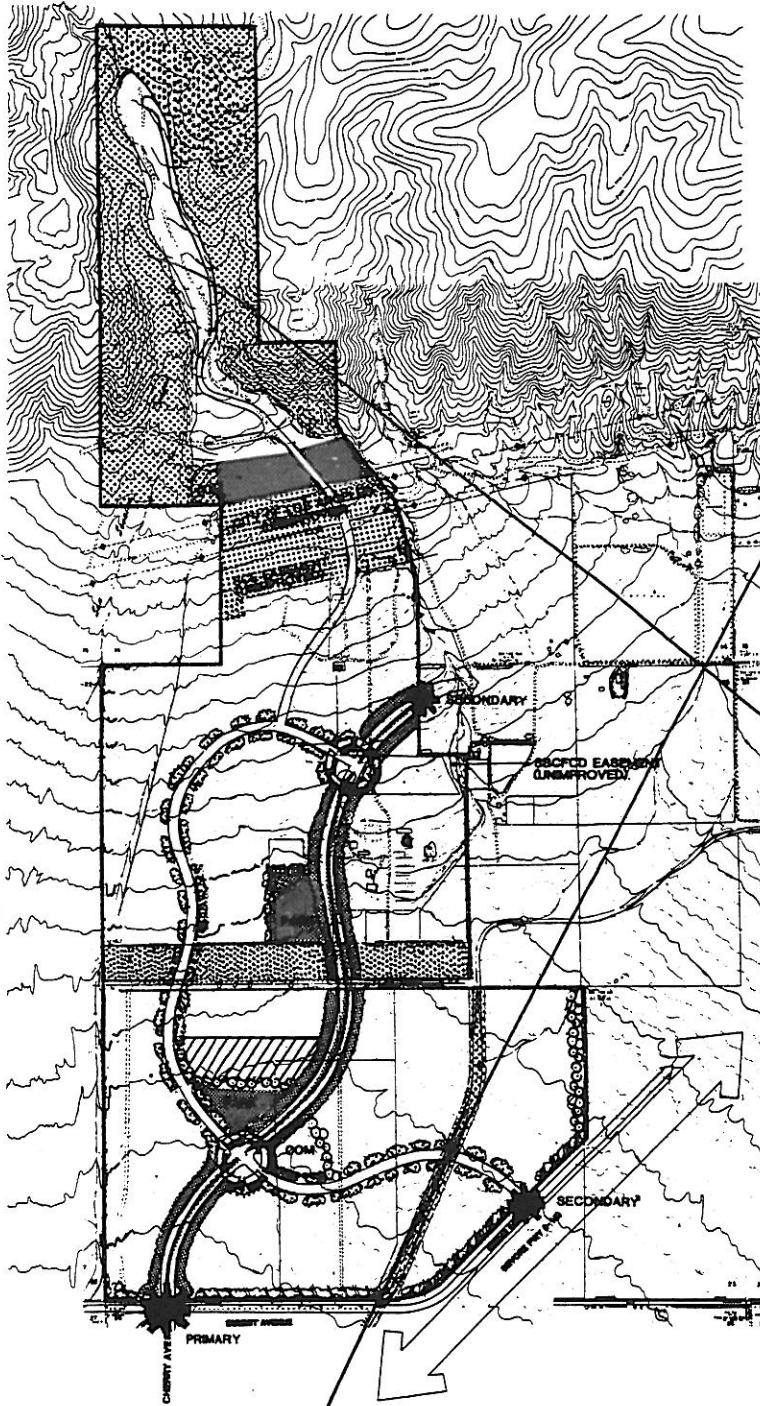
1. Entries

a) Community Entries: Primary and Secondary

There are three (3) community entry points into Hunter's Ridge which will be installed by the developer as designated on the Open Space/Streetscape Plan (see next page). One primary entry and two secondary entries. The design of a community entry should symbolically form a gateway and transition. It should be clearly indicated at these points that the roadway is entering a new community with special treatments emphasizing and contrasting it with the off-site environment. These entries will frame the roadway at these points with architectural elements, a mass of trees, and lighting and signage forming "gate posts" on either side of the road. The following criteria are intended to guide the design of community entries:

- 1) **Theme Fences or Walls:** Each of the corners at entry intersections will have theme walls. These fences or walls will be setback from the edge of the road right-of-way at least ten (10) feet and situated so that clear sight angles are observed. Theme walls indicated on the open space/streetscape plan will be consistent in material, color and texture to walls used throughout the community. Entry theme walls shall not exceed six feet in height and should respond to the predominant Hunter's Ridge architectural theme.

Open Space/ Streetscape Plan LEGEND



- OPEN SPACE (UNIMPROVED)
- PARK SITE
- COMMUNITY ENTRY STATEMENTS
- SPECIAL INTERSECTION TREATMENT
- RESIDENTIAL EDGE BUFFER LANDSCAPE TREATMENT
- COMMERCIAL FRONTAGE LANDSCAPE TREATMENT
- DIVIDED HIGHWAY LANDSCAPE TREATMENT (110')
- COMMUNITY COLLECTOR ROAD (64')
- HIGHWAY BUFFER LANDSCAPE TREATMENT (30')
- SUMMIT AVENUE BUFFER (20')
- SCHOOL SITE

Hunter's Ridge

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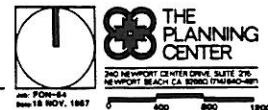
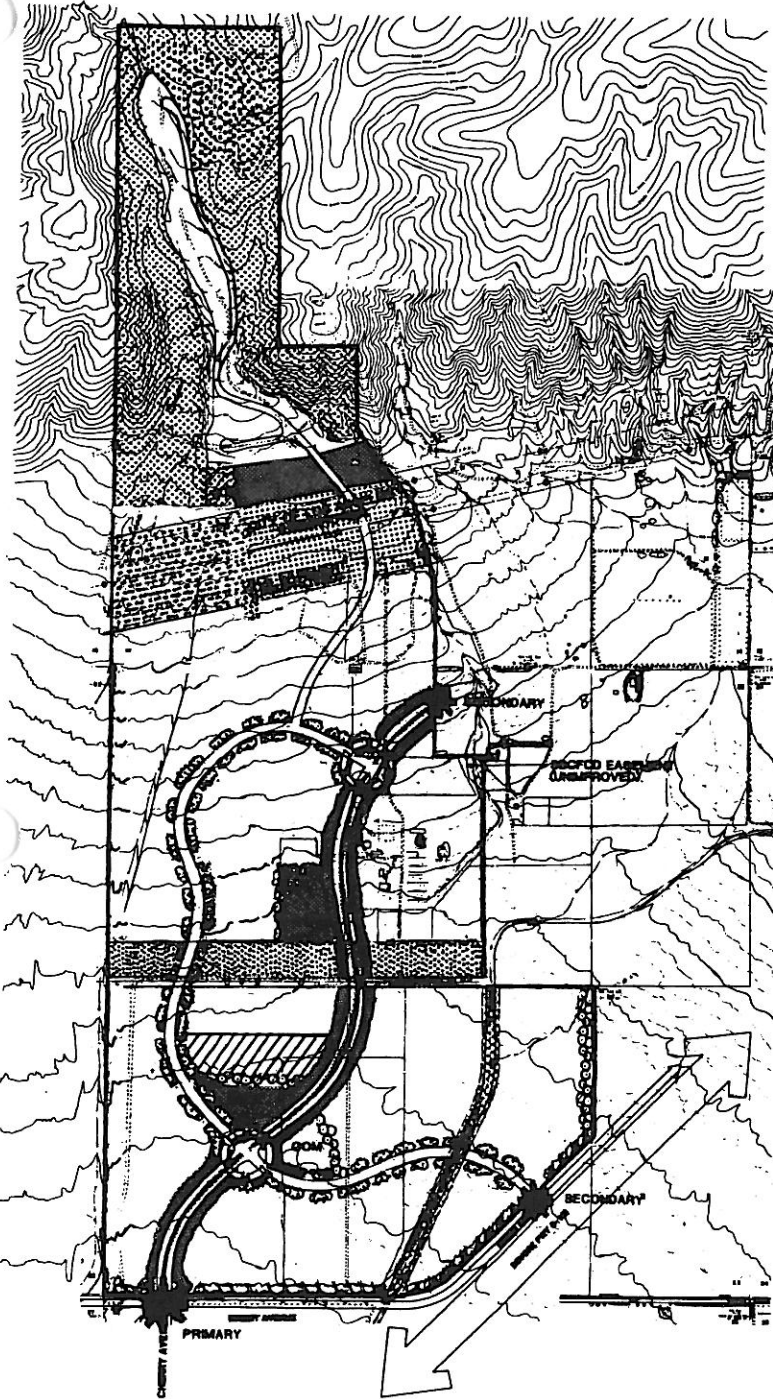













EXHIBIT III-1

AMENDED 12/19/95
CITY COUNCIL ORD. NO. 1170
AMENDED 8/2/94
CITY COUNCIL ORD. NO. 1123

III-4

Open Space/ Streetscape Plan LEGEND



-  OPEN SPACE (UNIMPROVED)
-  PARK SITE
-  COMMUNITY ENTRY STATEMENTS
-  SPECIAL INTERSECTION TREATMENT
-  RESIDENTIAL EDGE BUFFER LANDSCAPE TREATMENT
-  COMMERCIAL FRONTAGE LANDSCAPE TREATMENT
-  DIVIDED HIGHWAY LANDSCAPE TREATMENT (110')
-  COMMUNITY COLLECTOR ROAD (64')
-  HIGHWAY BUFFER LANDSCAPE TREATMENT (30')
-  SUMMIT AVENUE BUFFER (20')
-  SCHOOL SITE

Hunter's Ridge

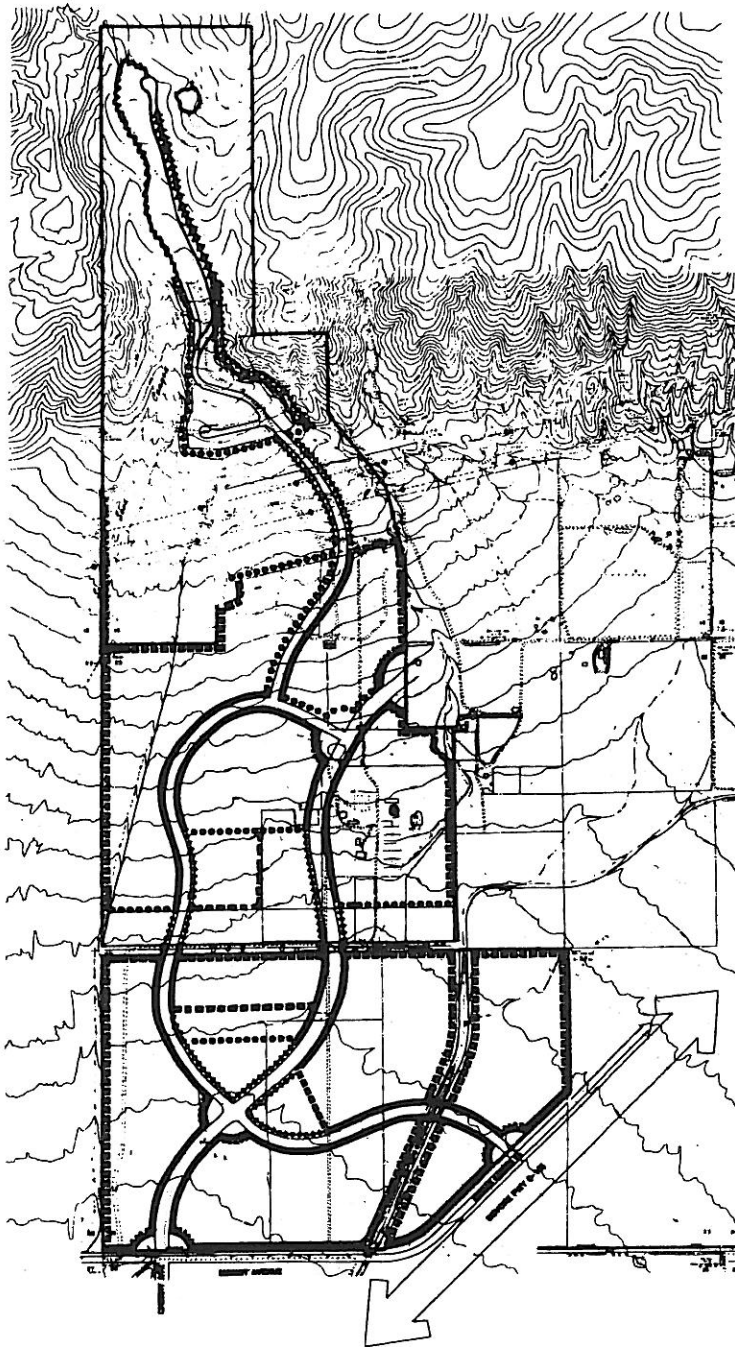
A SPECIFIC PLAN PREPARED FOR THE CITY OF FONTANA



EXHIBIT III-1

ended 5/4/99
City Council Ord. No. 1286
AMENDED 12/19/95
CITY COUNCIL ORD. NO. 1170
AMENDED 8/2/94
CITY COUNCIL ORD. NO. 1123

III-4



Wall/Fencing Plan

LEGEND

- COMMUNITY THEME WALL/ENTRIES AND INTERSECTIONS
- COMMUNITY THEME WALL (6')
- VIEW FENCE (6')
- OPEN METAL FENCE
- PERIMETER WALL (6')
- SPLIT RAIL FENCE (3')

Hunter's Ridge

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EXHIBIT III-2

Amended 5/4/99

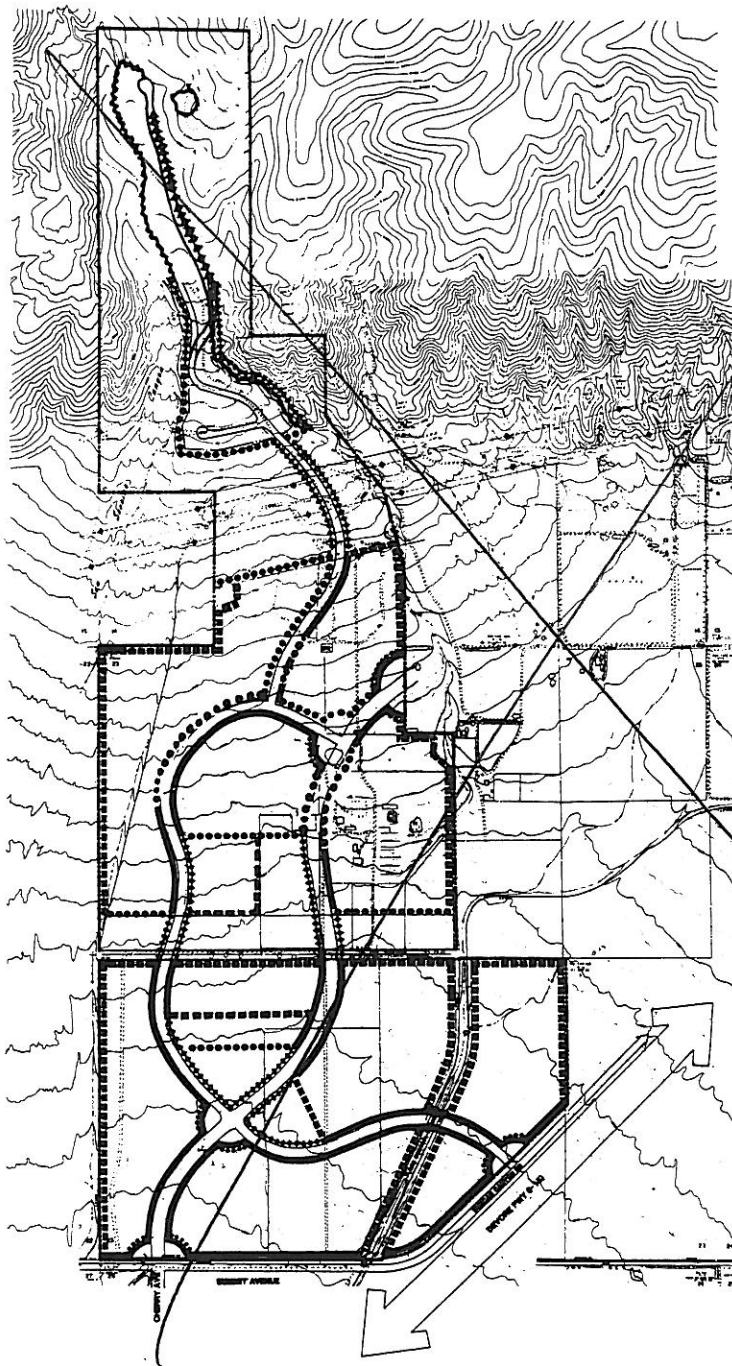
City Council Ord. No. 1286

AMENDED 12/19/95

CITY COUNCIL ORD. NO. 1170

AMENDED 8/2/94

CITY COUNCIL ORD. NO. 1123



Wall/Fencing Plan

LEGEND

- COMMUNITY THEME WALL/ENTRIES AND INTERSECTIONS
- COMMUNITY THEME WALL (6')
- VIEW FENCE (6')
- OPEN METAL FENCE
- PERIMETER WALL (6')
- SPLIT RAIL FENCE (3')

Hunter's Ridge

A SPECIFIC PLAN PREPARED FOR THE CITY OF FONTANA



EXHIBIT III-2

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- 2) Area: (See Wall/Fencing Plan, preceding page III-5).
- 3) Paving: Community entry areas will be paved with different paving materials than the roadway to accent and emphasize their importance. Crosswalks may be distinguished with a special smooth contrast pavement. Patterned, relatively smooth pavement such as colored, lightly stamped concrete, interlocking pavers or native brick may be used to emphasize entries.
- 4) Special Treatments: Entry areas must include special treatments such as the placement of sculpture (i.e., art in public places) the display of historical resources found on-site, groves of trees. All three community entries will be similar (but need not be identical) in design. (See Exhibits on pages V-31 through V-36) or other significant major plantings

b) Neighborhood Entries

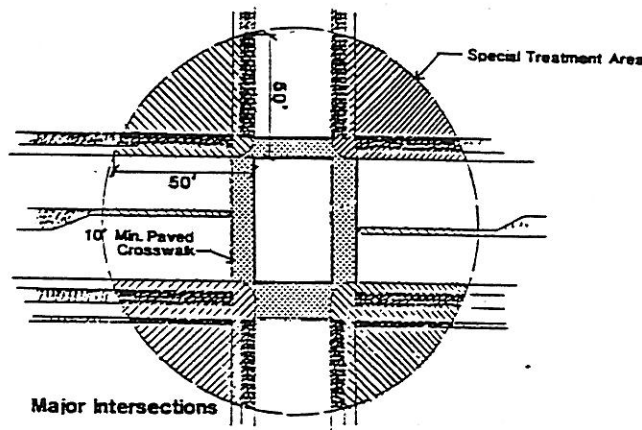
Neighborhood entries will be installed by the merchant builder before building permits may be issued.

- 1) Area: (See page V-59, f. Neighborhood Entry Treatment.)
- 2) Entry Walls: Each side of the roadway will have low matching entry walls (20' long at 45 angle to road) to express identity and to mark the transition from one neighborhood to another. Walls will not exceed six (6) feet in height, however, the length dimensions may vary. Entry walls must be setback with "L" Type footing and 3-foot minimum vine/tree pocket provided and handicap approved tree grates from the edge of the sidewalk.
- 3) Paving: A minimum twenty (20) foot wide strip of special road paving will connect across the road. The paving will be of a semi-rough texture, such as sand dusted concrete, exposed aggregate, or lightly [stamped concrete] interlocking pavers and will contrast the predominant road pavement and will accent entry wall.

c) Major Intersections

Hunter's Ridge has two major intersections, which occur when an entry road joins the community collector. Each major intersection shall be defined by the following criteria:

- 1) Area: On the corners that comprise the intersection special landscape treatment will focus on an area measured 50 feet along both roads from the intersection of the road rights-of-way to form a triangle. Four corners will be addressed in the first intersections (Phase I) and only two in the upper intersection (Phase II). (See Open Space/Streetscape Plan, page III-4 and V-78)
- 2) Paving: 10' crosswalks where necessary will be distinguished from the interior of the intersection.



2. Hierarchy of Streets

a) Major Arterial Divided Highway (110' ROW) - Cherry Avenue

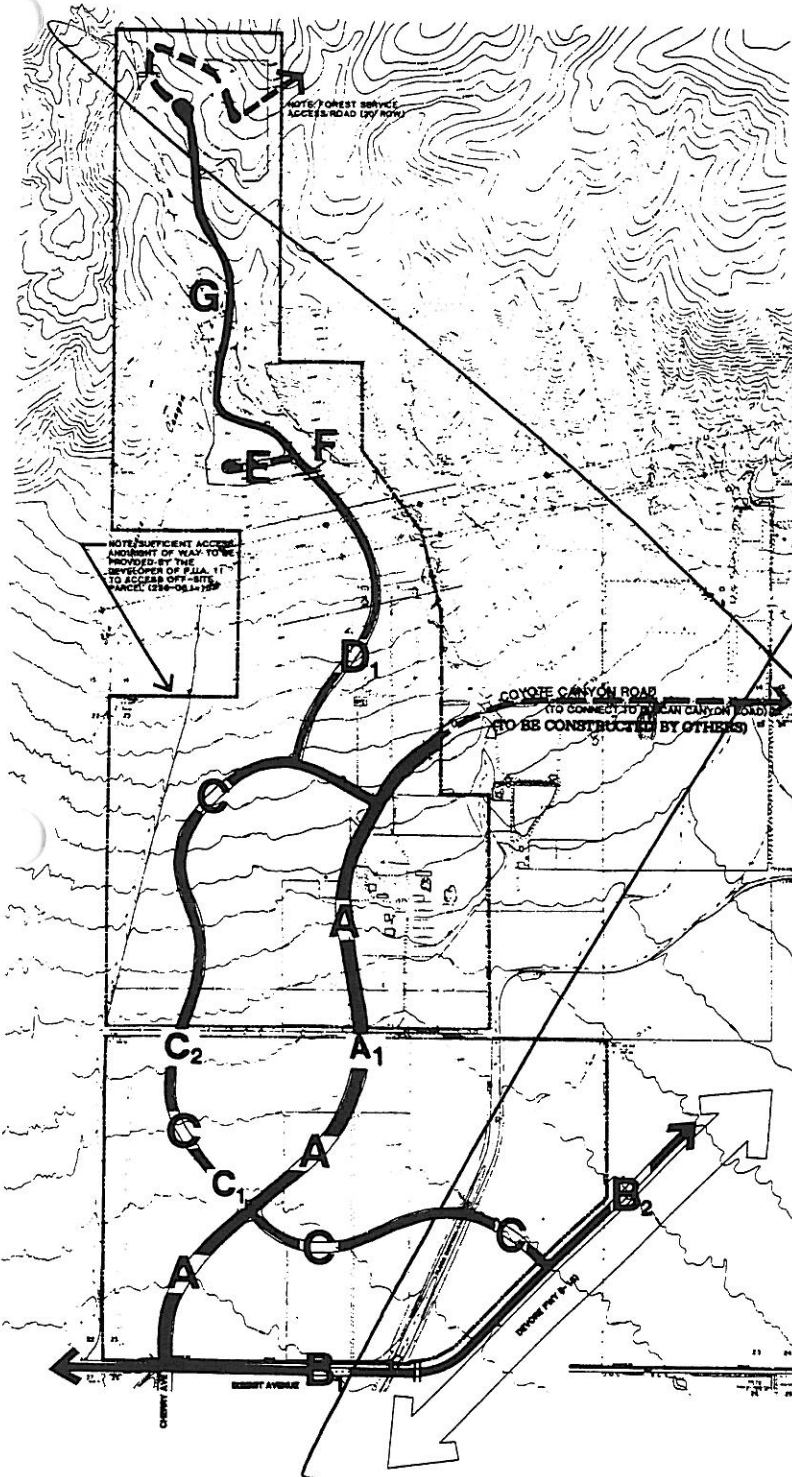
Cherry Avenue will be an extension of existing Cherry Avenue south of the project and will terminate at Coyote Canyon Road. Cherry Avenue will be planted to create a rural roadway character. It will have a bowl-shaped profile with large trees at its edges and lower informal groups of trees in its median. (See Circulation Plan, next page and Plans/Sections, page V-18).

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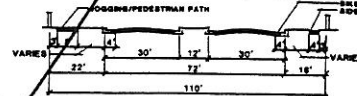
City Council Ord. No. 1218 (05/20/97)

1123 (08/02/94)

Circulation Plan

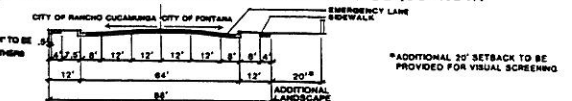


A MAJOR DIVIDED HIGHWAY - CHERRY AVENUE (110' ROW)

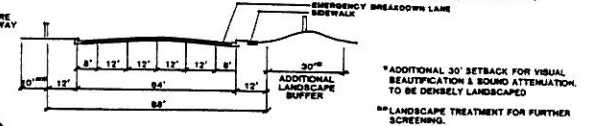


A₁ REFER TO PAGE III-9

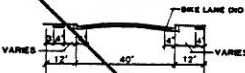
B₁ SECONDARY HIGHWAY - SUMMIT AVENUE (88' ROW)



B₂ SECONDARY HIGHWAY - DUNCAN CANYON/I-15 (88' ROW)

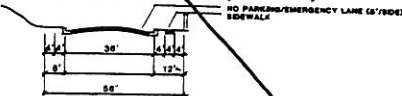


C BRIDLEPATH DRIVE (64' ROW)



C₁ C₂ REFER TO PAGE III-9

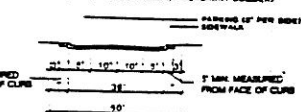
D₁ FOXBOROUGH DRIVE (56' ROW)



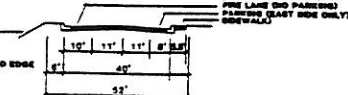
D₂ LOCAL ROAD/TYPICAL (56' ROW)



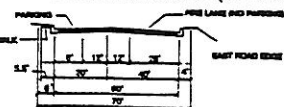
E TRAILHEAD DRIVE (50' ROW)



F FOXBOROUGH DRIVE (52' ROW)



G FOXBOROUGH DRIVE (70' ROW)



Hunter's Ridge

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Amended:

City Council Ord. Nos. 1218 (05/20/97)

1170 (12/19/95)

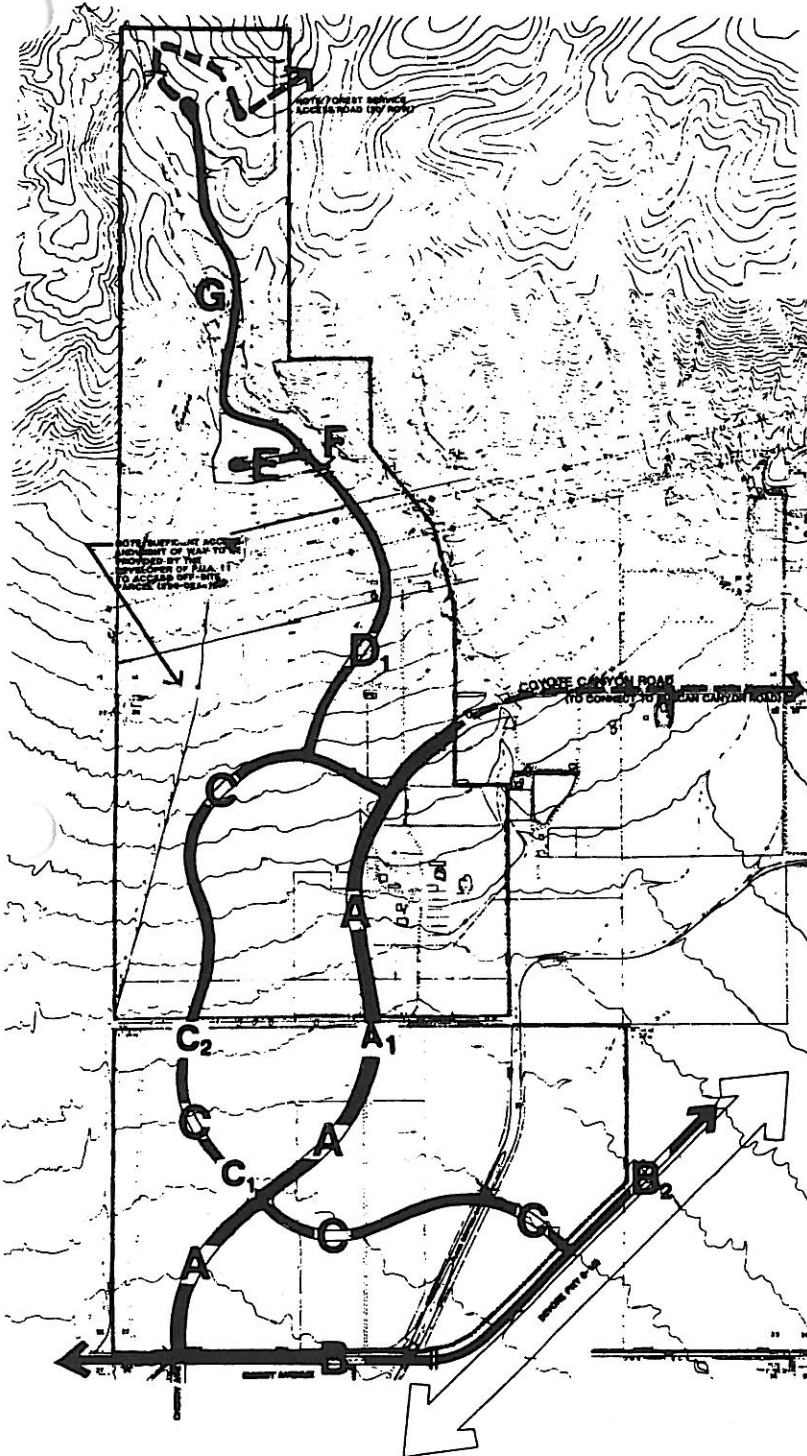
1123 (08/02/94)

III-8

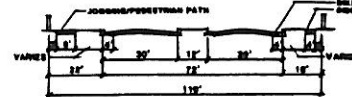


EXHIBIT III-3

Circulation Plan

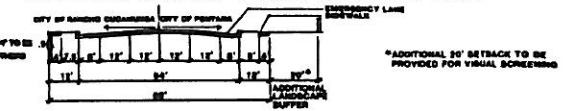


A MAJOR DIVIDED HIGHWAY - CHERRY AVENUE (110' ROW)

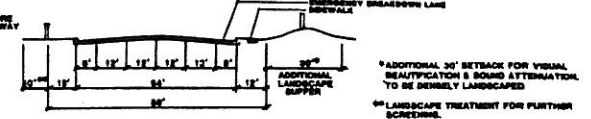


A₁ REFER TO PAGE III-9

B₁ SECONDARY HIGHWAY - SUMMIT AVENUE (88' ROW)



B₂ SECONDARY HIGHWAY - DUNCAN CANYON/I-15 (88' ROW)

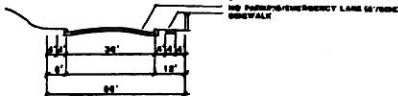


C BRIDLEPATH DRIVE (64' ROW)



C₁ C₂ REFER TO PAGE III-9

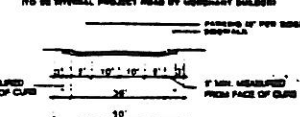
D₁ FOXBOROUGH DRIVE (88' ROW)



D₂ LOCAL ROAD/TYPICAL (58' ROW)



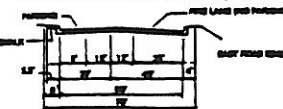
E TRAILHEAD DRIVE (50' ROW)



F FOXBOROUGH DRIVE (82' ROW)



G FOXBOROUGH DRIVE (70' ROW)



Amended 5/4/99

City Council Ord. No. 1286

Hunter's Ridge

A SPECIFIC PLAN PREPARED FOR THE CITY OF FONTANA

AMENDED:

CITY COUNCIL ORDS. NOS. 1123(8/2/94)

1170(12/19/95)

III-8

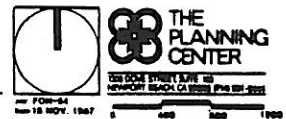
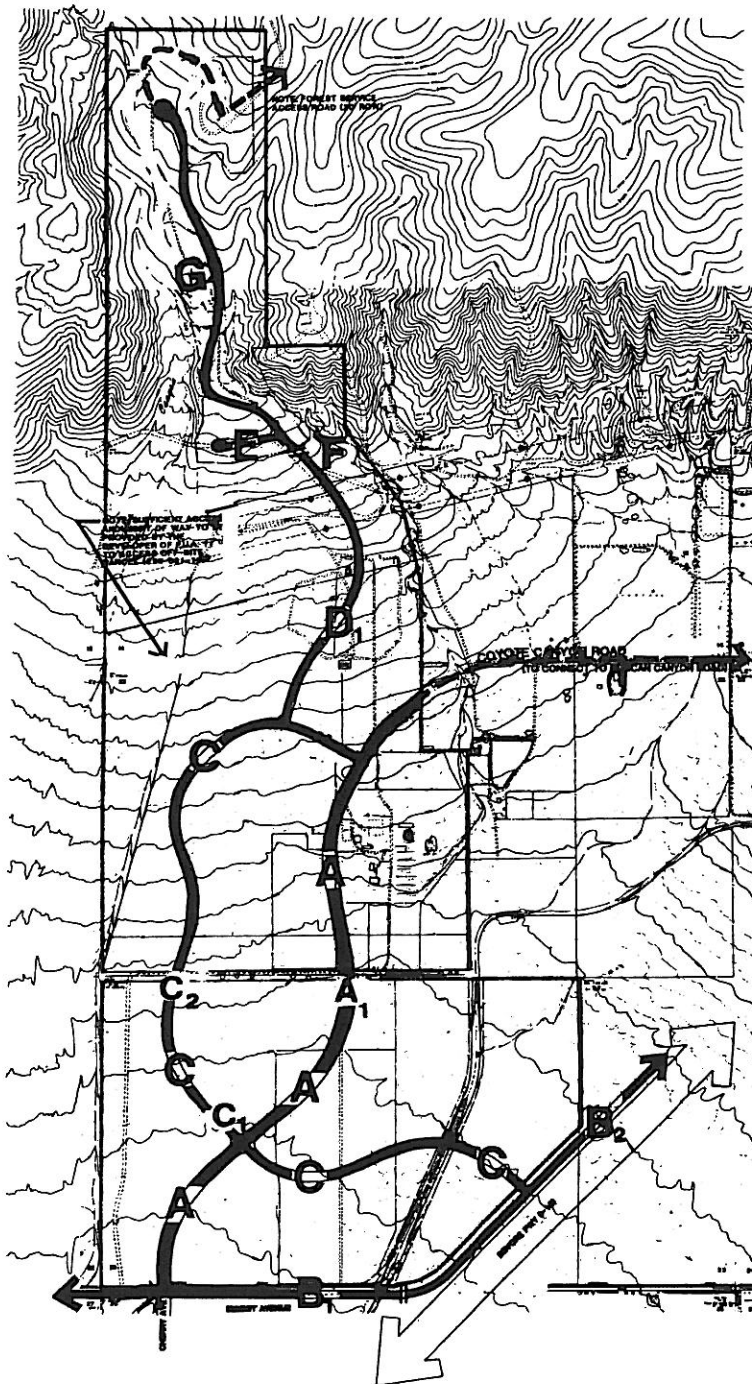
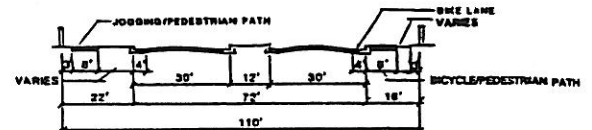


EXHIBIT III-3

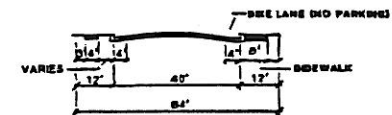


Circulation Plan

**A₁ MAJOR DIVIDED HIGHWAY
CHERRY AVENUE (110' ROW)**

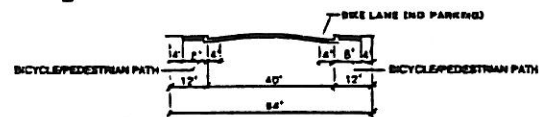


C₁ BRIDLEPATH DRIVE (64' ROW)



(FROM THE INTERSECTION OF CHERRY AVENUE AND BRIDLEPATH DRIVE
TO THE NORTHERN BOUNDARY OF THE 5.9 ACRE PARCEL)

C₂ BRIDLEPATH DRIVE (64' ROW)



(SOUTH OF THE BICYCLE TRAIL IN THE SCE AND MWD EASEMENT
EASEMENT TO THE FIRST T-INTERSECTION)

Hunter's Ridge

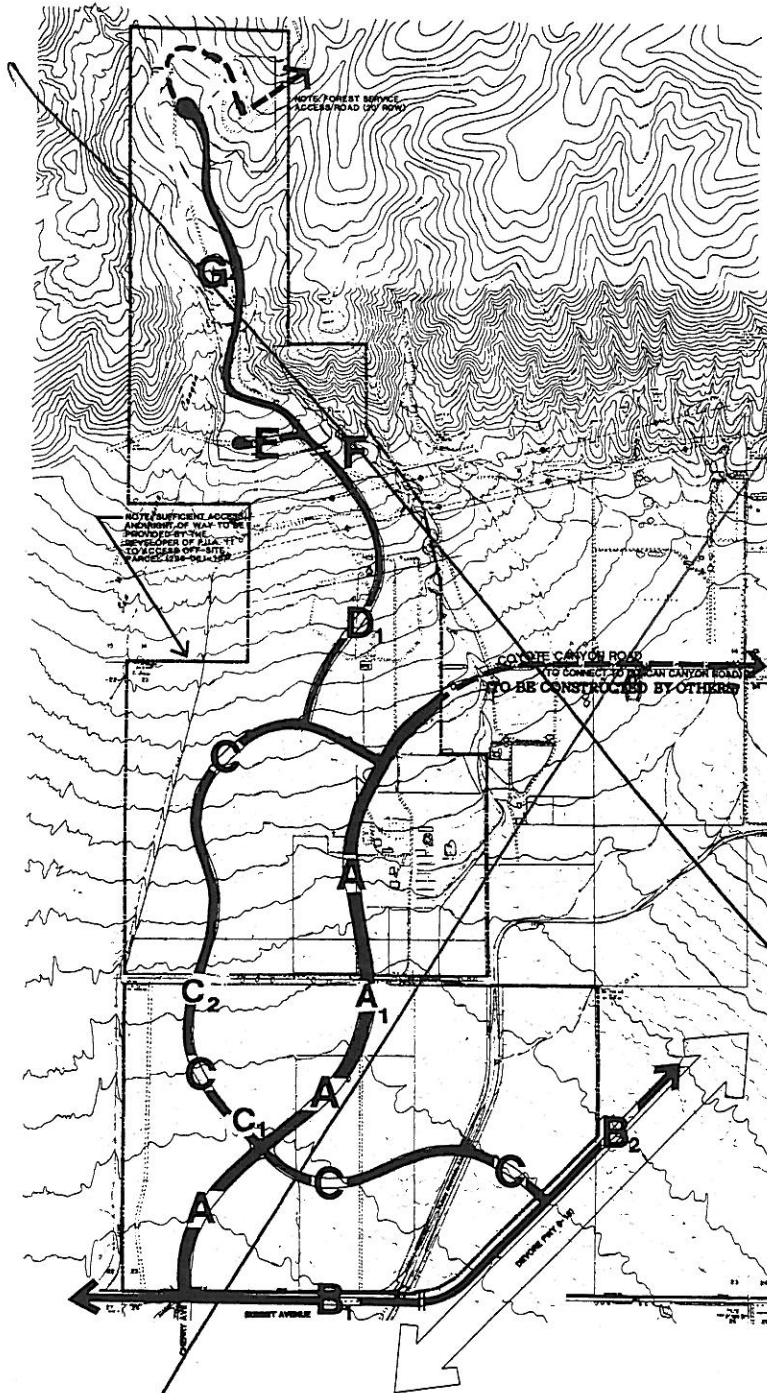
A SPECIFIC PLAN PREPARED FOR THE CITY OF FONTANA

AMENDED 12/19/95
CITY COUNCIL ORD. NO. 1170
AMENDED 8/2/94
CITY COUNCIL ORD. NO. 1123
Amended 5/4/99
City Council Ord. No. 1286

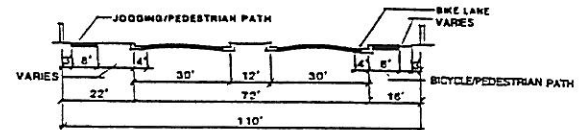


EXHIBIT III-3A

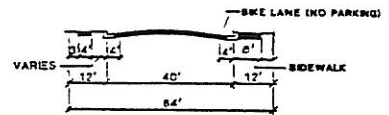
Circulation Plan



**A₁ MAJOR DIVIDED HIGHWAY
CHERRY AVENUE (110' ROW)**

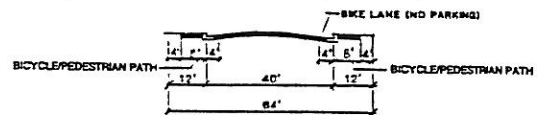


C₁ BRIDLEPATH DRIVE (64' ROW)



(FROM THE INTERSECTION OF CHERRY AVENUE AND BRIDLEPATH DRIVE TO THE NORTHERN BOUNDARY OF THE 5.9 ACRE PARK)

C₂ BRIDLEPATH DRIVE (64' ROW)



(SOUTH OF THE BICYCLE TRAIL IN THE SCE AND MWD EASEMENT TO THE FIRST T-INTERSECTION)

Hunter's Ridge

A SPECIFIC PLAN PREPARED FOR THE CITY OF FONTANA



EXHIBIT III-3A

Amended:

City Council Ord. Nos. 1218 (05/20/97)
1170 (12/19/95)
1123 (08/02/94)

b) Secondary Highway (88' ROW) - Summit Avenue and Duncan Canyon Road

In order to screen or buffer the views and noise from the secondary highways (Summit Avenue, and Duncan Canyon road) additional landscape setback will be provided. (See Plans and Sections, page V-20.)

- 1) 20' Setback from expanded Summit Avenue: In addition to 12' of highway parkway on the north side of Summit Avenue, a 20 foot landscaped area will be planted and maintained by the Hunter's Ridge Project. This area will include trees and shrubs as well as groundcover and automatic irrigation. A community theme wall (to be approved by Planning Commission) up to six feet high will be permitted. (This shall include planning unit areas 1 and 8.)
- 2) 30' Setback from expanded Duncan Canyon Road: Along the east edge of expanded Duncan Canyon Road, in addition to its proposed 12 feet of parkway, 30 feet of landscape area will be planted and maintained by the Hunter's Ridge Project. This area will be densely planted using similar plant materials and spacing to the 20' setback along Summit Avenue.

c) Bridlepath Drive (64' ROW)

The community collector will function as the secondary circulation spine and access all portions of the site. It will also be utilized as a linear parkway interconnecting the planning unit areas or neighborhoods (see Circulation Plan, page III-8).

This street will be designed as a limited access right-of-way, and will be a 64' ROW. This road will be a paved roadway with two traffic lanes and two emergency breakdown lanes, curbs, a bicycle lane, and a parkway on both sides of the road with a jogging trail and sidewalk. It should be noted that the parkway width is larger on one side to accommodate the jogging trail.

- 1) Building Setback: Buildings (excluding bus shelters) will be setback a minimum of 15' from the road right-of-way.

d) Local Streets and Foxborough Drive, a Community Through Street (56' ROW)

Local streets will be accessible from major divided highway and from the controlled access Bridlepath Drive. This road will be a 56' right-of-way including one driving lane in each direction, a curbside emergency breakdown lane, as well as a 4' sidewalk and a 6' planting strip. In addition, this street will link the community collector to the canyon area lots and will have a slightly varied section. Note: In all cases, 36' paved surface curb-to-curb is required. (See Circulation Plan, preceding page and Plans/Sections p. V-22.)

- 1) **Building Setbacks:** Buildings will be setback a minimum of 15 feet from the street right-of-way edge.

e) Local Road/Cul-de-Sacs and Trailhead Drive (50' ROW)

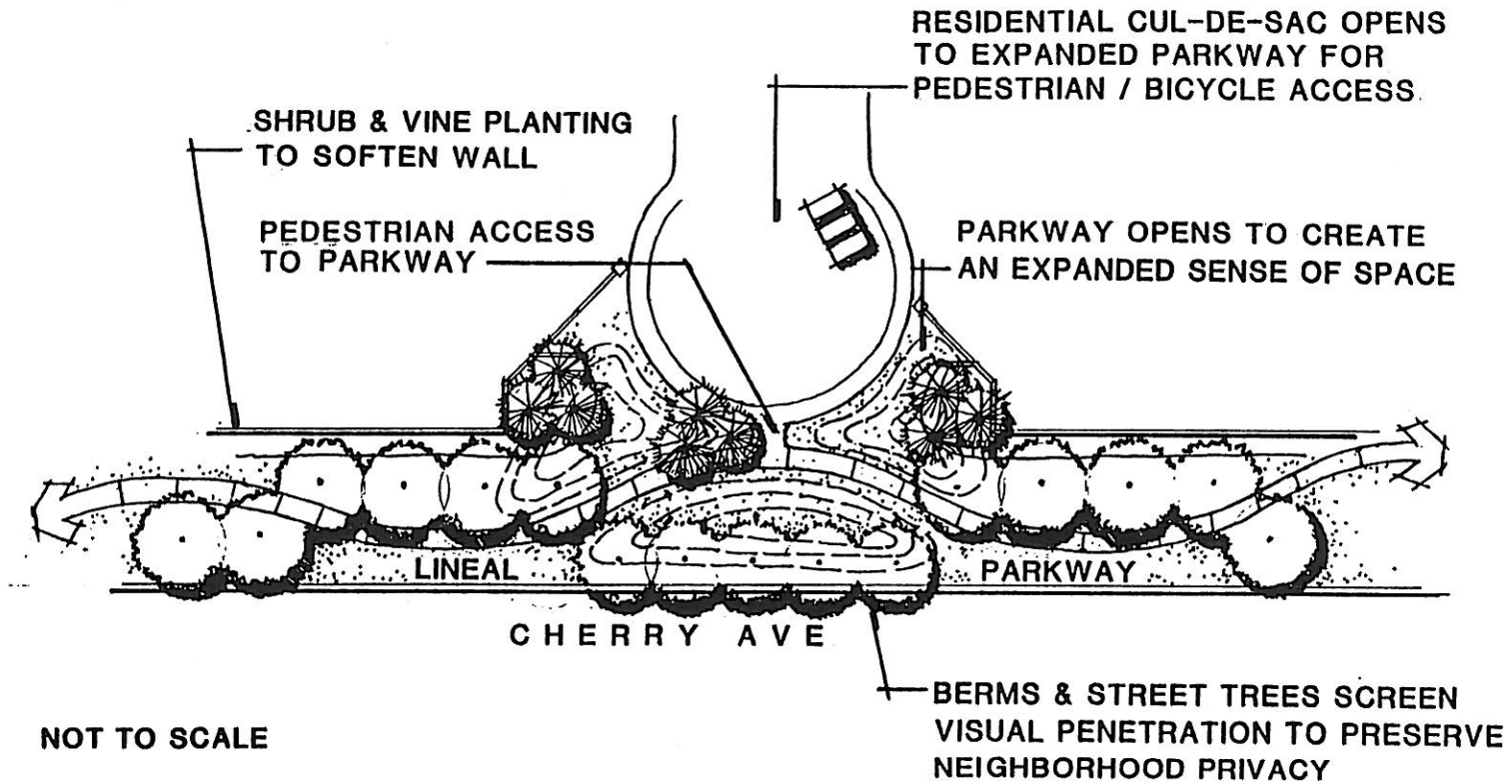
Streets which terminate in a cul-de-sac shall be no longer than 600', but may be up to 1,100' if approved by the Planning Commission and allowed by the City. Cul-de-sac bulb diameter will be a minimum of 90 feet. Whenever possible, cul-de-sacs should connect to community-wide pedestrian circulation networks.

f) Foxborough Drive, a Community Through Street (52' ROW)

A local road will provide access to the hillside estate residential lots in Phase Three. It will have two paved travel lanes of 11' each, an 8' parking lane on the east, a 10' fire lane on the west, and 5.5' parkway to the east. (See Circulation Plan and Plans/Section p. V-23.)

g) Foxborough Drive, a Community Through Street (70' ROW)

Foxborough Drive will provide access to hillside estate residential lots in P.U.A. 17 in Phase 3. It will have two paved travel lanes of 12' each, an 8' foot parking lane on the west side, a 28' fire lane (no parking) on the east and a 5.5 foot parkway on the west. (See Circulation Plan and Plans/Section p. V-23).

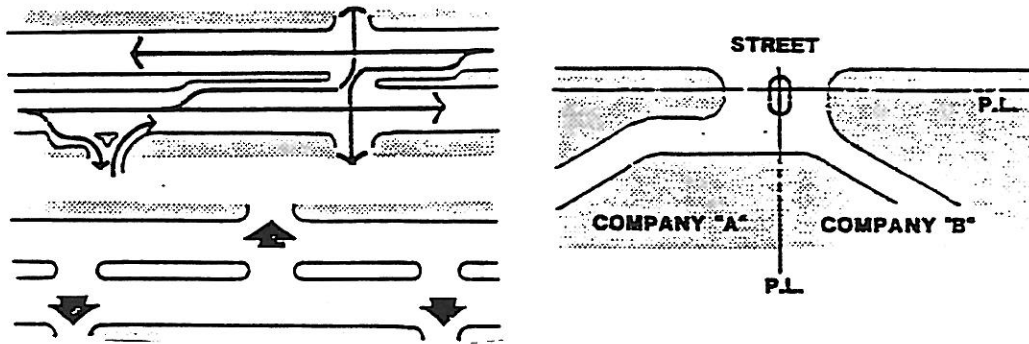


Cherry Ave Plan / Cul-de-Sac Access to Parkway

Illustrative : May be included in individual Planning Unit Area designs where cul-de-sacs adjoin Cherry Avenue.

g) Access Drives and Driveway Location

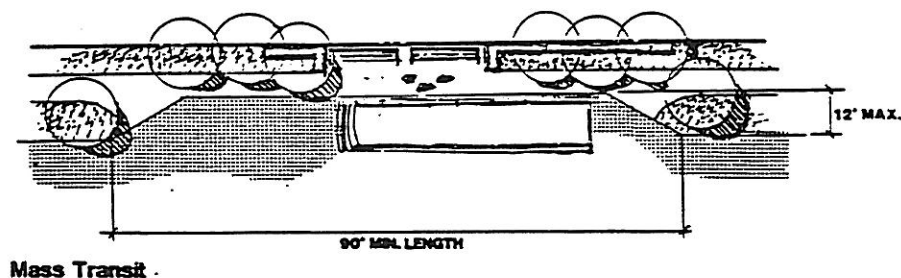
- 1) Access drives, especially for commercial and public use areas, on collector and local roads should be coordinated with median openings and where median openings are not available, designed for efficient "right-turn only" ingress and egress.
- 2) Access drives should be coordinated with adjacent lots so as not to impede the efficient flow of peak period traffic. Consideration should be given to adequate separation of adjacent access drives or the development of common access drives.



- 3) Access drives should be located such that their construction results in a minimal disruption of the street side landscaping and utilities located within the designated landscape easement.

h) Mass Transit

Mass transit routes that service areas of business, commercial and school use will load passengers in clearly marked, reserved areas with pedestrian facilities provided. Design considerations for such facilities will include benches, landscaping, lighting, signage, drinking fountains, special paving, inclement weather shelters and telephone facilities.

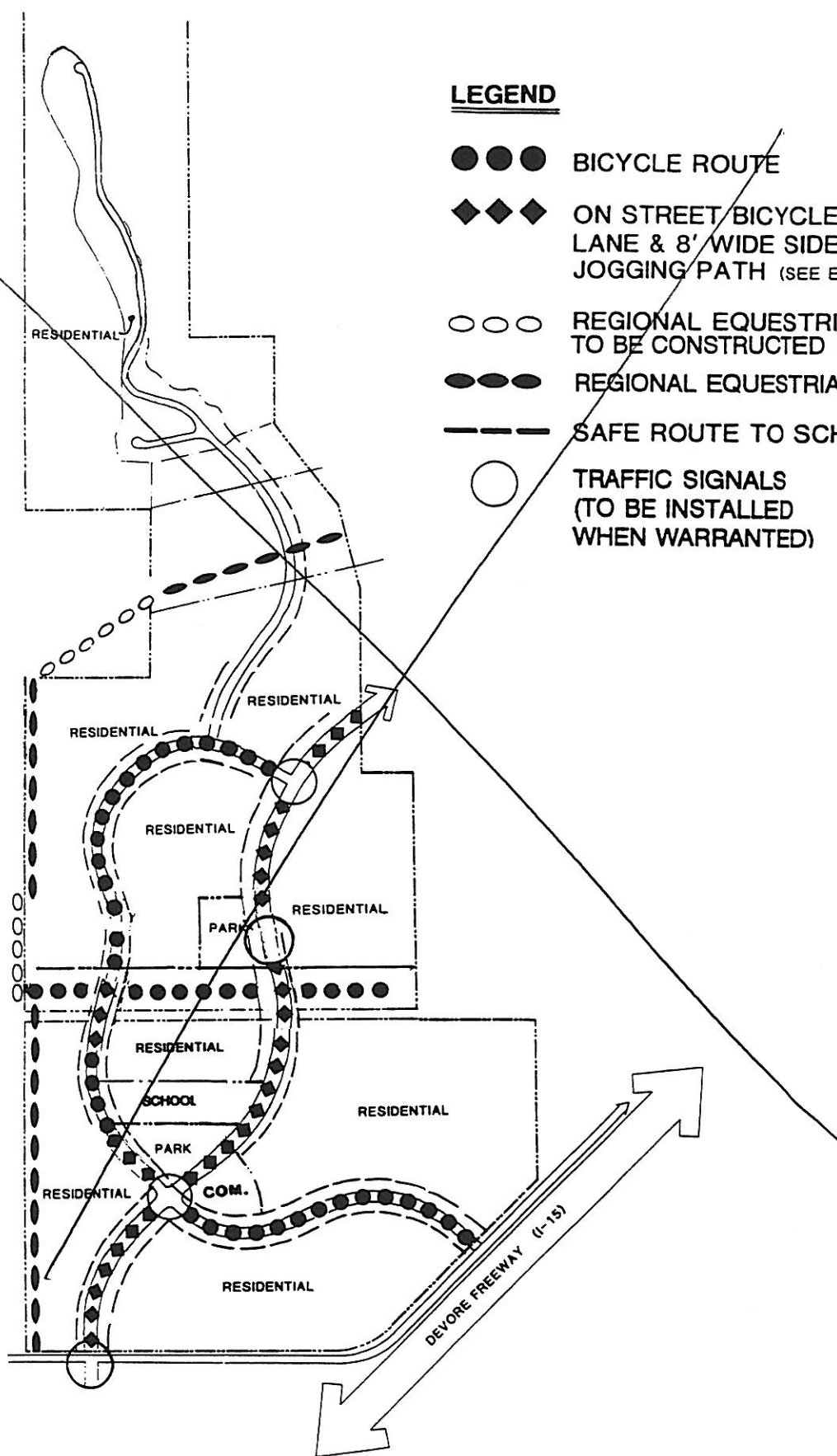


3. Paths and Trails

The paths and trails guidelines will include pedestrian, bicycle, and equestrian trails.

LEGEND

- ● ● BICYCLE ROUTE
- ◆ ◆ ◆ ON STREET BICYCLE LANE & 8' WIDE SIDEWALK/ JOGGING PATH (SEE EXHIBIT # V-16)
- ○ ○ REGIONAL EQUESTRIAN TRAIL TO BE CONSTRUCTED BY OTHERS
- ● ● REGIONAL EQUESTRIAN TRAIL
- — — SAFE ROUTE TO SCHOOL
- TRAFFIC SIGNALS (TO BE INSTALLED WHEN WARRANTED)



RECREATIONAL TRAIL PLAN

Hunter's Ridge

A SPECIFIC PLAN PREPARED FOR THE CITY OF FONTANA

SOURCE: THE L.A. GROUP, INC.

0' 100' 500' 1000'



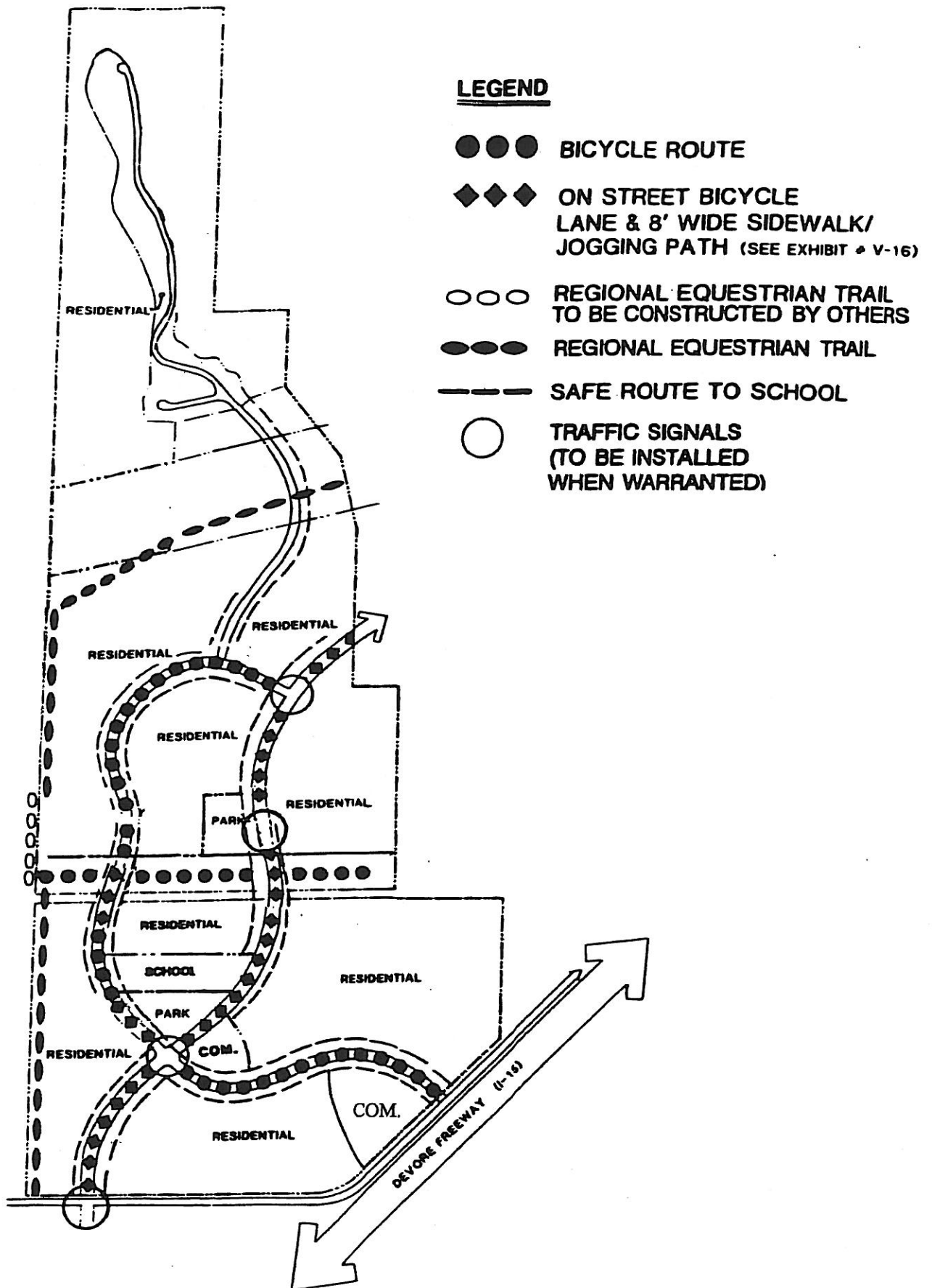
**EXHIBIT # III-5
V-40**

AMENDED:

CITY COUNCIL ORDS. NOS. 1123(8/2/94)

1170(12/19/95)

III-14



RECREATIONAL TRAIL PLAN

Hunter's Ridge

0' 100' 500' 1000'



Amended 5/4/99

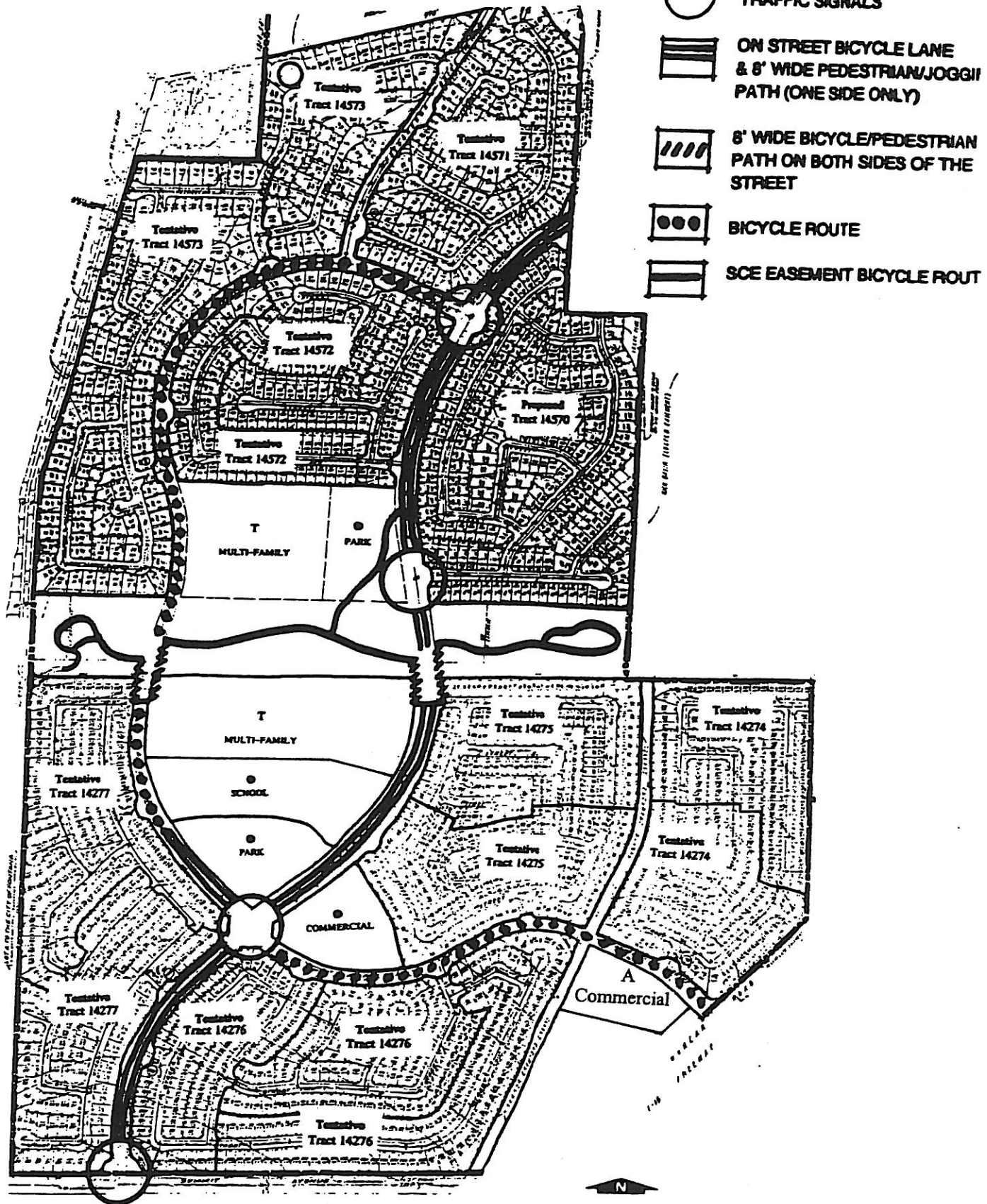
A SPECIFIC PLAN PREPARED FOR THE CITY OF FONTANA

City Council Ord. No. 1286

SOURCE: THE L.A. GROUP, INC.

EXHIBIT # III-5

V-40



BICYCLE TRAIL PLAN

HUNTER'S RIDGE

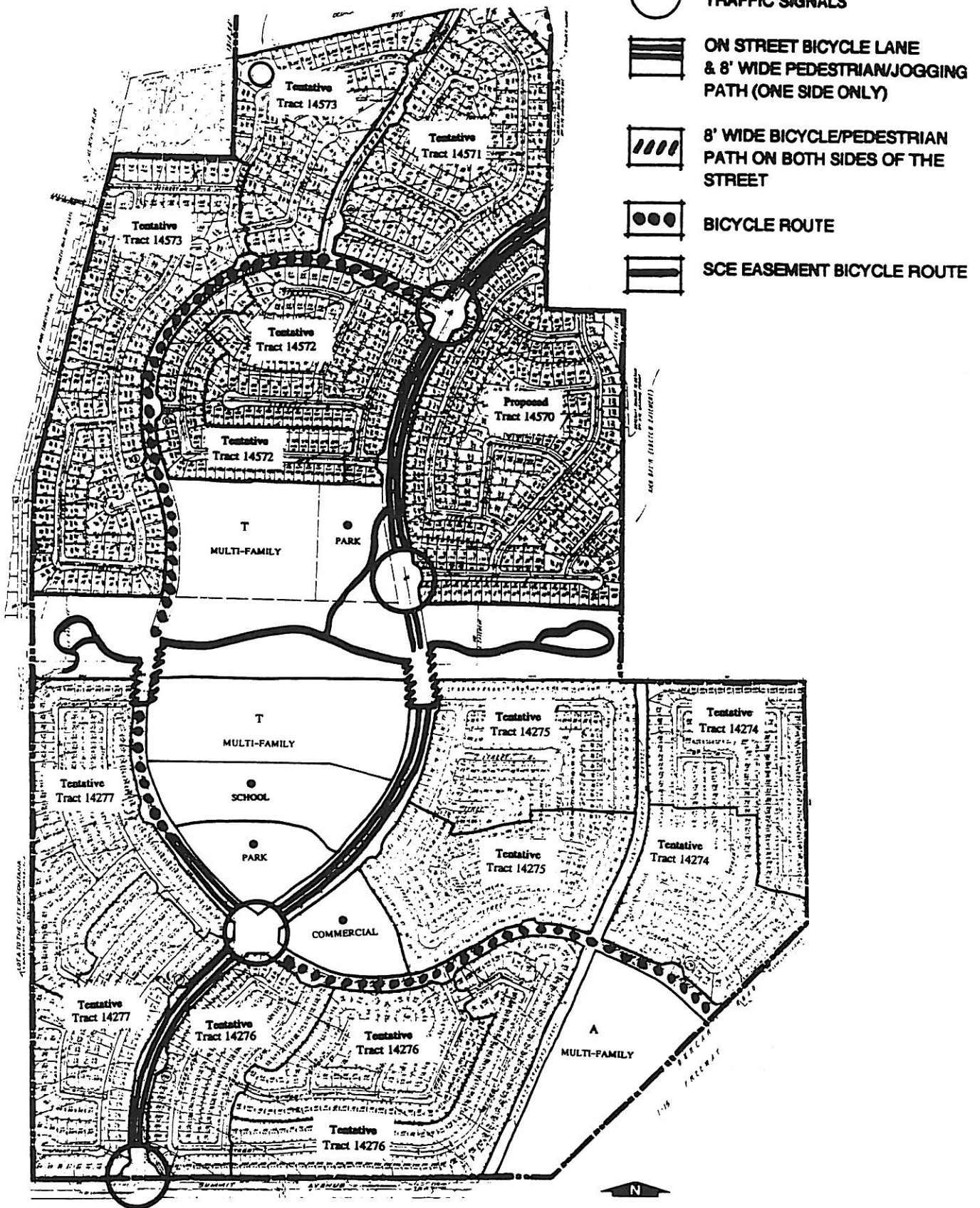
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NOT TO SCALE

EXHIBIT #III-5A

#V-40A

AMENDED 8/2/94



BICYCLE TRAIL PLAN

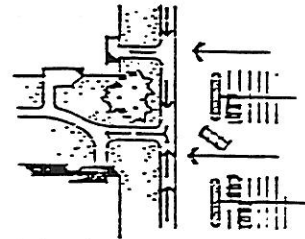
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HUNTER'S RIDGE

EXHIBIT #III-5A
#V-40A

a) Pedestrian

- 1) On-site pedestrian circulation systems will be provided to meet the movement needs of on-site users. Such systems will provide safe all weather surfaces, and aesthetically pleasing means of on-site foot travel. Pedestrian walkways will be an integrated part of the overall architecture and site design concept.
- 2) Pedestrian and bicycle access will be conveniently provided to connect neighborhoods to schools, parks and commercial uses. The number of pedestrian and bicycle crossings of streets will be limited and consolidated, (See Trails Plan, p. III-15)
- 3) Where access is desirable, connections will be made between on-site and off-site perimeter circulation systems.
- 4) Pedestrian circulation system dimensions and surface materials shall be governed by minimum City standards. Where no standards exist a minimum 8 foot right-of-way will be encouraged, with four (4) feet of paved surface.



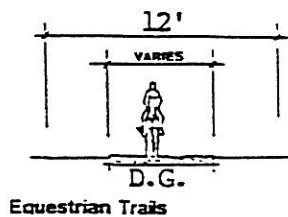
Pedestrian Walks

b) Bicycle

- 1) Bike lanes shall be located in the street (Cherry Avenue and Collector Streets) and will be a minimum of 4 feet wide. (See Circulation Plan, p. III-8)
- 2) Bicycle signage shall be provided, and a 6" wide solid stripe will be used to separate bike lanes from vehicular traffic. This stripe may be dashed or dropped entirely 96' in advance of an intersection.
- 3) A pedestrian push button at all traffic signals on Cherry Avenue will be provided by the developer (see Trail Plan).

c) Equestrian Trails

- 1) A twelve-foot minimum right-of-way will be provided by developer with a variable width graded horse trail where indicated on Trail Plan (preceding page). Equestrian Trail sections outside the boundaries of the project shall not be the responsibility of the Master Developer.
- 2) Horse trails will be kept separate from vehicular roads.
- 3) Where the horse trail crosses the vehicular roads, a crosswalk and a caution sign will be installed.
- 4) Trail surface will be compacted native soil, with decomposed granite. Rocks and debris will be removed periodically and the trail surface graded smooth.
- 5) Road crossings should be at grade with appropriate street striping and signing to alert motorists. Textured paving is desirable in order to prevent horses from slipping.
- 6) Where trail gradient exceeds 4 percent water bars or other diversionary drainage devices may be required.
- 7) Horse trails will be kept available for pedestrian, hiking use and emergency vehicles, but closed to motorized traffic including bicycles.



C. COMMUNITY STRUCTURE: OPEN SPACE AND STREETScape

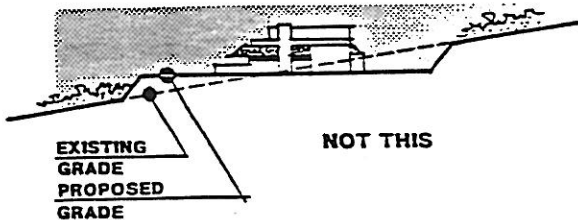
NOTE: See Chapter V for open space and streetscape information and Community Structure Exhibit, page V-4.

D. GRADING AND DRAINAGE

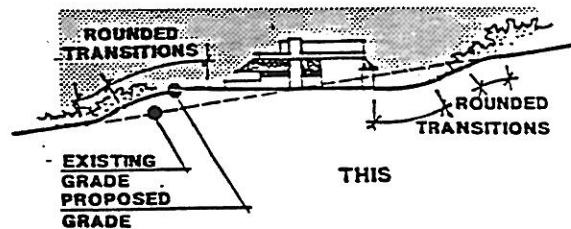
1. Grading

Grading restrictions in these Design Guidelines are formulated with the intent of preserving the existing landform and enhancing natural landscaping whenever feasible. Alternative grading proposals will be considered by the Planning Commission prior to disturbance of the site.

- a) Graded slopes shall meet Uniform Building Code and the City Engineers standards.
- b) All building first floor elevations should be set to avoid on-site ponding, and drainage should be routed to master plan collection areas (specific pad elevations and on-site drainage plans should be established by the project civil engineer).
- c) The grading of the residential neighborhoods north of the upper S.C.E. easement and open space areas shall conform to the natural topography and result in a harmonious transition of the manmade grade with the natural terrain. Rounding the tops and toes of all slopes shall be required. (See General Provision - Grading).



(FOR ILLUSTRATIVE PURPOSES)



(FOR ILLUSTRATIVE PURPOSES)

- d) Site grading design should complement and reinforce the architectural and landscape design character by helping to screen parking, loading and service areas, by helping to reduce the perception of height and mass on large buildings, by providing reasonable transitions between on-site uses, by providing elevation transitions contributing to the efficiency of on-site and off-site movement systems, and by providing reasonable transition between lots.
- e) All graded slopes shall be stabilized and planted with ground covers and trees or shrubs as listed in the plant palette section. Refer to City Soil Stabilization guidelines.

- f) Allow up to a 30-foot maximum vertical slope at 2:1. Allow 1-1/2:1 if recommended and approved by a certified soils engineer.
- g) Slopes greater than 30 feet in height require a 6-foot minimum bench.

2. Drainage

- a) Natural drainageways shall be preserved whenever possible. Minimize alterations to natural drainageways and prevent soil erosion. Developed drainageways, if lined, will be encouraged to use rock from the site or native to the area.
- b) All proposed on-site drainage shall comply with the drainage standards administered by the City of Fontana.
- c) Drainage velocities shall be minimized to prevent erosion, and debris accumulation on streets and drainageways.
- d) A 35-foot building and grading setback from the centerline of Bullock Creek will be maintained at all times.

E. ARCHITECTURE

Architectural guidelines have been developed in order to establish and reinforce a community identity for Hunter's Ridge. They are intended to guide the siting and the design of the neighborhoods, community service uses, commercial and business park uses and other focal points.

The major architectural components which are most important in establishing a definable context are described in the next few pages. Note: Additional architectural standards to protect the residential areas in the upper canyon are noted in the Fire Report to safeguard this area. (See Mitigation Measures in Chapter IV, EIR, Fire Protection; as well as Wildland Fire Safety Report, EIR Appendix).

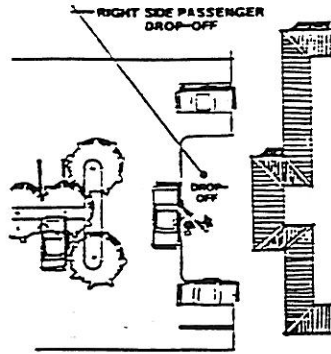
- Building Orientation and Siting
- Building Mass
- Building Setbacks
- Building Form and Elevation
- Roof Form and Material
- Windows and Doors
- Building Materials and Colors

These guidelines are primarily concerned with the physical appearance of the community environment as perceived by residents and visitors. Therefore, it is the intent of these guidelines to apply to those architectural components that are visible to the public and hereinafter defined.

1. Building Orientation and Siting

- a) Buildings shall be designed and sited to minimize the impact and silhouette of built forms on the natural landscape. Roof line silhouettes shall minimize their visual impact by keeping a low profile to not dominate the horizon line.
- b) Buildings shall be sited so windows and entries take advantage of views.
- c) The orientation of the building and its elements shall be related to the natural design factors of sun, wind and rain. Fenestration (the design and placement of windows and doors) shall be considered with exposure to natural elements in mind.
- d) All design shall appear as an integrated part of an overall site design concept.
- e) Building complexes shall be laid out so that usable courts and gardens are created by building placement. Courts and gardens should be protected as much as possible from winds while taking advantage of winter solar access.

- f) Convenient passenger drop-off courts should be designed into the public areas of the project which work well with circulation and "right side" unloading.

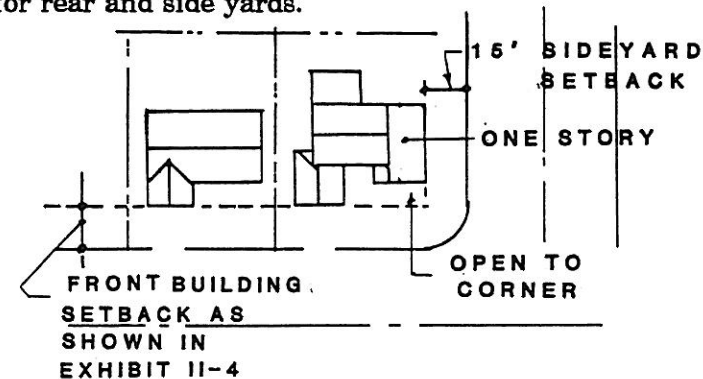


2. Building Mass

- a) Building mass should be horizontal in nature, with the height of the building being less than its length of width.
- b) Building mass should be simple in form and of strong geometry.
- c) The height and bulk of buildings shall not unduly block views and the solar access of adjacent and other nearby buildings.
- d) Clusters of buildings should be of similar scale and mass. In commercial developments, each group of buildings should have one "key" element which makes the center identifiable.
- e) Building or structure height shall not exceed that permitted by the Specific Plan.

3. Building Setbacks

- a) Corner lots in single-family, detached developments are to have front and exterior side building setbacks as shown in Exhibit II-4, pages II-30 and II-31. Where possible, the master developer or developer is encouraged to provide architectural variation (e.g., setbacks, change in roof pitch and window treatments of second story portions of the units) in the side building elevations on corner lots. A masonry wall or woodcrete fence may be placed on the property line, from the front building setback, for rear and side yards.



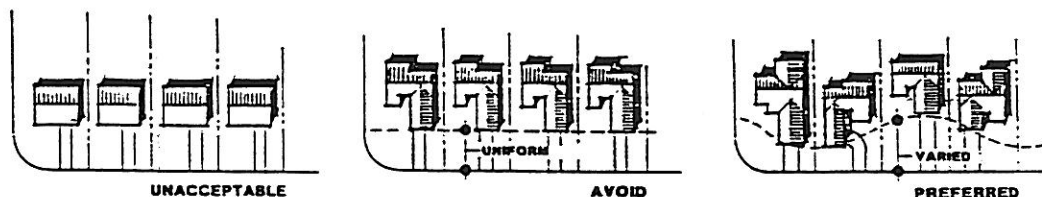
III-22

- b) In multi-family areas, the outside corners should be lowered with single story elements. Where a "U"-shaped plan has a short and long side, the short side should be toward the corner.

4. Building Form and Elevations

a) Single-Family Residential

- 1) Complex rectangular floor plans and variations of rectangular floor plans will assure compatibility and variation. Variety and interest can be developed with rectangular plans by varying dimensions and positions of structures on adjacent lots.
- 2) Long buildings with straight unbroken facades shall be avoided by strategically placing offsets in the architectural plans.
- 3) When parking is not attached nor part of the building, structures that enclose parking should incorporate simple jogs so that long plain roofs and long wall elevations can be avoided.
- 4) Simple stereotypical units arranged in a regimented fashion along front yard setbacks which produce monotonous elevations shall be avoided.
- 5) Provide variety along streets by employing differing setbacks and a variety of elevations. No more than 33 percent of the buildings on one side of the street may have the same setback; no two adjacent buildings may have the same setback. In addition, at least one change per horizontal or vertical plane is required on the front of each dwelling unit.



- 6) Auto courts and driveways to garages must vary.
- 7) Alternative cul-de-sac arrangements that encourage creativity are allowed upon approval by the Planning Department.

b) Multiple-Family Residential

- 1) In multi-family and attached housing it is important to provide each unit with its own identity and entry.
- 2) In multi-family housing garages and carports should be setback from the interior edge of the public sidewalk. This will discourage cars parking in front of a garage without adequate clearance for passing vehicles or pedestrians. Garages and carports shall have the same roof pitch and material as living unit. Note: garage setbacks are defined in Exhibit II-5.
- 3) In higher density housing developments of attached product type, individual units should be turned and oriented in a variety of ways to avoid the monotony of garage door corridors.
- 4) Higher density projects should be planned carefully to maximize the feeling of open space within the development. Design devices include curving streets, and orienting road axes to open areas and views.

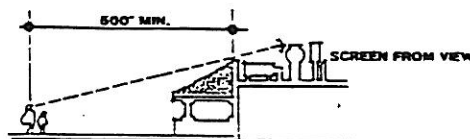
c) Back and Side Facades Visible from Major Roadways

- 1) Any back or side elevation of a residence (especially corner lots) visible from and adjacent to a major divided highway, secondary highway or community collector shall have architectural treatment similar to the front elevation.

d) Commercial Areas

The following guidelines should be consulted when designing and reviewing commercial development:

- 1) Avoid blank front and side walls on street frontages.
- 2) Flat roofs with parapet walls to screen rooftop equipment are acceptable, although buildings with articulated varying roof planes are encouraged.



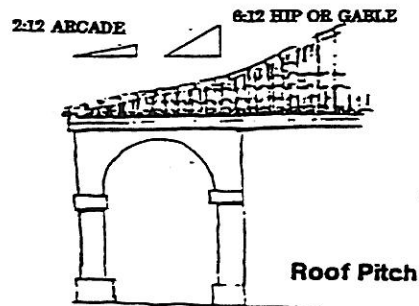
Rooftop Equipment

- 3) The use of prefab, all metal steel for sheathing of buildings is prohibited. This is not to preclude the use of metal detail within architecturally designed buildings such as "Cortin" steel.
- 4) Conceal all service areas and storage areas either within the building themselves or with screening walls constructed of a solid masonry or stucco stud wall of one color, preferably with brick accent trim.

5. Building Roof Form and Material

- a) Roof vents and appurtenances should be painted a color which will match the roof color.
- b) Stone surfaces should be left neutral and unpainted. Brick or block may be painted. When masonry is painted, joints should match color of masonry.

High contrasts are generally to be avoided.
- c) Avoid combining gable and hip roofs.
- d) Roof materials on sloping roofs of individual buildings should be the same on all roof surfaces [of the same building] except for flat or nearly flat roofs.
- e) A 3:12-6:12 (vertical:horizontal distance) roof pitch is required for all main roof surfaces (including garages), with the exception of arcades or colonnades (see sketch).
- f) Roof pitch for attached arcades or colonnades shall be a minimum 2:12. Roof types shall be restricted to low pitched gable roofs, with the occasional use of a hip roof or shed roof as an accent at the end of the building.



- g) The use of A-frame, jerkin-head gambrel, or flat roofs is especially prohibited in residential areas. Exceptions may be granted in rural residential areas.

- h) Roof material shall be comprised of standard mission barrel or flat clay, slate or concrete tiles. Tile shall be a variegated color and non-reflective (unglazed) for a soft rural look. Plastic tiles and composition shingles shall not be permitted. Note: Tiles on buildings (especially on the hillside above the southerly SCE easement), shall be darker non-reflective colors to mitigate the adverse visual impact of bright colors.

6. Windows and Doors

- a) Generally, aluminum windows without trim should be avoided on primary (street facing) elevations. Wood and stucco trim should be in scale with the style of architecture and scale of the building.
- b) Windows may range in shape from small rectangular to multi-lighted easement frames to large round-headed windows.
- c) Many colors for window trim may be used.
- d) Multi-lighted windows recessed into wall surfaces are strongly encouraged as display windows for commercial areas.
- e) Reflective mirror glass is prohibited.
- f) Fabric awnings are permitted, while metal awnings are prohibited.
- g) A protected entrance is functional and produces a sense of privacy. Front entrances should be designed to be distinctive architectural features.
- h) Arches over doors are strongly recommended. Doors shall have plain or decorated moldings and shall be recessed a minimum of twelve inches into primary building walls.
- i) Trim treatment of doors, as with windows, may be tile or painted. Doors themselves are usually painted or stained to contrast with the building color.

7. Building Materials and Colors

The total building and its related elements should be visually unified to provide an order and coherence, not only with themselves, but with the surrounding environment.

a) **Materials**

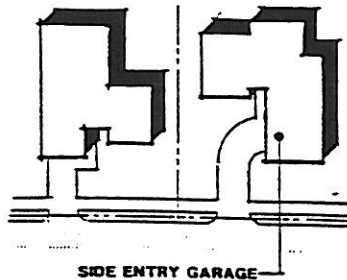
- 1) Generally acceptable: Stucco, wood siding, native rock and stone, split face, concrete and brick.
- 2) Conditionally acceptable (limited use): Steel (painted), woodshakes (as wall surface), slumpstone, glass block, and black glass windows.
- 3) Prohibited: Aluminum or plastic siding, imitation materials, corrugated fiberglass, mirrored glass.

b) **Colors**

- 1) Generally acceptable: Muted natural colors, Earth tones and pastel colors, natural stains; accent colors to contrast (eaves, trim, moldings, doors).
- 2) Conditionally acceptable (limited use): Untreated or unpainted materials (rough sawn wood, steel, etc.). Exception: rural residential and estate residential areas based on approved fire standards.
- 3) Prohibited: Bright, white or assertive colors, iridescent or phosphorescent paints as primary wall colors.

8. Garage and Carport

- a) Front-on entrances to single-family garages and carports will be setback 20 feet or more from the back of the public sidewalks. Roll-up garage doors may be opened either manually or with an automatic garage door opener. Pivot type garage doors or types that swing outward into the driveway area will either be required to use automatic garage door openers or will require an additional setback of 3 feet (for front-on garages). Side entry garages are encouraged and must be setback a minimum 5 feet from the sidewalks. See Exhibit II-4.



- b) Garage entrances from alleys, corners, or side yards are encouraged wherever possible to prevent garage doors from dominating the streetscape.

- c) Wood and metal garage doors and gates are allowed materials. High quality materials are encouraged. Plywood is acceptable when three or more panels are used or when joints are sealed with trim. A variety of compatible designs should be used within subcommunities to insure variety. Materials and colors shall be the same as the dwelling unit. Doors and gates are to be weather resistant, regularly maintained, and to be consistent with the building architectural style. Plastic garage doors will not be permitted.
- d) Carports for multi-family residential units will be no more than 8 spaces wide with a minimum parking island of 9 feet wide between shelters. Small multi-family parking shelters under four spaces are to be avoided.
- e) Carports shall have an 8-foot clearance to a horizontal obstruction.

9. Patios

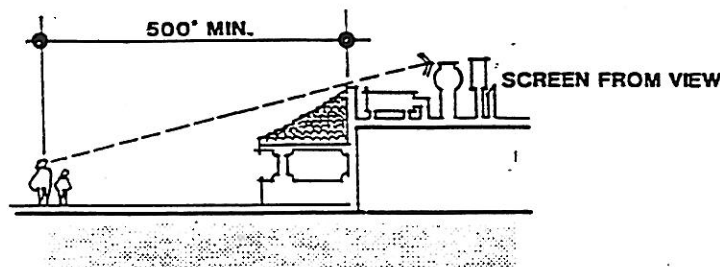
See Page II-50 for patio and patio cover standards.

F. PUBLIC FACILITIES AND UTILITIES

1. Utilities and Exterior Equipment

- a) All exterior on-site utilities including, but not limited to, drainage systems, sewers, gas lines, water lines, and electrical (35 Kv or less), telephone, and communications wires and equipment shall be installed and maintained underground. Items which must be placed above ground for function and safety reasons shall be screened from view of public streets.
- b) On-site underground utilities shall be designed and installed to minimize the disruption of off-site utilities, paving and landscape during construction and maintenance and shall not place excessive burdens upon off-site utility systems during use.
- c) No antenna or device for transmission or reception of any signals including, but not limited to telephone, television and radio, shall be placed on any lot so that it is visible from 5'0" above the ground or ground floor level at a distance of 500 feet in any direction, unless specific written approval is granted by the Planning Commission.

Roof mounted mechanical equipment shall be hidden from view by building parapets of equal height. If building parapets do not provide adequate screening when observed from adjacent buildings, mechanical equipment shall be screened by an unobtrusive device that will appear as an integrated part of the overall architectural design, will be installed in a neat and compact fashion, and shall be painted such a color as to allow their blending with the visual background.



- d) Temporary overhead power and telephone facilities are permitted only during construction.
- e) Locate exterior transformers, utility pads, cable TV and telephone boxes out of view in public rights-of-way, or screen with walls, fences or vegetation.

- f) All utility and other public rights-of-way shall be landscaped and maintained.
- g) Exterior components of plumbing, processing, heating, cooling, and ventilating systems (including but not limited to piping, tanks, stacks, collectors, heating, cooling, and ventilating equipment fans, blowers, ductwork, vents, louvers, meters, compressors, motors, incinerators, ovens, etc.) shall not be directly visible from public areas from a height of 5'0" above ground elevation for a distance of 500 feet.
- h) No exterior components of plumbing, heating, cooling, and ventilating systems shall be mounted on any building wall unless they are an integrated architectural design feature.
- i) Transformers that may be visible from any public street shall be screened with either planting or a durable non-combustible enclosure (of a design configuration acceptable to Gas and Electric).
- j) Transformer enclosures should be designed of durable materials with finishes and colors used which are compatible and harmonious with the overall architectural theme.

G. VIEW PROTECTION

1. Protect and enhance a very open, spacious, north-south view corridor along Cherry Avenue. The emphasis is on distant views of the mountains to the north and the inland valley to the south. A special scenic corridor right-of-way is designated for special treatment on both sides of the road.
2. Special on-site entry treatments at Summit Avenue, Duncan Canyon Road and Coyote Creek Road will be provided.
3. A unique form of visual enhancement and a reinforcement of community values involves use of sculptures or art elements at entry points and key intersections.

NOTE: This component of the streetscape plan is contingent upon City adoption of a Scenic Corridor Plan incorporating an "Art in Public Places" program, including specification of installation and maintenance responsibilities.

4. View of House: Houses should be designed and sited to minimize the impact and silhouette of the house on the natural landscape. (See Roof Materials and Color, page III-25).
5. Natural Terrain: Houses should be designed and sited to conform to the natural terrain as much as possible.
6. View from House: Houses should be sited to take advantage of views. For example, split-level dwellings may be used to facilitate views from one house over another.

H. ACCESSORY STRUCTURES (WALLS, FENCES, STREET FURNITURE, PAVING)

1. Walls and Fences

Walls and fences are an integral part of the Hunter's Ridge architectural form. Locations, types, material and placement shall be adopted with this Specific Plan and are indicated on the following Wall/Fencing Plan and exhibits. All fencing and walls are to be provided by each project builder at the time of development. Note: Community theme walls shall be installed as road improvements they front on are constructed and shall be treated with anti-graffiti sealant.

a) Solid theme walls or fences are required:

- 1) When residential areas are adjacent to and at the same grade as a school or commercial area.
- 2) When single-family detached dwelling units are located adjacent to multi-family attached dwelling units.
- 3) As backdrops to the community entry ways (primary and secondary).
- 4) At the edge of major divided highway rights-of-way (Cherry Avenue), Bridlepath Drive, Summit Avenue, and Duncan Canyon Road for community identity and for privacy or sound attenuation.

b) Solid theme walls or fences are allowed:







- 1) Along side yards between residential single family units. These walls or fences should be solid and 6'0" in height until they reach a point 10' in front of the unit itself. Beyond this point, the wall or fence may continue if it is open, but not over 3'6" in height.
- 2) When residential areas are adjacent to parks or open space.

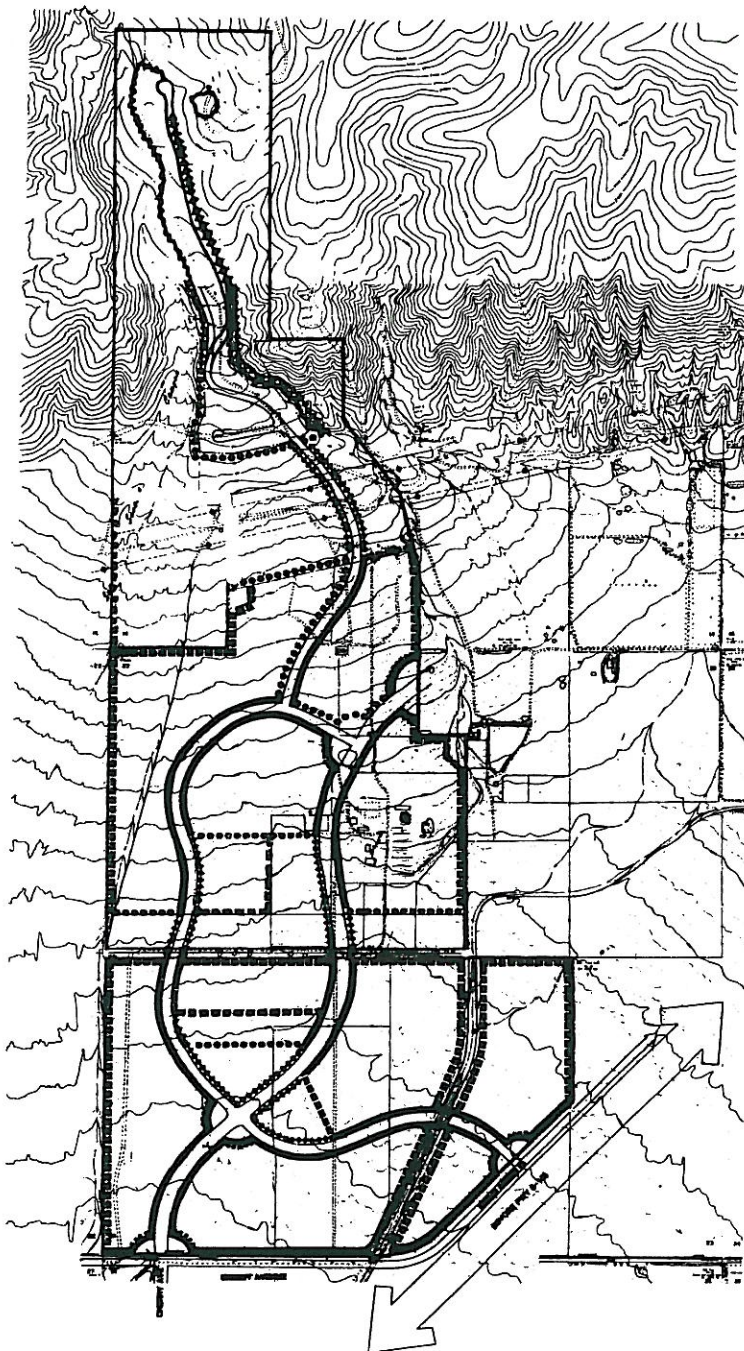
2. Walls and Fences in General:

- a) Walls and fences are to be designed so that they are compatible and contribute to the overall architectural theme.

Wall/Fencing Plan

LEGEND

-  COMMUNITY THEME WALL/
ENTRIES AND INTERSECTIONS
-  COMMUNITY THEME WALL (6')
-  VIEW FENCE (6')
-  OPEN METAL FENCE
-  PERIMETER WALL (6')
-  SPLIT RAIL FENCE (3')



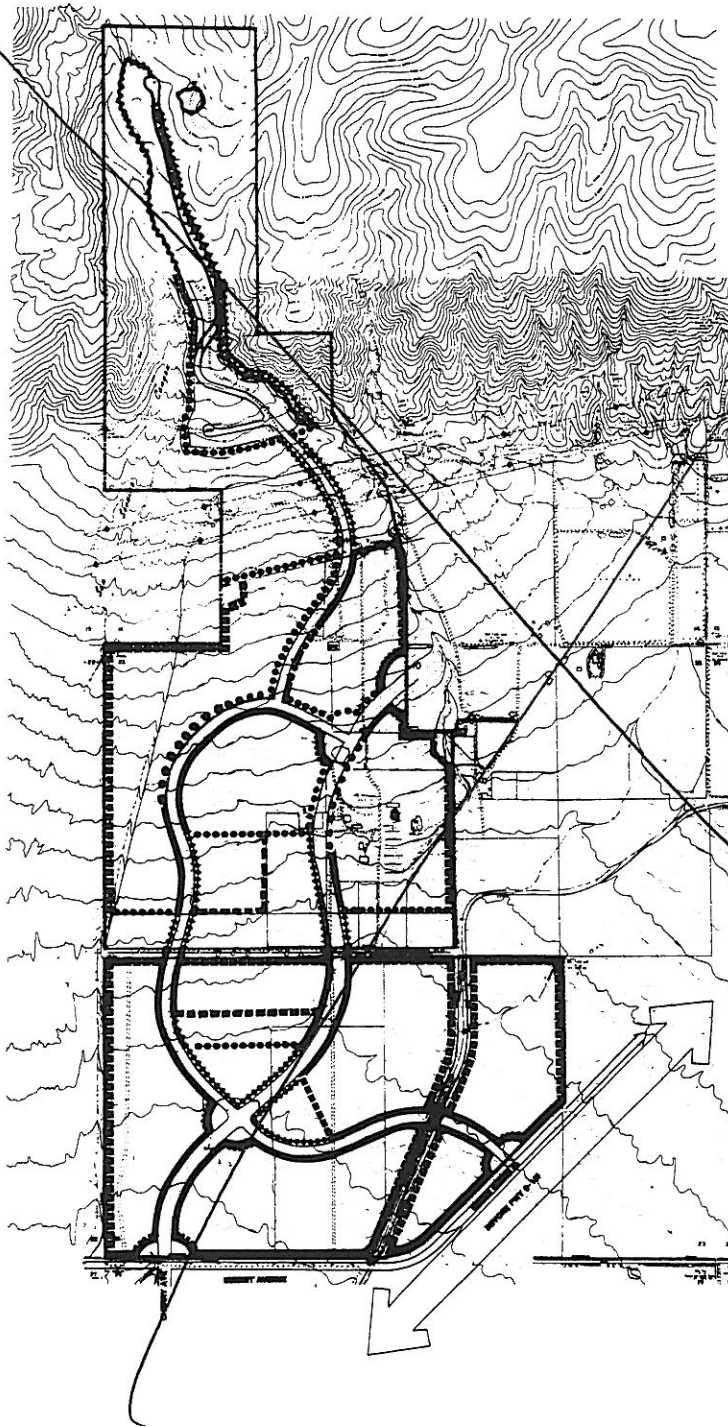
Hunter's Ridge

A SPECIFIC PLAN PREPARED FOR THE CITY OF FONTANA



EXHIBIT III-6

AMENDED 12/19/95
CITY COUNCIL ORD. NO. 1170
AMENDED 8/2/94
CITY COUNCIL ORD. NO. 1123
Amended 5/4/99
City Council Ord. No. 1286



Wall/Fencing Plan

LEGEND

- COMMUNITY THEME WALL/ENTRIES AND INTERSECTIONS
- COMMUNITY THEME WALL (6')
- VIEW FENCE (6')
- OPEN METAL FENCE
- PERIMETER WALL (6')
- SPLIT RAIL FENCE (3')

Hunter's Ridge

A SPECIFIC PLAN PREPARED FOR THE CITY OF FONTANA

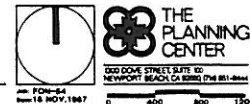
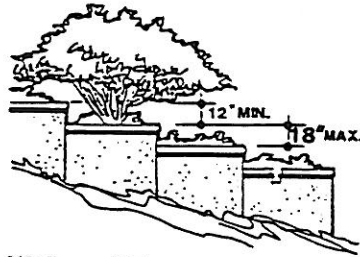


EXHIBIT III-6

AMENDED 12/19/95
CITY COUNCIL ORD. NO. 1170
AMENDED 8/2/94
CITY COUNCIL ORD. NO. 1123

- b) Care should be taken to provide privacy on the bedroom side of residences.
- c) When a change in pad elevation occurs, the wall or fence should be stepped in equal vertical intervals. No one step may be less than 12" nor more than 18" in difference. Non-vertical (sloped) walls are allowed if non-vertical length is 10 feet or less.



Walls and Fences

- d) Joints and weep holes shall be placed in walls as required by a structural engineer.
- e) All walls will end at a pilaster, unless approved by staff. On corner lots, walls and fences will return and connect with the residence.
- f) For the design of fencing between units, project builders will design and provide double-faced, not single-faced fences.
- g) There will be no fence, wall or obstruction more than three (3) feet above street or street curb level within the clear sight triangle (measured thirty (30) feet in both directions on the property line from the corner of two streets), or obstructing views for entry and exit of off-street driveways or multi-parking areas.

3. Recommended Wall and Fence Building Materials

Native fieldstone, wood, masonry, and stucco are recommended building materials and will be selected to set a predominant rural character throughout Hunter's Ridge. Walls will be a minimum of 6" thick (except perimeter walls). Pilasters shall be 16" square (minimum). Fences will be a minimum of 1" x 6" T.G. Panels with 4" x 4" posts. Recommended wall and fence materials include:

- a) Native stone, rock or split face. Rock color and type must be consistent throughout neighborhoods.
- b) Masonry walls or non-combustible simulated wood fencing (woodcrete or similar) for perimeter walls, split rail fencing, etc.
- c) Cement stucco over CMU block walls or paint over sacked joints on slumpstone.

- d) Wrought iron (or similar metal).
- e) Mortar washed brick (accent only)
- f) Approved combinations of above.
- g) Chain link fences are allowed only under special conditions approved by the Planning Commission and must always be screened by a hedge.
- h) Ceramic tile, wood or other materials are encouraged for design accent.

4. Community Theme Wall

This wall will provide community identity, security, privacy and sound buffering for residential and commercial units adjacent to project streets or incompatible land uses.

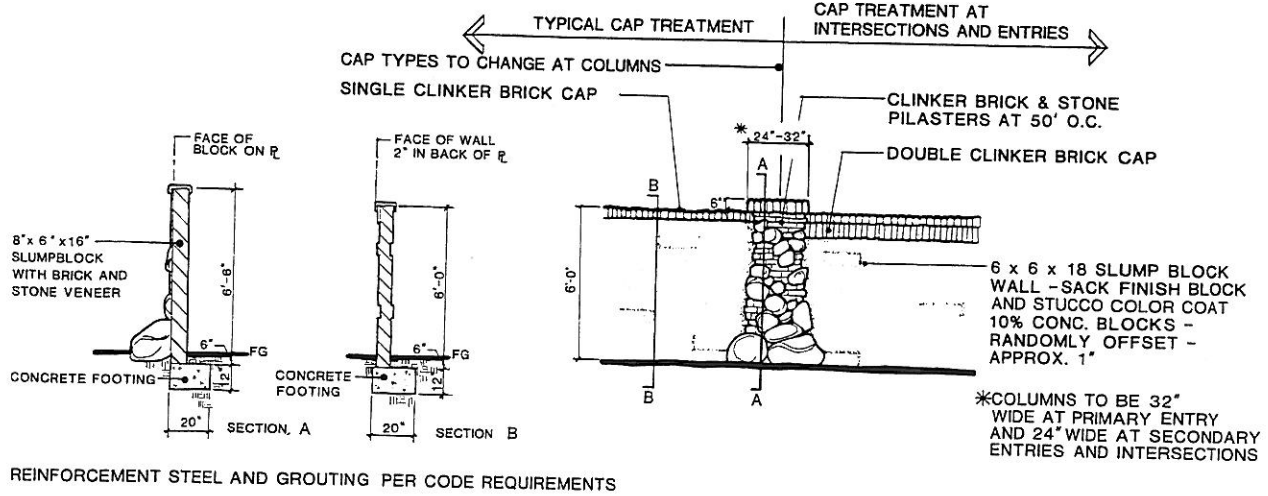
NOTE: Prior to any development or mass grading a master wall plan must be approved. (See Exhibit, previous page.)

- a) Community theme walls will be located at the property line and will be a 6 foot high solid wall with 16" (minimum) pilasters every fifty feet, and shall be treated with anti-graffiti sealant.
- b) Walls should also be designed to coordinate with and tie into berms (4' height maximum).
- c) Where loss of privacy is not a factor, walls along open space areas are to be of an open metal design. A stucco, rock or masonry wall may be used for the lower two feet. The metal fence is comprised of 5/8" wrought iron or similar pickets, at a maximum of 4" on-center, and painted black or a complementary building color. 2" sq post/6' oc's 1" x 2" top and bottom rail. NOTE: Ornamental wrought iron patterns are permitted but must be approved by the Planning Commission.

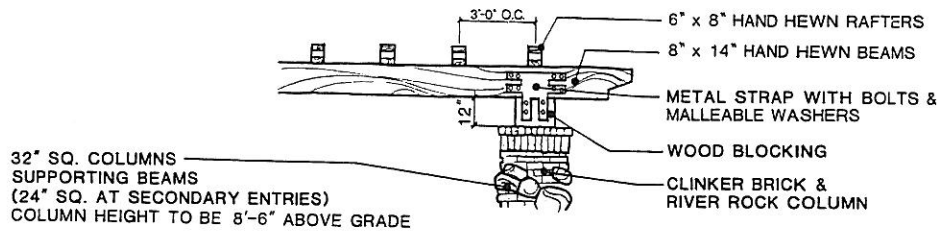
5. Perimeter Project Walls and Fences

The perimeter of a planning unit area shall have a wall or fence installed at the property line by the project builder where residential lots abut the community entry roads, Cherry Avenue or community collector. All perimeter walls will tie into the community theme wall whenever possible.

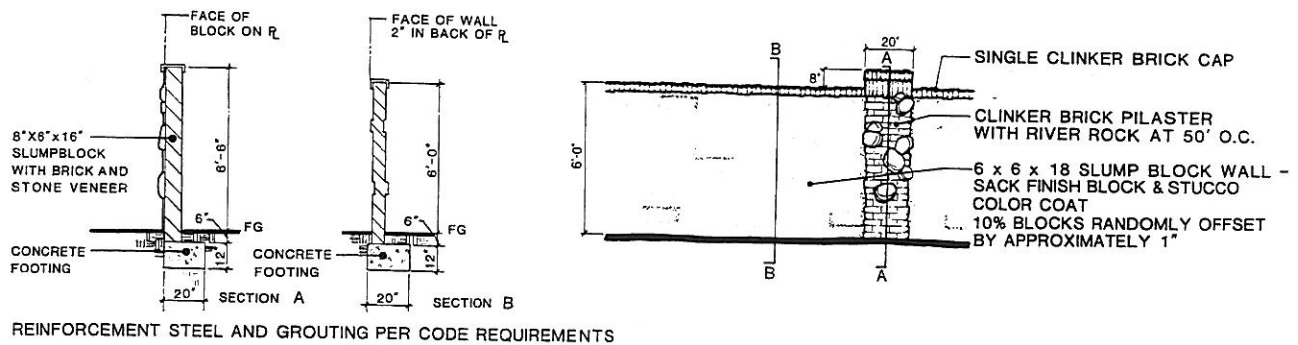
- a) This wall or fence will be 6' tall and must be the same for the neighborhood. It shall be placed so that its exterior edge is on the project property line and treated with anti-graffiti sealant. Only the exterior facade shall be maintained by the City. Note: A minimum of 6" of soil shall cover wall foundation.



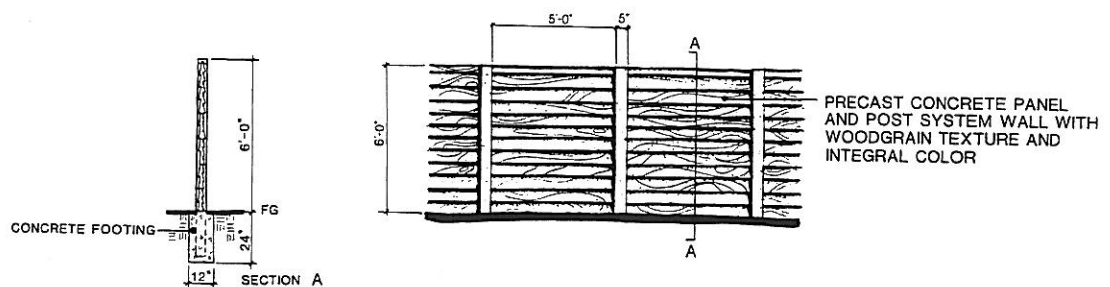
COMMUNITY THEME WALL / @ INTERSECTIONS & ENTRIES



ENTRY PERGOLA STRUCTURE



COMMUNITY THEME WALL



PERIMETER WALL

Hunter's Ridge

A SPECIFIC PLAN PREPARED FOR THE CITY OF FONTANA
SOURCE: THE L.A. GROUP, INC.

EXHIBIT III-7

- b) Wall colors will be natural wood tone, such as gray or brown, and shall be consistent for entire project.
- c) The developer shall fence the common boundary (prior to final map recordation) between the National Forest Service lands and the project. The fence shall be a four wire barbed wire fence with metal posts and shall meet or exceed NFS Standard Drawing #R5-SD-A3-1.
- d) Prior to final map recordation the developer shall also monument this common boundary (see e. above). The monuments shall be permanent 1-1/2" O.F.I.P. with attached L.S. or R.C.E. tag.

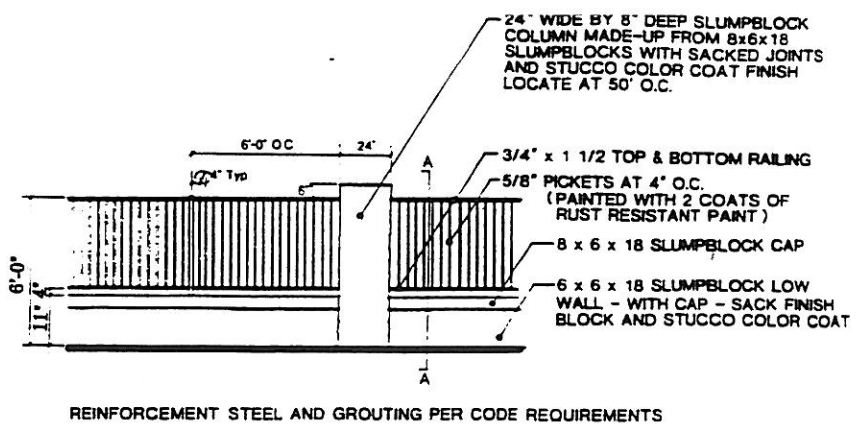
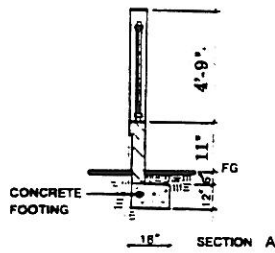
6. View Fences

A view fence is a 6' combination open/closed fence (see Exhibit) designed to permit views but provide security. It should be wrought iron (or similar) on top of two courses (up to 42") of slump block or rock with pilasters a minimum of 50' on center. Wrought iron should be 5/8" pickets, 4" on center or an approved ornamental pattern, and uniformly painted a neutral color for each P.U.A. (white prohibited) to compliment the building color or black.

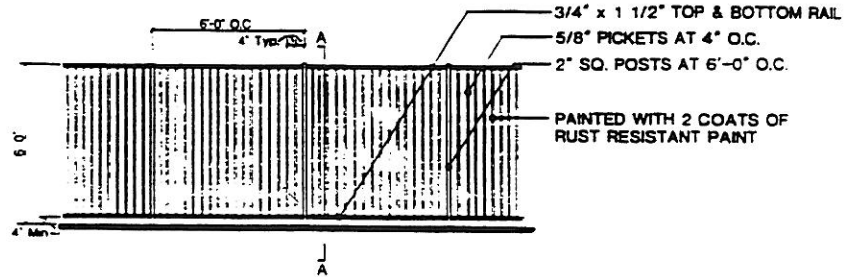
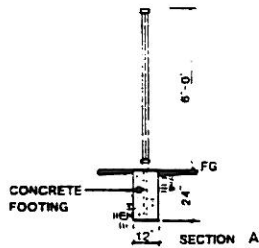
7. Rear and Side Yard Privacy Fence or Wall

These walls and fences function as a visual privacy element as well as a security element along residential rear and side yards. They shall not exceed six (6) feet in height.

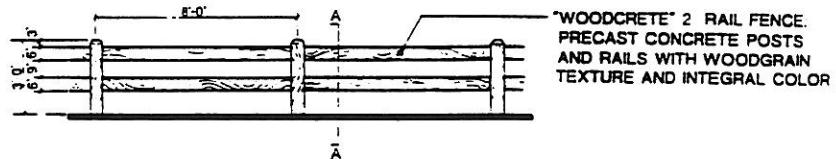
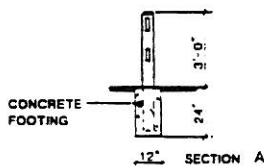
- a) All fences or gates shall be designed to complement the architectural theme. Wood gates shall be kiln dried, treated with a preservative, stained or painted, and maintained.
- b) Wood gates will be used to visually screen recreational vehicles from public view. Gates over 12' total width need special approval. (See also Recreation Vehicles p. III-49).
- c) On corner lots, walls shall be located in rear yard area adjacent to roadway. Note: no walls over 3"-6" high shall front onto a street (see 8a. below).



VIEW FENCE



OPEN METAL FENCE



RURAL RAIL FENCE

NOTE: ALL WALL AND FENCE SURFACES TO BE TREATED WITH ANTI-GRAFFITI SEALANT (EXCEPT FOR WOOD FENCE ABOVE ON PRIVATE PROPERTY).

Hunter's Ridge

A SPECIFIC PLAN PREPARED FOR THE CITY OF FONTANA
SOURCE: THE L.A. GROUP, INC.

EXHIBIT # III-8

AMENDED 8/2/94
CITY COUNCIL ORD. NO. 1123

III-38

8. Front Yard Walls and Fences

- a) Fences or walls shall be a maximum 3'6" in height if located in the front building setback area and visible from a public street.
- b) A fence up to six feet high is permitted on the front yard property line provided it is a "view fence" as described in 6. Entry and driveway gates may be seven to eight feet high if open fences, and must be wrought iron or complimentary pattern.
NOTE: Elegant wood entry gates are encouraged.

9. Recreation Area Fence/Wall

This type of enclosure is required around a community pool site for security and to meet health department requirements per State Health Code, Title 24, The height shall be four feet minimum and shall not exceed six feet. The preferred material is wrought iron or similar. Wrought iron should be painted to complement the architectural color scheme. Block pilasters with a stucco finish every ten feet to support open wrought iron panels is a preferred solution. (See exceptions, page III-40 for other recreation fences.)

10. Easement Walls

The buffer wall screening above ground power line, and other surface easements will be a 6-foot view fence or recreation fence. This wall will be coordinated with community theme wall and perimeter project wall placement. Chain link is prohibited.

11. Parking Lot Walls

Solid walls or hedges (3' high) to screen views of parked cars from street side are required around all commercial parking lots. A landscaped berm, split rail fence in front of berm and hedge is a preferred solution. NOTE: These walls or hedges must be setback a minimum of 5' from the street right-of-way.

12. Split Rail and Wood Fences

- a) Split rail fencing (3' high minimum) is encouraged at entries and where green open space fronts on major roads as a rustic rural theme element. It is also encouraged along the rural (canyon) road.
- b) Wood fences are prohibited.

13. Retaining Walls

Walls retaining more than six feet of soil are allowed only in special conditions. They must be designed and stamped by a Professional Engineer, registered in California, and approved by the Planning Commission.

14. Exceptions

- a) A six-foot high wall or fence is permitted in the front yard (up to within 5 feet of access drives, carport, garage or parking stall) of any apartment complex over 20 units, and for patios or courtyards in townhouses or condominiums.
- b) Tennis courts, volleyball courts and baseball fields may have solid walls or vinyl-coated non-shiny chainlink fences a maximum of 16 feet in height provided they are located in areas of low visual prominence and are setback seven feet (7') from the property line.
- c) A four strand barbed wire fence along the National Forest Service boundary is required (see 5c. and d.).

15. Street Furnishings and Paving

Street furnishings serve aesthetic as well as functional uses. Elements such as mailboxes, benches, bus shelters and trash receptacles create opportunities to reinforce the design theme of each neighborhood.

a) Common Characteristics

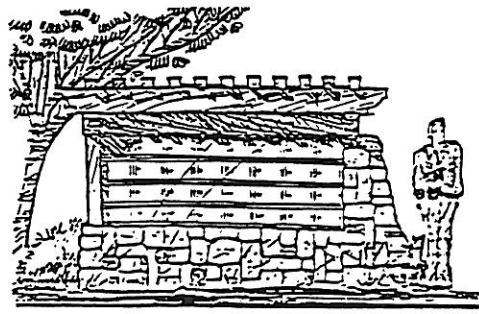
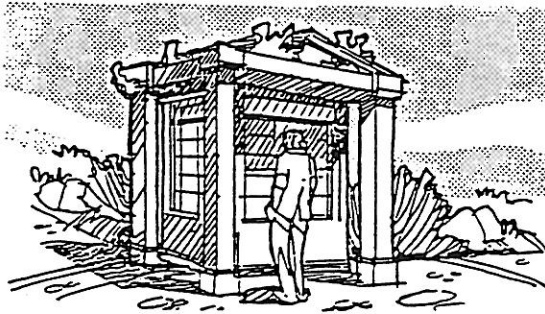
The following are considerations to be used in evaluating all street furniture items. Street furniture should:

- 1) Consider the security, safety, comfort and convenience of the user, including the handicapped.
- 2) Be simple in function and design.
- 3) Be compatible in form, color and scale with surroundings and other street furniture.
- 4) Be cost efficient in terms of initial cost, expected life time and maintenance requirements.
- 5) Not obstruct stairs, ramps, building entrances or exits, or loading areas. Furniture will be placed to minimize policing or security hazards.
- 6) Be conservative in use of sidewalk space, and maintain a clear width adequate to accommodate pedestrian flows.

- 7) Be incorporated in park or landscape spaces and off street amenity areas.
- 8) Be constructed of long wearing, vandal-resistant materials capable of withstanding climatic conditions.

b) Mailboxes.

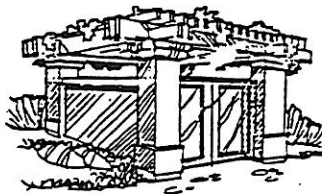
- 1) A mailbox plan shall be approved by the U.S. Postal Service before issuance of building permits.
- 2) Single-family mailboxes shall be placed and grouped in accordance with USPS regulations in wall, wood or pilaster structures. Exposed mailboxes are discouraged.
- 3) For long streets, mailboxes should be clustered in at shared property lines so that they are within a 3 to 4 house walk from addressee. In a cul-de-sac, mailboxes may be grouped in a cluster of eight (8), twelve (12) or sixteen (16) if in a centrally located island that allows for driver side pick-up.
- 4) For upper residential estate and rural lots single or double boxes are permitted at roadside.
- 5) Multi-family developments shall group mailboxes. In such cases common mailbox structures shall be located near major entry or recreation areas. Driver-side pick-up from vehicular will not be allowed. The structure should be of a design similar to the planning area in which it exists. (Sketch for illustrative purposes.)



- 6) Mailboxes and their standards shall be uniform in design, shape, size, color and address identification. Final design should relate to architecture of individual neighborhood.
- 7) Exposed silver metal poles and mailboxes are prohibited.

c) Trash Receptacles

- 1) Trash receptacles in single family residential areas shall be located in the ground with secure metal lids, or in side yards or in utility yards. They shall be screened by an approved non-combustible enclosure or landscaping and concealed from view of adjoining lots. Receptacles shall not be placed along street rights-of-way except for collection day unless the method of screening and concealment from view is approved by the Planning staff.
- 2) Above-ground trash receptacles in multi-family project areas must be fully enclosed with masonry or stucco walls (5' minimum height) with wood doors on metal frames, with landscape on at least two sides. (Sketch for illustrative purposes only.) Note: Overhead enclosure is encouraged (minimum 7' height).



Trash Enclosure

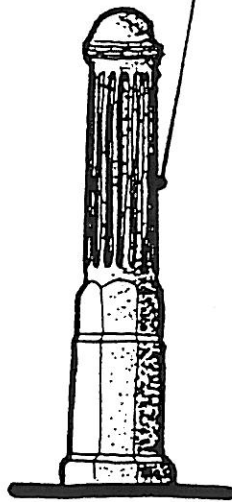
- 3) In commercial areas, trash receptacles must be located on the least visual prominent side of the establishment, or collectively enclosed out of view in a common enclosure.

d) Bollards

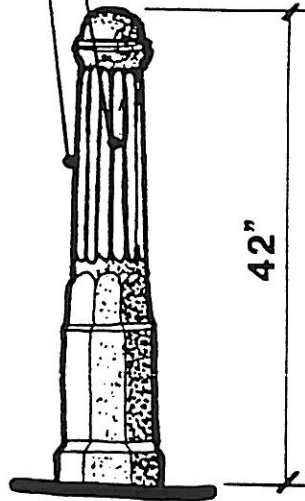
The purpose of bollards is to physically separate pedestrians and vehicles in high traffic areas, such as public gathering areas or commercial zones, to safeguard children and adults, as well as to protect street furnishings or other elements of the streetscape. These guidelines apply to bollards utilized in the streetscape or in areas visible by passing motorists and pedestrians.

OPEN FLUTING
WITH INTERNAL WHITE
POLYCARBONATE LENS

ONE PIECE
CAST ALUMINUM



SOLID BOLLARD



LIT BOLLARD

Hunter's Ridge

SPECIFIC PLAN PREPARED FOR THE CITY OF FONTANA

EXHIBIT III-9

- 1) Regulation - Any bollards placed adjacent to public streets should meet placement and design conventions of regulatory agencies.
- 2) Material - The bollards should be constructed of concrete or masonry with a smooth stucco finish, or other quality material that is compatible with adjacent walls.
- 3) Design - The design of the bollards must be consistent on each site or on two or more sites if there is a visual connection of bollard use. There are many square and round forms of bollards available and some may fit the architectural vocabulary established by the specific building(s) on the site, better than others.
- 4) Proportions should be heavy or massive, suitable for the material used, rather than tall and thin. Height should be adjusted to a level always visible to automobile drivers at the closest distance they will approach the bollards. 18" is a minimum height in any case. 3'0" is the maximum height unless incorporating a pedestrian light in which 3'6" is the maximum height.

e) Newspaper Stands

- 1) Plazas, courtyards, entrance spaces and bus shelters should be designed to accommodate newspaper stands in an aesthetically pleasing manner using materials and styles that compliment the architecture. Build newspaper stand into wall where possible.

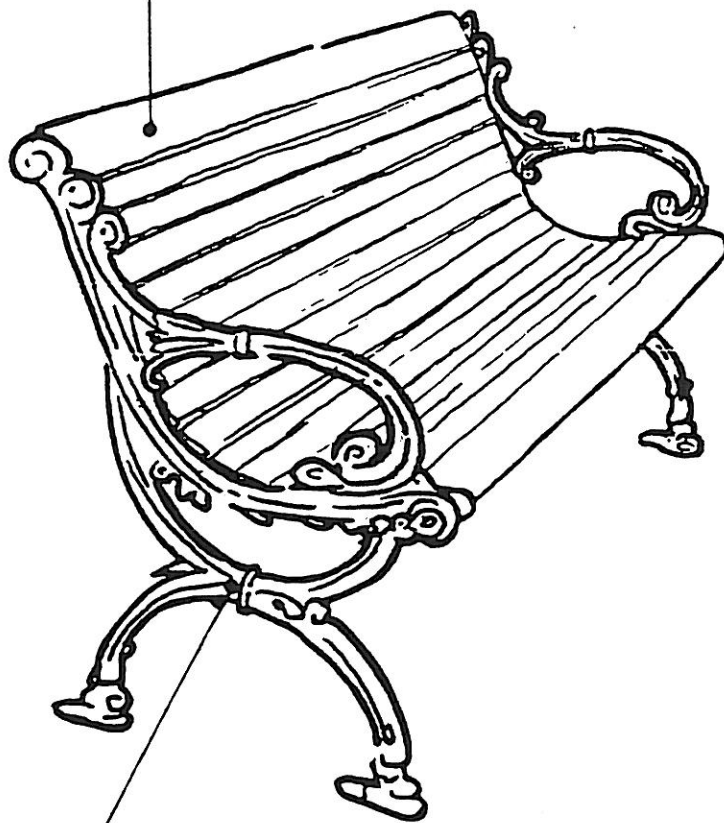
f) Bus Shelters

- 1) Bus shelters shall be installed in areas which generate the highest bus passenger volume. Locations shall be coordinated with the City traffic engineer.
- 2) Bus shelters shall contain no advertising or signage except for identification purposes. Bus shelters shall be constructed using materials and styles as discussed in the architectural guidelines. The design of these shelters shall provide the user with protection from the sun, wind, rain and snow, provide a place to sit, a light and a trash receptacle. Optional equipment encouraged is a telephone, drinking fountain and newspaper stand.

g) Benches

- 1) Benches encourage pedestrian use since they provide a comfortable place to rest or wait. The most prevalent place they will be used in the streetscape is at bus stops, either with or without a shelter.

**PRE - DRILLED TREATED REDWOOD
TIMBERS WITH RADIUS EDGES**



**CAST ALUMINUM BLACK POWDER - COATED
FRAMES WITH EXTENDED FOOT PADS FOR
PERMANENT SURFACE MOUNT**

Hunter's Ridge

A SPECIFIC PLAN PREPARED FOR THE CITY OF FONTANA

EXHIBIT III-10

- 2) The benches should be sited in such a way that they do not interfere with pedestrian traffic and have ample shade in the summer.
- 3) Benches may be made from masonry and stucco, wrought iron, wood or combinations thereof.

h) Pools

- 1) The design of swimming pools, spas, and pool houses shall be approved by the Planning Department staff whether or not construction accompanies dwelling unit or occurs thereafter. All associated mechanical equipment shall be concealed from view from adjoining properties and roadways.

i) Ancillary Buildings

Tennis courts, guest houses, storage sheds and other accessory structures will be allowed after review of plans by the Planning Department staff. A written permit is required and structure design shall be approved by the Planning Department staff.

16. Loading, Storage, Refuse and Servicing Areas

- a) Loading dock areas shall be set back, recessed, or screened so as not to be visible from adjacent lots or sites, neighboring properties or streets, and in no event shall a loading dock be closer than seventy-five (75) feet from a property line fronting upon a street, unless otherwise approved in writing by the Planning Commission.
- b) In commercial areas, no materials, supplies, or equipment, including trucks or other motor vehicles, shall be behind a visual barrier screen so as not to be visible from neighboring properties and streets. Storage areas screened by visual barriers shall be located upon the rear portions of a site. No storage area may extend into a setback area except with the written approval of the Planning Commission.
- c) Provisions shall be made on each site for any necessary vehicle loading or unloading. No on-street vehicle loading or unloading shall be permitted.

17. Paving

a) Areas

- 1) Patterned pavement and special paving materials can be used in limited areas to emphasize entries and places of special interest. Utility wirelines and pipelines shall not be installed under such special materials. The following places requiring this emphasis are as follows: Community Entries, Major Intersections, Neighborhood Entries, Residential Driveways, Cul-de-sac Courts, Trail/Road Crossings, Curb Detailing, Private Walks, and Bus Stops.

- 2) Acceptable Paving Materials for Use in Limited Areas: Integrated Color Cement (earth tones), Decomposed Granite, Brick, Asphalt, Concrete, Native Stone, Pre-cast Pavers, Interlocking Special Paving, Cobbles, and approved combinations of above.
- 3) All crosswalks for pedestrian use will be smooth materials.
- 4) All patterned and special materials used in major and secondary highways or community collectors must be relatively smooth to minimize noise impacts to adjacent residents.
- 5) Patterns and colors must be approved by the Planning Department staff.

b) General Paving Guidelines

- 1) Smooth materials should be used to encourage movement; rough materials to slow movement down may be used in non-crosswalk areas.
- 2) The number of paving materials used in one place shall be limited to three.
- 3) Public safety will be protected by insuring that paved surfaces are not excessively slippery when wet.
- 4) Large expanses of asphalt should be reduced by combining the use of other materials at edges, walks and entry areas.

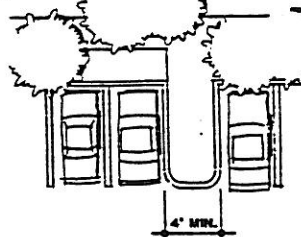
c) Special Pavement Guidelines

- 1) Equestrian Trail surface shall be decomposed granite. In specific dual usage areas (e.g., fire access), asphalt is acceptable.
- 2) Bike Path surface should be constructed of asphaltic concrete (4" minimum) if off-road.

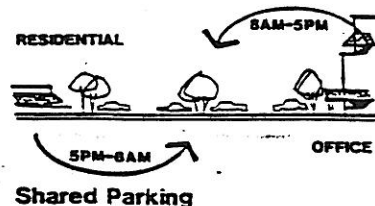
I. PARKING AND PARKING LOTS

Parking criteria, lot layout, dimensions of stalls and aisles and off-street traffic flow will be governed by the City Code and these guidelines (whichever is more restrictive).

- a) Use of required front yard area for off-street parking or vehicle storage is not allowed. A maximum of no more than 1/3 of any part of a yard to the front of a dwelling may be used for parking (except in cases of cul-de-sacs in which 2/3 may be used).
- b) If aisles should be positioned perpendicular to building entries for pedestrian access, parking lot layout is parallel to buildings and one or two bays deep, walking space with a minimum of four feet between stalls should be provided every fifteen spaces and at key locations to create pedestrian corridors.

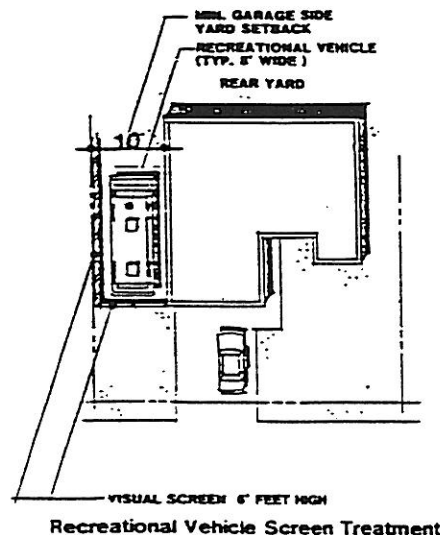


- c) Shared parking concepts which allow adjacent uses with different peak parking demand times to share spaces will be applied whenever possible.



- d) Parking lots will be well landscaped and screened from view from public rights-of-way.
- e) Compact parking stalls (16' x 8') may account for a maximum of 30 percent of all required parking stalls.
- f) Vehicular access to parking lots should be clearly marked with clear distinctions between long-term and short-term parking, through curb painting or signage.

- g) Off-street Parking spaces will be provided for all residential dwelling units as provided in this Specific Plan (see Exhibit II-4, II-5).
- h) Large areas of asphalt or concrete paving for parking lots can be uninteresting and can deflect heat into nearby buildings. Lots will be landscaped (with ground cover and shade trees) to reduce exposed paved surface areas.
- i) Accommodations for guest parking (1 per 3 dwelling units) in high-density residential developments will be evenly distributed.
- j) Recreational vehicles are to be stored out of public view in the side or rear yard of residential lots. A 10-foot side building setback on the garage side of the yard must be provided for this purpose. NOTE: This potential exists if zero lot line development is used, or in the larger lot districts. (See Exhibit II-4, Side Building Setbacks). Recreational vehicles shall be screened from public view by use of an approved wall, fence, hedge, or combination thereof, to a height of six feet. Wood gates will be used to visually screen this area from public view. Recreational vehicles are not allowed to be stored in the front yard of any residential lot.



J. SIGN GUIDELINES

All signs within Hunter's Ridge will be designed to provide consistent reinforcement of the Hunter's Ridge character. Signs must communicate not only specific information but should, in themselves, add to the attractiveness of the area.

Signs in Hunter's Ridge should advertise a place of business or provide directions and information. Signs shall be architecturally attractive and contribute to the character of the area. Signs should not compete with each other or dominate the setting via inconsistent height, size, shape, number, color, lighting or movement.

Signs shall conform to the guidelines set forth herein and in the Master Sign Program. Sign regulations not addressed herein or the Master Sign Program shall be subject to the City of Fontana Sign Code.

1. General Sign Regulations

- a) The design of identification and directional signage will require approval by the City and must be in accordance with the existing sign ordinances except as noted herein and in the Master Sign Program.
- b) Application for sign approval shall be accompanied by sketches and drawings to scale and dimensions showing details of construction, and shall delineate the size, shape, design, material, coloring, lettering, lighting and position in relationship to the building form or place where it will be displayed. Scaled sketches of existing signs on the premises, including signs for which valid permits exist, whether or not such signs are in existence, shall accompany the application.
- c) No signs unless lawfully permitted shall be placed upon or project into or above public property or right-of-way, except as noted herein.
- d) Painted signs shall use fade-resistant, durable exterior finish paint.
- e) The typeface used on all signs will be consistent with the architectural style of the buildings.
- f) Signs may be lighted, however, no light that flashes or blinks or affects changes in hue or intensity of illumination is permitted. Illumination sources for the sign will be hidden from view.

- g) Public signs shall be limited to those absolutely necessary for:
 - 1) Good traffic flow
 - 2) Safety, and
 - 3) Public information
- h) It is the responsibility of the land owner to remove any sign abandoned or not in use for a period in excess of ninety (90) days.
- i) Clear sight angles shall be observed and enforced at all intersections, corners, parking areas and drives at all times.
- j) Billboard signs are prohibited.

2. Residential Sign Guidelines

- a) On-premise advertising, real estate or subdivision signs.
 - 1) Temporary model complex signage or signs advising future construction on the site may be erected by the project builder. Such signs shall not separately exceed a vertical height of six (6) feet, a horizontal length of eight (8) feet, nor a total area of more than twenty-four (24) feet. All levels of signage will be reviewed by the Planning Department staff.
 - 2) Two identification wall, monument, or ground signs are permitted per major entrance to the development or planning unit area, provided there is a minimum of 25 dwelling units within the project. Sign copy is limited to name and address of the development, One sign, not to exceed six (6) feet in height and fifty (50) square feet in area, may be located along each street frontage abutting the site. A minimum distance of 50 feet must be maintained between signs.
- b) Off-premise real estate or subdivision signs.
 - 1) No on-site advertising, real estate or subdivision signs are permitted for projects or products located outside of Hunter's Ridge.
 - 2) Real estate project or model complex signs of permanent or temporary nature with project name call-outs and arrows to direct prospective buyers are permitted as part of an "intersection sign structure" (see On-Premise Commercial Area Guidelines (6)).

- 3) Community facility identification signs. Such signs shall not exceed a vertical height of eight (8) feet, nor a total area of one hundred (100) square feet.

3. Commercial Area Guidelines

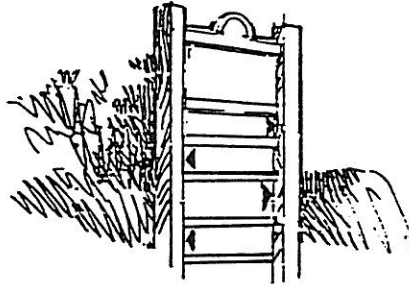
a) On-Premise Advertising or Identification Signs

- 1) One wall sign is permitted for each wall face of the establishment provided there are no more than two (2) wall signs.
- 2) A wall sign on the front or primary face of an establishment will not exceed one square foot for each linear foot of frontage. Signs of over 16 square feet are discouraged, and will not cover over 10 percent of the building frontage wall.
- 3) No roof top signs are permitted. If establishments are located within an arcade or court, they may collectively place a single freestanding sign at the entrance to said arcade or court to identify each business within. Maximum height of such sign will not exceed four feet above average adjacent grade. Each establishment shall have a maximum of 1.5 square feet for identification.
- 4) One perpendicular (30 degree or greater) projecting sign not to exceed six (6) square feet will be permitted on the front or primary face of each establishment, provided that the sign is designed as a graphic representation of the establishments goods or services, such as a boot advertising a shoe store.
- 5) One ground sign per street frontage is permitted for the name of a shopping center or business park maximum sign area 50 square feet and maximum height of eight (8) feet. Ground signs shall be a minimum of 5 feet from any property line.
- 6) One intersection ground sign is permitted during project build out at each community entry and special intersection. The maximum height of this sign is six feet; panels may be 6 feet long by 10" high (see Off-Premise Sign).

b) Off-Premise Signs:

- 1) A limited number of intersection ground sign structures will be permitted along Summit Avenue within the street ROW, provided they are located within 500 feet of Cherry Avenue where information regarding a change of direction is required. The intent of this type of sign is to consolidate real estate, subdivision or advertising information for clarity and equal exposure on a limited number of highly visible sign structures.

- 2) Sign copy shall be restricted to project names located within Hunter's Ridge. Sign structure shall comply with BIA guidelines (illustration for conceptual purposes only).



c) Directional Signs:

Sign programs shall be required for Business Park uses, shopping centers, and other mixed use areas (see General Sign Regulation 1.b) and should be designed in accordance with the General Sign regulations.

4. **Sign Programs**

- a) A Sign Program is intended to encourage creativity and innovativeness; expressing variety and diversity in design. At the same time, however, the program should foster the consistent application of materials and styles within the Commercial land use category.
- b) On-Premise Directional Signs
 - 1) Directional signs should be freestanding but are permitted on the faces of buildings or structures provided that such signs shall not be placed higher than eight (8) feet above the immediately adjacent ground level nor above the eave line whichever is the lesser.
 - 2) Directional signs indicating the location of parking or business addresses, or regulating the flow of on-premise traffic are permitted to locate on a separate freestanding ground structure provided that it does not exceed three (3) feet in height, and four (4) square feet in area.

- 3) Maximum size for a single sign face or panel providing direction to a major establishment within a project shall not exceed a maximum of one and one half (1.5) square foot.
 - 4) Total number of signs to be used for this purpose should not exceed four (4) per establishment and should be combined when possible.
 - 5) Residence and establishment name signs, occupants name plates and address numbers are those signs which, by their nature and wording, or lettering identify and locate either the house, establishment, or its occupant, or both. Such signs may include pictorial and decorative designs as well as words and numbers, and may be in any shape or form, but should not exceed one and one half (1.5) square foot in area.
- c) Off-Premise Directional Signs
- 1) Off-site directional signs are limited to location markers or directory maps, street signs, and traffic safety signs.
 - 2) Location markers are permitted as ground signs which illustrate the community or business park layout and list and locate the establishments therein. The sign area of such location markers should not exceed four feet in height or four feet in width. The location and number of these markers should be determined by the Planning Department.
 - 3) Traffic safety signs will be subject to the standards of the City, State and Federal highway agencies.
 - 4) Street signs will convey the name of the street only, and comply with the City standards.

5. Prohibited Signs

The following signs are prohibited:

- a) Signs constituting a potential traffic hazard or which simulates or imitates in size, color, lettering or design any traffic sign or signal.
- b) Unofficial (non-regulatory) signs on public property (street, or median island, parkway, sidewalks, traffic control sign posts, utility poles, park land, trees, etc.), except as allowed herein.
- c) Animated or moving signs: signs consisting of any moving, swinging, rotating, flashing, blinking or otherwise animated components. A limit of one time and temperature display may be located in Hunter's Ridge (message area shall not exceed 10 square feet).
- d) Off-premise signs: any sign, other than a simple directional sign, installed for the purpose of advertising a project, development, event, person or subject not related to the premises upon which sign is located, except as allowed herein.
- e) Vehicle signs: signs on or affixed to trucks, vans, automobiles, trailers or other vehicles which advertise, or provide direction to a use or activity not related to its lawful making of deliveries or sales of merchandise or rendering of service from such vehicles.
- f) Pole signs, pylon signs: a freestanding sign which exceeds four feet in height above grade.
- g) Portable signs: a freestanding sign not permanently affixed, anchored, or secured to the ground or a structure on the lot it occupies, including tailored signs. NOTE: Sandwich boards are prohibited.
- h) Roof signs: any sign erected, constructed and maintained upon or over the roof of any building, unless it is a projecting canopy sign or sign tied in architecturally to the framework of roof.
- i) Other prohibited signs: advertising signs and billboards, inflatable signs or balloons, inflatable animals, magnetic signs, unless otherwise specified in these guidelines or approved by the Planning Commission.

K. LIGHTING GUIDELINES

Light quality must be geared to the specific use of the area. A new community area requires a warm, simple lighting geared to its distinctive character. Each light must also be attractive to look at during the day when the pole, base and light add another dimension to the urban scene.

The lamp elements should not become an important sculptural element on the landscape. Fixtures should be uniform and unobtrusive. Plastic styles are not permitted.

1. Building Exterior Lighting

The exterior lighting of public use buildings is intended to give full time visual appreciation and to attract attention to these buildings during the night hours as well as during daylight hours. The lighting of these buildings is often a subtle and dignified, yet highly effective, form of advertising.

Lighting is part of the architecture vocabulary and as such can be utilized to help create and dramatize a nighttime image of a structure, sculpture, or garden thereby extending the hours of their usefulness. Public buildings, churches, and monuments are generally spotlighted as an expression of civic pride.

2. Street Lighting

Streets and intersections will be well lighted. The maximum height of street lights (with the exception of safety lights at intersections), should be approximately 25 feet, but will average 13'6" (see sketch page III-58). Intersections might have increased wattage for definition and to alleviate automobile/pedestrian conflicts. The effect would be one of varying-size pools of light.

3. Parking Areas

Parking areas should be illuminated with soft light from numerous small fixtures or lights from hidden sources. In order to promote a pedestrian environment, the elevation of lighting standards in parking areas or its periphery shall not exceed 20 feet in height. The lot illumination level shall achieve a uniformity ratio of 3 to 1 (maximum to minimum foot candles).

4. Walkway, Trail and Path Lighting

Low "pedestrian" level lighting will be installed at selected intersections along walkways, trails and paths in the two parks (PLAN 4 and 10), wilderness parks, multi-family areas, primary and secondary entries, major intersection, and commercial area. Bollard lighting (3' high) is recommended along commercial sidewalks.

4.0 Plan Administration and Implementation

IV. PLAN ADMINISTRATION AND IMPLEMENTATION

A. DEVELOPMENT PROJECT REVIEW PROCESS

1. Purpose and Intent

This section references procedural and content requirements for the review and approval of development projects in planning unit areas within the adopted specific plan. It is the intent of this section to establish applicability of appropriate sections within Chapter 33 of the City's ordinances which set forth clearly defined procedures for the streamlined review of such development while insuring consistent implementation of the objectives, standards and quality features of each specific plan community.

2. Applicability

Procedures referred to herein shall apply to all planning unit areas within the Hunter's Ridge Specific Plan area. Notwithstanding procedural requirements for preexisting uses, no building or grading permit, conditional use permit, tentative tract map, or other entitlement shall be granted on any parcel within said area prior to the completion of procedures contained herein.

Projects to implement this plan may include master tentative tract maps, tentative tract maps, tentative parcel maps, design review applications, conditional use permits, variance applications or any combination of these.

3. Procedural Overview

The topics covered in Chapters 28 to 33 of the City's Zoning Ordinance which apply to administration of this Specific Plan include:

a) Processing

- 1) Prefiling Conference (if required) with Current Planning Staff
- 2) Application Fees
- 3) Application Requirements
- 4) Environmental Review/Clearance
- 5) Development Advisory Board (DAB) Review
- 6) Planning Commission Review
- 7) City Council Review, if necessary
- 8) Permit Expiration

b) General Administration

- 1) Planning Unit Area or Project Review
- 2) Conformity
- 3) Capital Improvements Funding (Obligations Inventory)
- 4) Zoning/Land Use Districts
- 5) Land Use District Boundaries
- 6) Special Districts
- 7) Determination of Uses
- 8) Conditional Uses
- 9) Variances and Adjustments
- 10) Certificates of Occupancy
- 11) Development Agreement
- 12) Enforcement
- 13) Amendment/Modifications
 - a. Amendment procedures
 - b. Notices
 - c. Findings and conditions, use of
 - d. Effective date

B. PHASING PLAN







Three phases are depicted in the phasing plan (Exhibit IV-1) on the following page IV-4, and on the Land Use Summary on pages V-9 and 10. The phasing plan is based on a south to north progression starting on the flatter land of Phase One with a range of high, moderate and moderately low residential densities, moving north to the hillside (5-10 percent slope) of Phase Two with moderate to low densities, and culminating in the upper canyon area of Phase Three with large exclusive estate and rural lots.

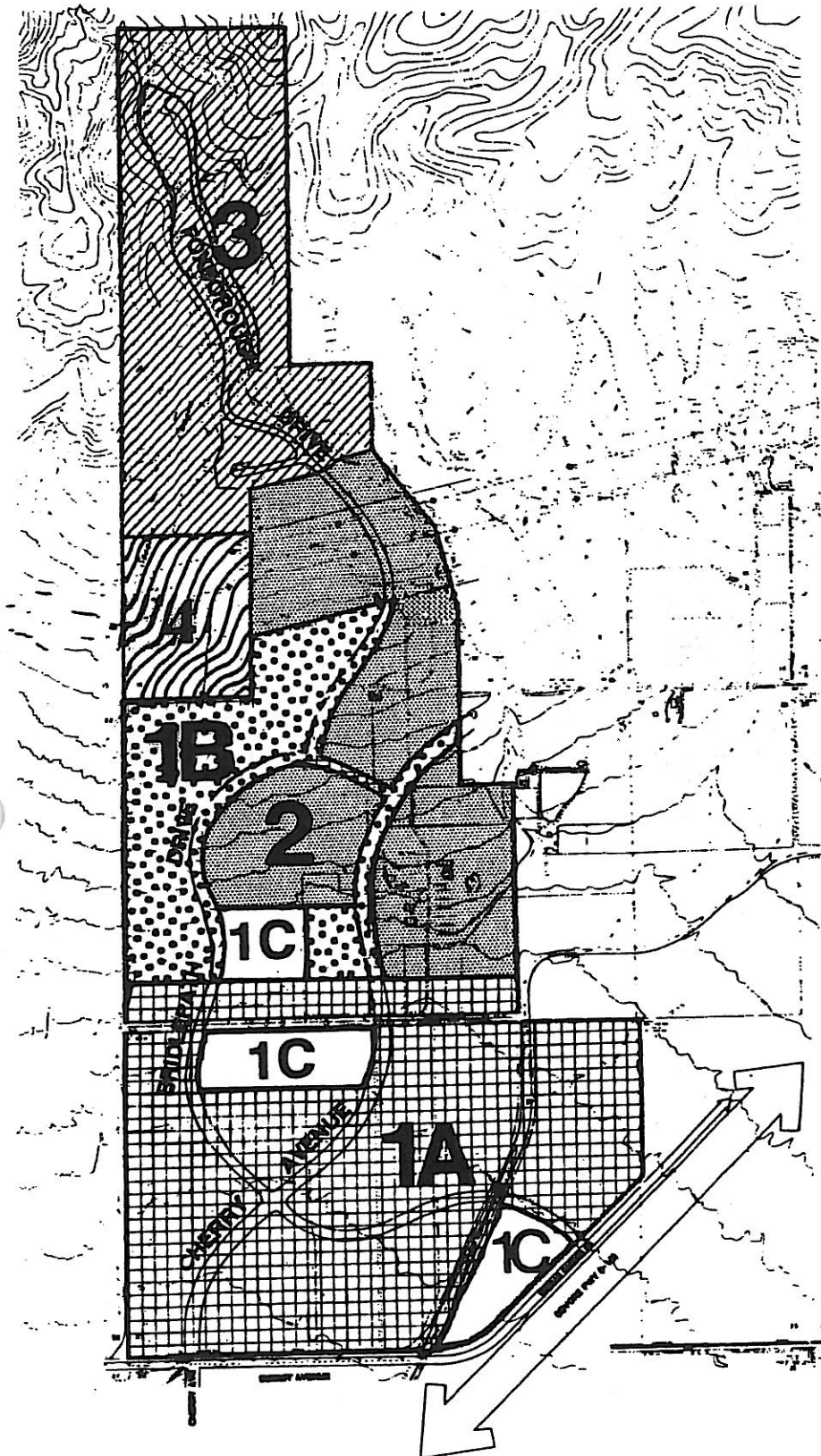
Phase One includes 316.9 acres, Phase Two includes 129.7 acres and Phase Three includes the 121.0 acres north of the upper SCE easement. Because this area will need the public services made possible by the construction of Phases One and Two, it is assumed that it will develop after the area to the south is largely built out. (For more information on phasing see Fiscal Impact Report).

Concurrent with land sales and development, the necessary public facilities must be installed. Primarily because of sewer phasing, this means starting at the southwest corner of the property and moving in a northerly direction with infrastructure and development. The phasing plan additionally must reflect incremental balances in housing types and cost ranges to respond to City housing policies and achieve effective market response.

Phasing Plan

LEGEND

	PHASE 1A
	PHASE 1B
	PHASE 1C
	PHASE 2
	PHASE 3
	PHASE 4



dated 5/4/99
City Council Ord. No. 1286

Hunter's Ridge

A SPECIFIC PLAN PREPARED FOR THE CITY OF FONTANA

AMENDED:

IV -3

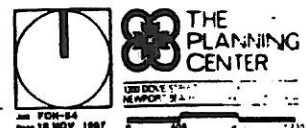





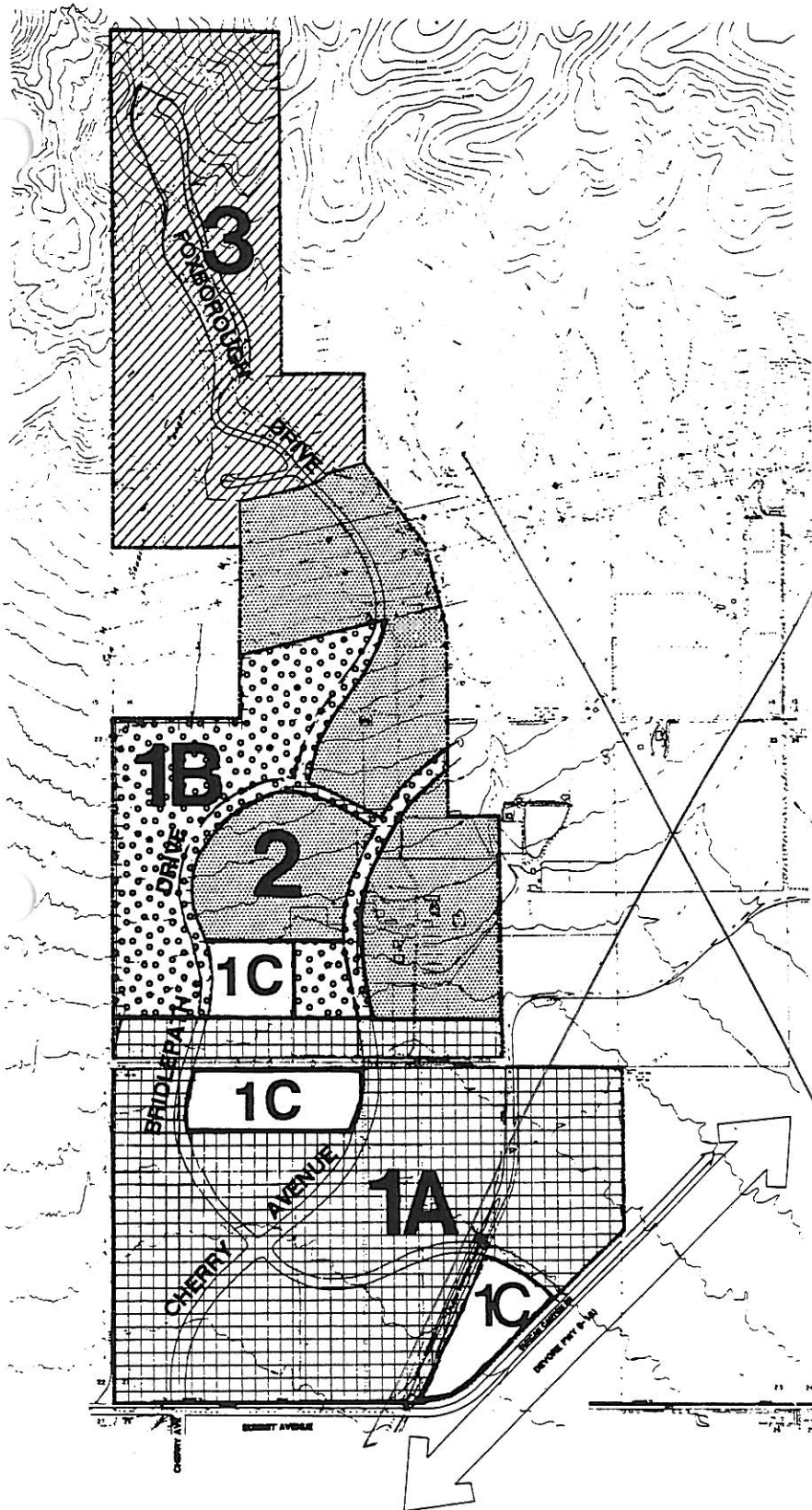


EXHIBIT IV-1

Phasing Plan

LEGEND

	PHASE 1A
	PHASE 1B
	PHASE 1C
	PHASE 2
	PHASE 3



Hunter's Ridge

A SPECIFIC PLAN PREPARED FOR THE CITY OF FONTANA
AMENDED:

CITY COUNCIL ORDS. NOS. 1123(8/2/94)
1170(12/19/95)

IV-3

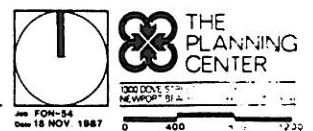


EXHIBIT IV-1

5.0 Specific Plan Elements

V. SPECIFIC PLAN ELEMENTS

A. INTRODUCTION

This section of the Specific Plan describes how the City policies and developer needs are translated into a tangible and realistic community plan. The intent is to ensure that the variety of uses proposed -- residential, commercial, recreational uses and open space will form a balanced community that: 1) is economically viable, 2) is responsive to environmental and community design concerns, 3) reflects and implements the City's quality standards, 4) can be implemented in a timely and efficient manner and 5) that can be maintained within the capabilities of responsible public agencies that will serve it.

The selection and location of the uses for the Hunter's Ridge planning area are based on a rationale illustrated in Exhibit V-1, Community Structure Concept.

The major elements of this Specific Plan include:

- Land Use Plan
- Circulation Plan
- Community Structure Concept
- Open Space/Streetscape Plan
- Community Facilities/Services Plan and
- Utilities Plan

The Land Use and Circulation Plans identify detailed standards and requirements to which individual development projects must conform. The remaining Concept Plans represent guidelines which must be addressed in every development project, but for which there is some latitude in the details of the response.

Specific Plan objectives derived from the General Plan goals and objectives; issues, opportunities and constraints; and the EIR process set the stage for all of the specific plan elements.

B. SPECIFIC PLAN OBJECTIVES

The City of Fontana wants to achieve the following as a result of implementing the Hunter's Ridge Specific Plan:

- a. Increased housing and ancillary uses to respond to increasing demand in the Fontana area;
- b. A strong sense of neighborhood and community;

- c. Broader residential opportunities at the upper end of the spectrum of the homebuyers' market;
- d. An upgraded City image through higher quality housing;
- e. A strong, identifiable community structure utilizing a system of streets, bikeways, trails, open space and recreation facilities;
- f. Enhanced image and appearance of the major arterial highways (in this case Cherry Avenue) within the City;
- g. Improved functional capacities of major arterials within the City;
- h. Convenient commercial centers rather than strip commercial development;
- i. Improved recreational and aesthetic qualities;
- j. Open spaces which create a visually pleasing environment as well as clarifying City and neighborhood boundaries;
- k. Commercial facilities meeting the retail and service needs of the planned community, conveniently accessible by all modes of transportation;
- l. Educational, cultural and recreational activities in close proximity to one another and conveniently accessible to their potential users;
- m. Integration of various housing types with employment areas;
- n. Schools and parks located together whenever possible;
- o. Preservation of the most significant historic artifacts;
- p. Strengthened community identity and image;
- q. Bikeways and pedestrian trails connecting schools, parks and commercial areas;
- r. Maximum flexibility at implementation levels, stimulating free-market response to provision of varied housing types;
- s. Mixed but compatible residential densities;
- t. Buffers between incompatible land uses;

- u. A commitment to a regional equestrian trail as an adjunct to the Specific Plan;
- v. Timely financing of required facilities and services;
- w. Concurrent phasing of development and infrastructure in a balanced relationship; and
- x. A simplified but thorough plan format for ease of administration.

C. COMMUNITY STRUCTURE CONCEPT

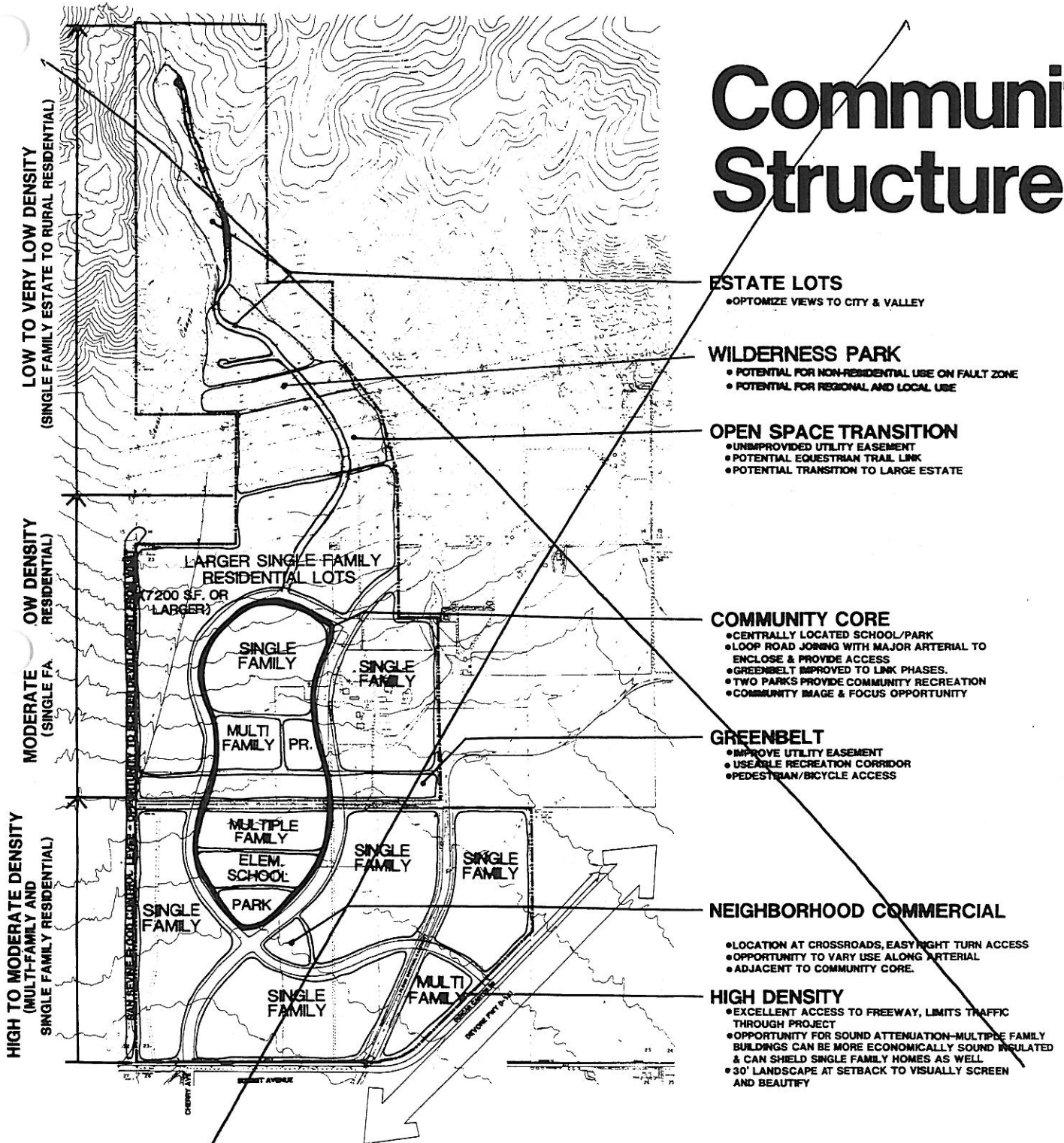
The basic purpose of the Community Structure Concept is to establish a framework for all other plan components.

The Hunter's Ridge proposed community structure is in large measure a response to its existing rural location, the long narrow shape of the parcel, and the slope zones of the site.

The community structure is based on several interrelated concepts:

- o The first concept that directs the community structure is the land use concept of "graduated density." The site is naturally divided into three zones - a lower flatter zone, a middle moderately sloping zone (5-10 percent) and a narrow canyon area (10-25+ percent). These zones are further separated and delineated by utility easements. Due to these existing conditions the community structure places the high to moderate residential densities on the lower flatter land, the moderate to low density homes on the middle moderate slopes, and the low to very low densities in the upper canyon area.
- o The second characteristic of Hunter's Ridge is an internally oriented "community core." This community core is created by a loop community collector road that joins Cherry Avenue (the major arterial) to enclose and provide access to the central portion of the project. By so doing the SCE utility easement will be used as an open space linkage joining the middle and lower parts of the project rather than dividing them. The community core will contain the project's centrally located elementary school and adjoining park, a single family neighborhood, a second park and the SCE easement improved to provide community recreation and two multiple family townhouse neighborhood. Bike paths, walkways and jogging trails circle the community core and connect it to surrounding land uses.

Community Structure



Hunter's Ridge

A SPECIFIC PLAN PREPARED FOR THE CITY OF FONTANA

Amended:

City Council Ord. Nos. 1218 (05/20/97)

1170 (12/19/95)

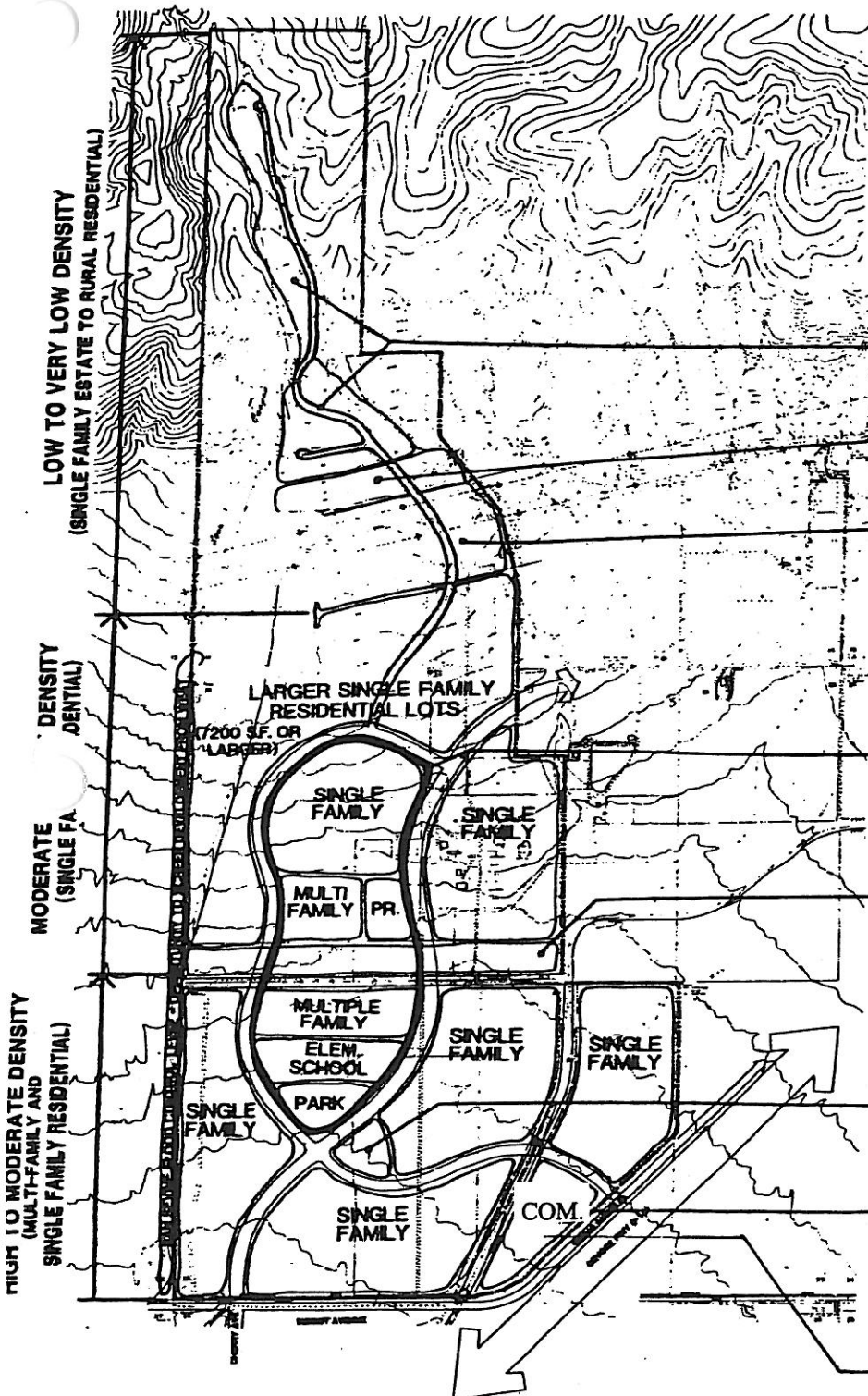
1128 (08/09/94)

V-4



EXHIBIT V-1

Community Structure



ESTATE LOTS

- OPTIMIZE VIEWS TO CITY & VALLEY

WILDERNESS PARK

- POTENTIAL FOR NON-RESIDENTIAL USE ON FAULT ZONE
- POTENTIAL FOR REGIONAL AND LOCAL USE

OPEN SPACE TRANSITION

- UNIMPROVED UTILITY EASEMENT
- POTENTIAL EQUESTRIAN TRAIL LINK
- POTENTIAL TRANSITION TO LARGE ESTATE

COMMUNITY CORE

- CENTRALLY LOCATED SCHOOL/PARK
- LOOP ROAD JOINING WITH MAJOR ARTERIAL TO ENCLOSE & PROVIDE ACCESS
- GREENBELT IMPROVED TO LINK PHASES
- TWO PARKS PROVIDE COMMUNITY RECREATION
- COMMUNITY IMAGE & FOCUS OPPORTUNITY

GREENBELT

- IMPROVE UTILITY EASEMENT
- USEABLE RECREATION CORRIDOR
- PEDESTRIAN/BICYCLE ACCESS

NEIGHBORHOOD COMMERCIAL

- LOCATION AT CROSSROADS, EASY RIGHT TURN ACCESS
- OPPORTUNITY TO VARY USE ALONG ARTERIAL
- ADJACENT TO COMMUNITY CORE

HIGH-DENSITY

- EXCELLENT ACCESS TO FREEWAY, LIMITS TRAFFIC THROUGH PROJECT
- OPPORTUNITY FOR SOUND ATTENUATION - MULTIPLE FAMILY BUILDINGS CAN BE MORE ECONOMICALLY SOUND-INSULATED & CAN SHIELD SINGLE FAMILY HOMES AS WELL
- 30' LANDSCAPE AT SETBACK TO VISUALLY SCREEN AND BEAUTIFY

COMMERCIAL (Self Storage)

- Access to Freeway
- Sound & Visual Barrier from Freeway

Amended 5/4/99

City Council Ord. No. 1286

Hunter's Ridge

A SPECIFIC PLAN PREPARED FOR THE CITY OF FONTANA

AMENDED:

CITY COUNCIL ORDS. NOS. 1123(8/2/94)

1170(12/19/95)



THE PLANNING CENTER
200 N. MOUNTAIN CENTER DRIVE, SUITE 200
FONTANA, CA 92335-5000
TEL: 951-833-1100
FAX: 951-833-1101

DATE: MAY 24, 1997

EXHIBIT V-1

- o The third characteristic of Hunter's Ridge is to provide a rural/suburban environment by promoting residential estate opportunities in the upper canyon area; safeguarding scenic open space slopes that are too steep or erosive for development, and existing open space opportunities in the washes, creeks and easements; as well as through the use of modified road standards, rustic building materials, rural effect streetscape and increased recreational opportunities to minimize contemporary suburban appearances inappropriate to the project's rural setting at the foothills of the San Gabriel Mountains.

Essential features of the plan include:

1. Estate quality residential view lots (minimum 10,000 sf) to be located at the mouth of the canyon and upper canyon areas of the plan;
2. A variety of residential densities and product types in both single and multiple family categories;
3. The higher densities located near community amenities and services, access points, and on flatter land;
4. A major arterial which serves as a community link through the project connecting Cherry Avenue;
5. An elementary school and adjacent park located in the community core to add improved open space to the school and a neighborhood park located adjacent to a public utility easement in the middle of the community core to connect to trail systems;
6. A neighborhood commercial site at the first major intersection and adjacent to a park creates a community center;
7. Lowest density is located in the middle and upper parts of site to minimize visual impact of roofs on the hillside;

V-5

Amended:

City Council Ord. Nos. 1218 (05/20/97)
1170 (12/19/95)
1123 (08/02/94)

9. A lineal parkway with a sidewalk and jogging trail in the major arterial right-of-way;
10. Scenic open space in the upper canyon generally on slopes over 20 percent;
11. Major green open spaces, a goal for North Fontana's roadways, are provided first upon approaching the project with landscape setbacks along Summit Avenue and Duncan Canyon Road, then upon arrival at the primary project, then at a park at the first major intersection, then as an improved open space public easement next to a park, then at a major intersection, and finally at the secondary entry exiting the project's northwestern edge.
12. Neighborhood orientation to achieve efficient grading, drainage and solar access;
13. Phased construction within the three phases to facilitate provision of infrastructure at acceptable costs.

D. LAND USE PLAN

The Land Use Plan is depicted on p. V-8. It encompasses a total of 570 gross acres and is divided into 40 planning unit areas.

Each planning unit area in the Land Use Plan also contains a net acreage figure, the prescribed zoning district and, for residential planning units, the maximum number of dwelling units allowed (subject to limited flexibility rules contained in Chapter II).

Table 5-1 summarizes the proposed land uses by major categories and sub-categories as well as by phase. In addition, a subtotal is included for all residential and non-residential uses and for Phases 1, 2 and 3 combined.

The acreage shown for the planning unit areas includes land devoted to internal local streets and residential collectors but does not include acreage within the adjacent arterial highway, Cherry Avenue.

1. Residential Land Uses

Within the 570 acre project, estate and larger lot single family residential neighborhoods are clustered along the northerly portion of the site. Smaller lot single family areas lie generally through the central and southern portion of the plan. Townhouse products are generally at the center of community core of the community. Apartments are separated entirely from all other residential neighborhoods.

Residential land uses occupy approximately 345 acres or 61 percent of the planning area.

Intended densities range from a low density estate character of 2.5 unit per gross acre to moderately high density apartments as high as twenty dwelling units per acre. The average residential density for all residential areas and associated required open space is 3.7 dwelling units per gross acre. This translates into a net residential density of 6.2 dwelling units per acre.

The residential categories are distributed in terms of acreage and dwelling units as depicted in Table 5-1.

The intended character and role of each residential classification is described in the following sub-sections.

Land Use

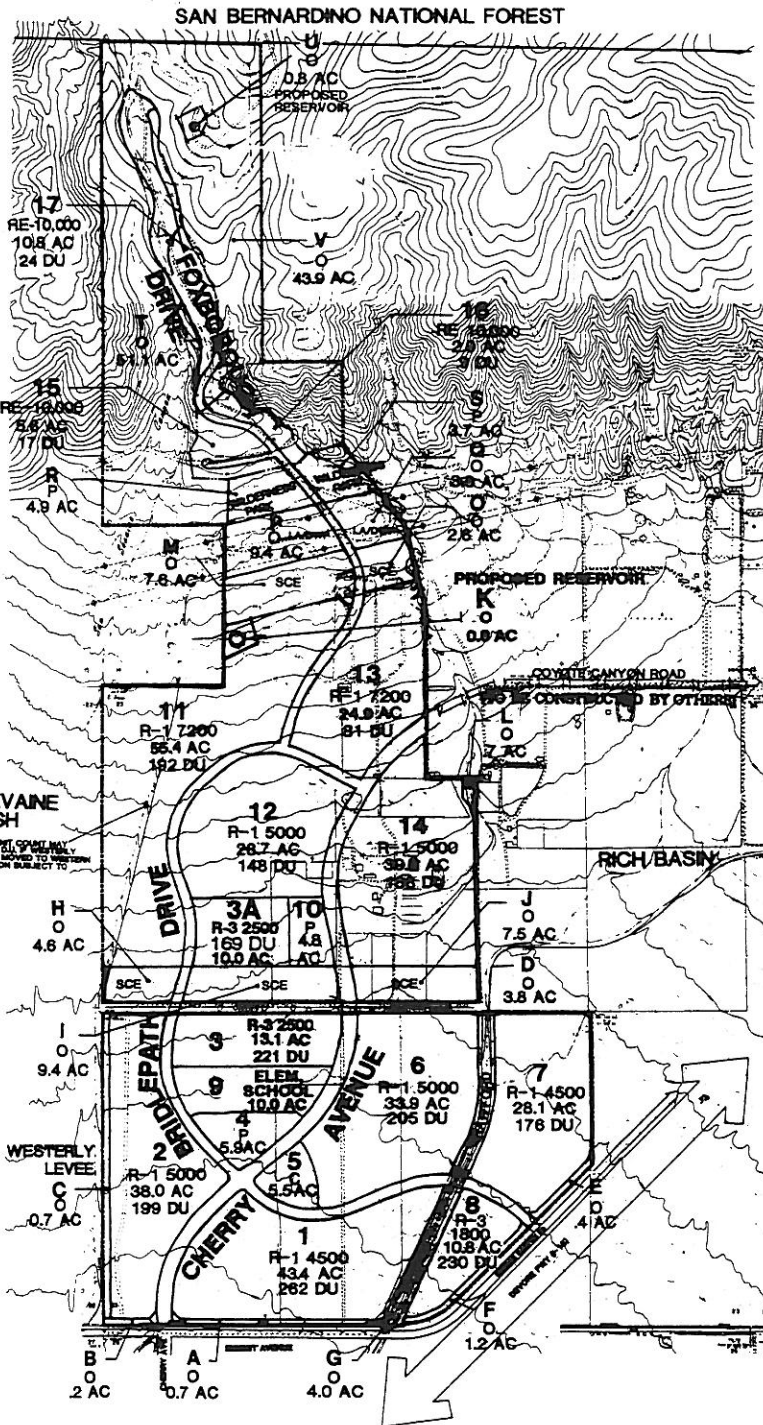
LEGEND

RESIDENTIAL	# OF DU	NET ACRES
ESTATE RESIDENTIAL		
RE-10000	50	19.3
SINGLE FAMILY RESIDENTIAL		
R1-7200	273	80.3
R1-5000	740	139.9
R1-4500	438	71.5
MULTI FAMILY RESIDENTIAL		
R3-2500 (TOWNHOUSE)	390	23.1
R3-1800 (APARTMENTS)	230	10.8
SUB-TOTAL	2,121	344.9
NON-RESIDENTIAL		
COMMERCIAL (C)		
NEIGHBORHOOD COMMERCIAL		
PUBLIC (P)		
PARK		19.3
ELEMENTARY SCHOOL		10.0
OPEN (O)		
IMPROVED		21.0
UNIMPROVED		133.0
STREET		
PUBLIC		33.9
SUB-TOTAL		222.7
TOTAL		567.6

PLANNING UNIT AREA DATA

1	PLANNING UNIT
AREA NUMBER/LETTER	
R1 4500—ZONING DISTRICT	
43.4 AC—NET ACRES	
262 DU—MAXIMUM PERMITTED DWELLING UNITS	

NUMBERS 1 THROUGH 18: FOR SALE P.U.'S
LETTERS A THROUGH V: FOR DEDICATION OR SALE P.U.'S



Hunter's Ridge

A SPECIFIC PLAN PREPARED FOR THE CITY OF FONTANA

REFERENCES FOR BASE INFORMATION:

* A.L.T.A. SURVEY BY ROBERT, BEN & FROST JULY 16, 1986
* J.P. KAPP & ASSOCIATES, INC.

EXHIBIT V-2

Amended:

City Council Ord. Nos. 1218 (05/20/97)

1170 (12/19/95)

1123 (08/02/94)

V-8

Land Use

LEGEND

RESIDENTIAL

OF DU NE
ACR

ESTATE RESIDENTIAL

RE-10000	50	19.
SINGLE FAMILY RESIDENTIAL		
R1-7200	318	90.
R1-5000	740	139.
R1-4500	438	71.

MULTI FAMILY RESIDENTIAL

R3-2500 (TOWNHOUSE)	390	23.1
R3-1000 (APARTMENTS)	230	16.8

SUB-TOTAL 2166 355
1936 344.

NON-RESIDENTIAL

COMMERCIAL (C)

NEIGHBORHOOD COMMERCIAL	9.0
	5.5

PUBLIC (P)

PARK	19.3
ELEMENTARY SCHOOL	10.0

OPEN (O)

IMPROVED	21.0
UNIMPROVED	152.9

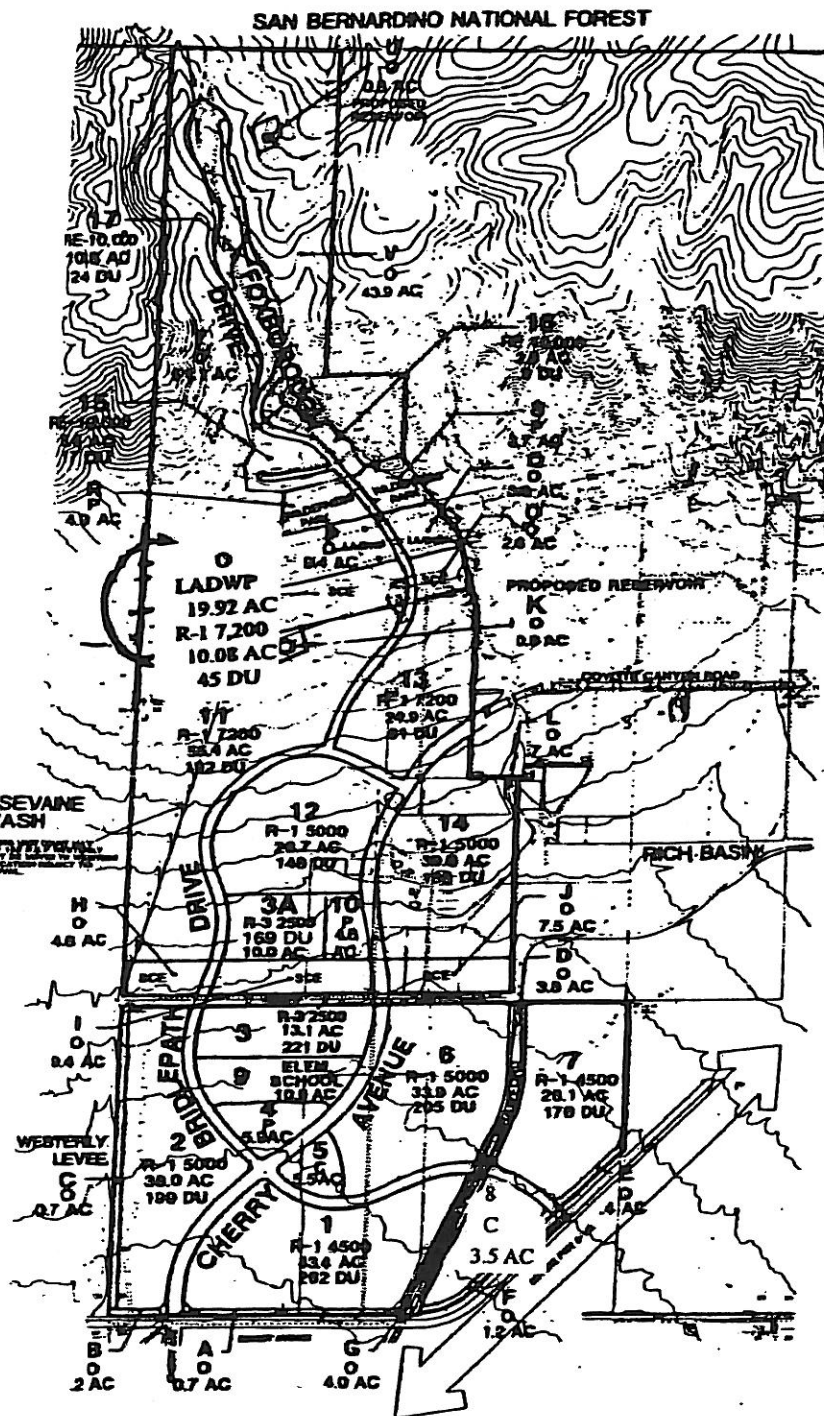
STREET

PUBLIC	38.6
--------	------

SUB-TOTAL 250.8 247.3
TOTAL 595.0 602.3

PLANNING UNIT AREA DATA

- 1 PLANNING UNIT
AREA NUMBER/LETTER
R1 4500—ZONING DISTRICT
43.4 AC—NET ACRES
202 DU—MAXIMUM PERMITTED
DWELLING UNITS



Hunter's Ridge

A SPECIFIC PLAN PREPARED FOR THE CITY OF FONTANA

REFERENCES FOR BASE INFORMATION:

- *ALTA SURVEY BY ROBERT, BEN & FROST JULY 16, 1988
- *J.P. KAPP & ASSOCIATES, INC.

EXHIBIT V-2

Amended:

City Council Ord. Nos. 1218 (05/20/97)

1170 (12/19/95)

1123 (08/02/94)

TABLE 5-1

HUNTER'S RIDGE DRAFT SPECIFIC PLAN
LAND USE SUMMARY

	Phase 1A Acres/DU	Phase 1B Acres/DU	Phase 1C Acres/DU	Phase 2 Acres/DU	Phase 3 Acres/DU	Total Acres/DU	Percent Acres/DU
I. <u>Residential</u>							
A. Estate Residential	-----	-----	-----	-----	19.43AC/50du	19.43AC/50du	3.4%/2.3%
B. Single-Family Residential							
7200 SF/du	-----	55.4AC/192du	-----	24.9AC/81du	-----	80.3AC/273du	14.1%/12.9%
5000 SF/du	71.9AC/404du	-----	-----	68.0AC/336du	-----	139.9AC/740du	24.6%/34.9%
4500 SF/du	71.5AC/438du	-----	-----	-----	-----	71.5AC/438du	12.6%/20.7%
C. Multiple-Family Residential							
Townhouse	-----	-----	23.1AC/390du	-----		23.1AC/390du	4.1%/18.4%
	-----	-----		-----			
Subtotal (AC)	143.4	55.4	23.1	92.9	34.1	344.2	57.8%
Residential Total	842 du	192 du	390 du	417 du	50 du	1,936 du	100%

V-9

Amended 12/19/95
City Council Ord. No. 1170

Amended 4/5/99
City Council Ord. No. 1286

Amended 8/2/94
City Council Ord. No. 1123

Amended 10/19/99
City Council Ord. No. 1306

TABLE 5-1

HUNTER'S RIDGE DRAFT SPECIFIC PLAN
LAND USE SUMMARY
(Continued)

	Phase 1A Acres/DU	Phase 1B Acres/DU	Phase 1C Acres/DU	Phase 2 Acres/DU	Phase 3 Acres/DU	Total Acres/DU	Percent Acres/DU
II <u>Non-Residential</u>							
A. Commercial	9.0 ac	-----	-----	-----	-----	5.5 9.0 ac	1.0%
B. Public School	10.0 ac	-----	-----	-----	-----	10.0 ac	1.7%
Park	5.9 ac	4.8 ac	-----	8.6 ac	-----	19.3 ac	3.4%
Major Roads	14.4 ac	10.3 ac	-----	3.3 ac	5.9 ac	33.9 ac	6.0%
C. Open Improved	21.5 ac	-----	-----	-----	-----	21.5 ac	3.8%
D. Open/Unimproved							
Scenic Open Space	-----	-----	-----	0.8 ac	95.0 ac	95.8 ac	16.9%
Flood Control	7.8 ac	-----	-----	-----	-----	8.5 ac	1.5%
Utility Easement	-----	-----	-----	0.7 ac	-----	23.4 ac	4.1%
Freeway Buffer	1.6 ac	-----	-----	23.4 ac	-----	1.6 ac	0.3%
Summit Ave. Buffer	0.9 ac	-----	-----	-----	-----	0.9 ac	0.2%
Other	0.7 ac	0.8 ac	-----	-----	0.8 ac	2.3 ac	0.4%
Non-Residential Total	79.1 ac	15.9 ac	-----	36.8 ac	101.7 ac	233.5 ac	39.3%
Total	222.5 ac	71.3 ac	33.9 ac	129.7 ac	121 ac	567.6 ac	100.0%

Amended 12/19/95
City Council Ord. No. 1170

Amended 4/5/99
City Council Ord. No. 1286

Amended 8/2/94
City Council Ord. No. 1123

Amended 10/19/99
City Council Ord. No. 1306

a. Estate Residential (RE-10,000)

Three planning unit areas in Phase Three of the project are designated for this use in order to provide large lot, move-up housing opportunities with suburban character and conventional subdivision design. Minimum lot size is 10,000 square feet.

b. Single Family Residential (R1-4,500 to 7,200)

Eight planning unit areas are designated for this use. The primary role of the several zoning districts within this category is to provide conventional detached single family dwellings in a variety of cost, size and lot configurations to provide a diversity of neighborhoods. In addition, these units will contribute to the development momentum so that infrastructure costs can be recaptured and value can be built for the larger lot single family projects as well as the estate developments. Lot size ranges from 4,500 to 7,200 square feet.

c. Multiple Family Residential (R3-1,800 to 2,500)

Three planning unit areas are designated for these uses: two for townhouse and one for apartments.

The planning unit areas for the townhouse development offers a 2,500 square feet of lot area per unit in project size of 3.0 acres.

The one apartment-oriented planning unit area represents the highest densities in the plan at 20 dwelling units per gross acre. They may be rental projects or, if desired, they may be treated as condominiums.

d. Options

The plan is designed to accommodate conventional development in each land use category, however planned residential development (cluster development) is an option in the plan for all of the single family residential and townhouse multiple family residential categories.

2. Non-Residential Uses

Non-residential uses account for approximately 222.7 gross acres and 39.3 percent of the Hunter's Ridge community.

a. Commercial (C)

One commercial planning unit area is shown on the plan. This commercial area will be located on the interior of the project and is intended to provide a range of neighborhood retail and service uses. (See Permitted Use Matrix - Exhibit II-3).

b. Public Uses (P)

Three planning unit areas are set aside for public uses to support the private development which constitutes the bulk of the community. In addition, other uses not identified as planning unit areas qualify as public uses.

- 1) Parks: Two local park sites are designated, ranging from 4.8 to 5.9 acres. They are located to visually and functionally serve all neighborhoods in the plan.

In addition, two wilderness parks are designated with areas of 3.7 to 4.9 acres, respectively. These parks are located in the southern Phase 3 area adjacent to the San Sevaine and Bullock Canyons.

The total local park acreage of 19.3 acres exceeds the City minimum requirements (16.3 acres) by 3.0 acres or 18 percent.

Note: This total does not include the scenic open space land (95.0 acres) in the upper canyon which will also be a public resource, nor the N-S and E-W equestrian trail (see Trail Exhibit III-5).

- 2) Schools: One elementary school (10.0 acres) is strategically located in the center of the community core for ease of access to all residents.

2. Non-Residential Uses

Non-residential uses account for approximately 233.5 gross acres and 41.1 percent of the Hunter's Ridge community.

a. Commercial (C)

One commercial planning unit area is shown on the plan. This commercial area will be located on the interior of the project and is intended to provide a range of neighborhood retail and service uses. (See Permitted Use Matrix - Exhibit II-3).

b. Public Uses (P)

Three planning unit areas are set aside for public uses to support the private development which constitutes the bulk of the community. In addition, other uses not identified as planning unit areas qualify as public uses.

- 1) Parks: Two local park sites are designated, ranging from 4.8 to 5.9 acres. They are located to visually and functionally serve all neighborhoods in the plan.

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- 2) Schools: One elementary school (10.0 acres) is strategically located in the center of the community core for ease of access to all residents.

3) Major Road

33.9 acres of land are devoted to major roads within the specific plan (including Cherry Avenue, Bridlepath Drive, and local roads as shown on Land Use Plan, P. V-8).

This acreage is not designated as planning unit areas, but do constitute a form of public land.

c. Open Zone (O)

The open zone of the plan is devoted to 153.7 acres of scenic open space, flood control channels and easements, utility easements and landscape setbacks. Some of these areas may be improved, beautified, irrigated or further regulated based upon approval of the controlling authority.

3. Land Use Plan Implementation

This plan will be carried out primarily by private initiative in the form of proposed development projects. This specific plan will facilitate such projects in two ways. The first is by providing a basis for needed infrastructure planning, financing, budgeting, scheduling and construction. The second is by providing a system of incentives and regulations which will guide development in accordance with the Fontana General Plan.

The first aspect of implementation is supported by the circulation plan, utilities plan, community facilities/services plan, phasing plan and certain aspects of the development regulations. The obligations inventory (under separate cover) summarizes the nature, extent and responsibilities for the necessary improvements.

The second dimension of implementation will be accomplished primarily by the provisions in Chapter II, development regulations, as supplemented by the Design Guidelines in Chapter III.

E. CIRCULATION PLAN

1. Intent and Background

The Hunter's Ridge Circulation Plan establishes the general layout of internal circulation and design standards for both internal and external arterial highways in support of both the Hunter's Ridge Land Use Plan and the City's General Plan Circulation Element. It is shown on Exhibit V-2. The Plan provides for vehicular, pedestrian and bicycle movement for community residents, businesses and visitors.

The Circulation Plan includes:

- a. Location and alignment of arterial (divided major and secondary) highways and collector streets within and adjacent to Hunter's Ridge;
- b. Standard sections for arterials (divided major and secondary highways), entry streets, collectors and local streets; and
- c. Implementation Actions - The Hunter's Ridge property will be served by the following arterial highways as designated in the City's General Plan circulation element:

<u>Route</u>	<u>Location</u>	<u>Classification</u>	<u>Lane</u>
Cherry Avenue	Central	Divided Major	4
Duncan Canyon Road	East Side	Secondary	4
<u>Summit Avenue</u>	<u>South Side</u>	<u>Secondary</u>	<u>4</u>

NOTE: In addition, sufficient access and right-of-way will be provided through PUA 11 to access the off-site property between it and the SCE easement.

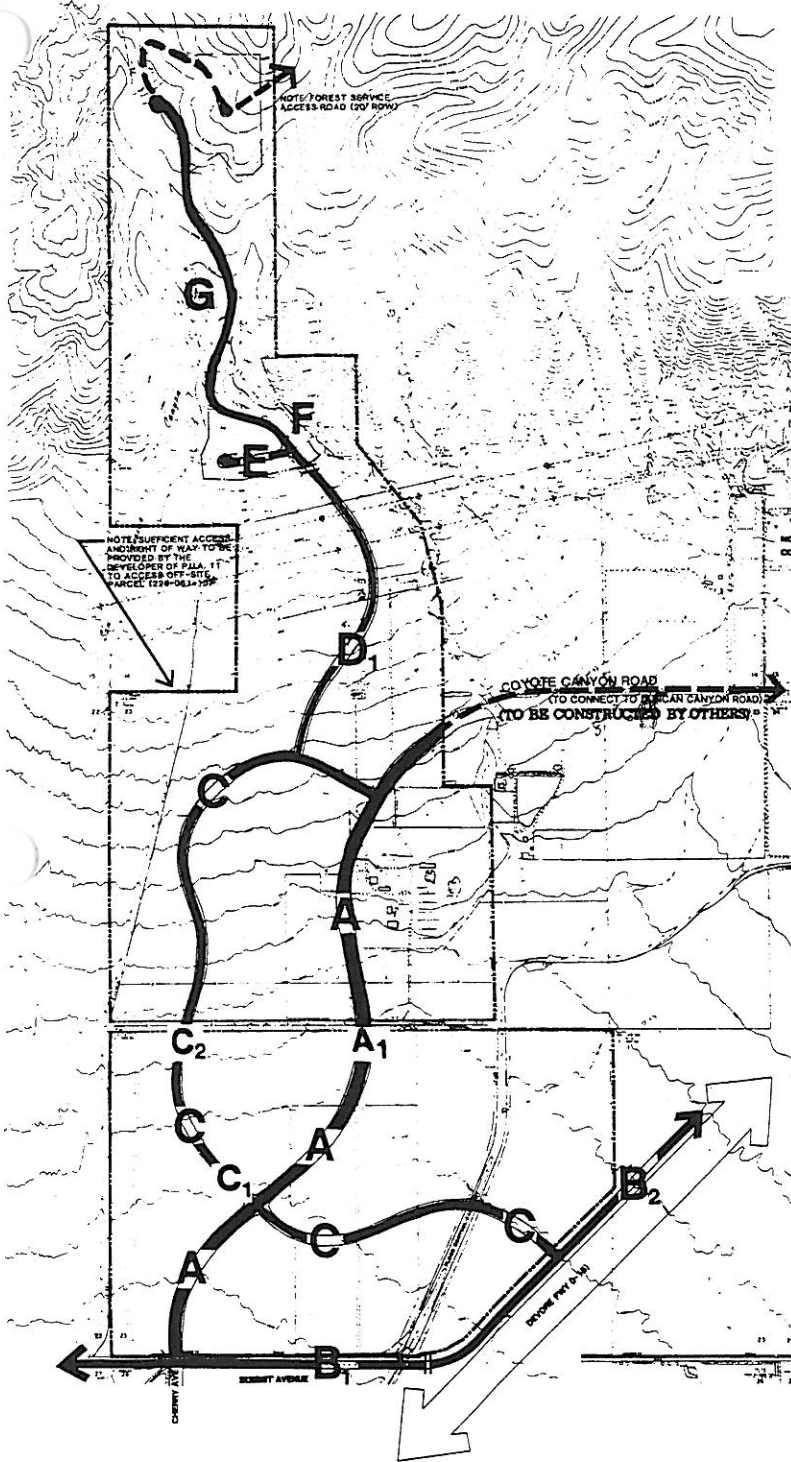
In addition to these surface routes, the proposed Foothill Freeway will eventually be built south of the property in an east-west direction north of and parallel to Highland Avenue.

Internal street sections have been tailored to achieve both carrying capacity as derived from the traffic study and to provide community enhancement.

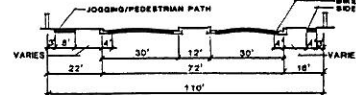
2. Internal Circulation Design Concept

The Hunter's Ridge property is located in the far northwest corner of Fontana. It is situated at the base of the San Gabriel Mountains and presently is quite rural in character. Hunter's Ridge provides the City of Fontana a two-fold opportunity in relationship to roads:

Circulation Plan



A MAJOR DIVIDED HIGHWAY - CHERRY AVENUE (110' ROW)

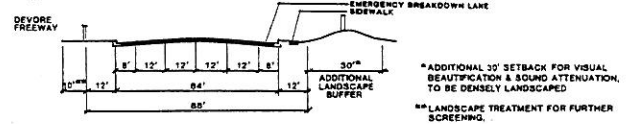


A₁ REFER TO PAGE V-16

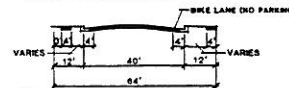
B₁ SECONDARY HIGHWAY - SUMMIT AVENUE (88' ROW)



B₂ SECONDARY HIGHWAY - DUNCAN CANYON/I-15 (88' ROW)

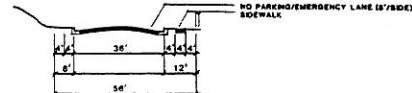


C BRIDLEPATH DRIVE (64' ROW)



C₁ C₂ REFER TO PAGE V-16

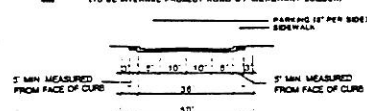
D₁ FOXBOROUGH DRIVE (56' ROW)



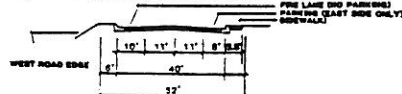
D₂ LOCAL ROAD/TYPICAL (56' ROW)



E TRAILHEAD DRIVE (50' ROW)



F FOXBOROUGH DRIVE (52' ROW)



G FOXBOROUGH DRIVE (70' ROW)



Hunter's Ridge

A SPECIFIC PLAN PREPARED FOR THE CITY OF FONTANA

Amended:

City Council Ord. Nos. 1218 (05/20/97)

1170 (12/19/95)

1123 (08/02/94)

V-15



EXHIBIT V-3

[illegible]

Diagram illustrating the proposed bridge deck layout (110' total width). The layout is symmetrical, showing various sections and paths:

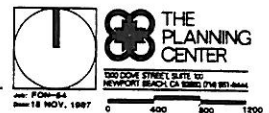
- Top section: JOGGING/PEDESTRIAN PATH (left), BIKE LANE VARIES (right)
- Bottom section: BIKE LANE VARIES (left), BIKE LANE VARIES (right)
- Dimensions (from left to right): 22', 8', 30', 72', 30', 8', 16'
- Total width: 110'

Diagram illustrating a street cross-section with dimensions:

- Overall width: 64'
- Travel lane width: 40'
- Sidewalk width (left): 12'
- Sidewalk width (right): 12'
- Shoulder width (left): 4'
- Shoulder width (right): 4'
- Bike lane width (right): 5'
- Label: "BIKE LANE (NO PARKING)"
- Label: "SIDEWALK"
- Label: "VARIES"

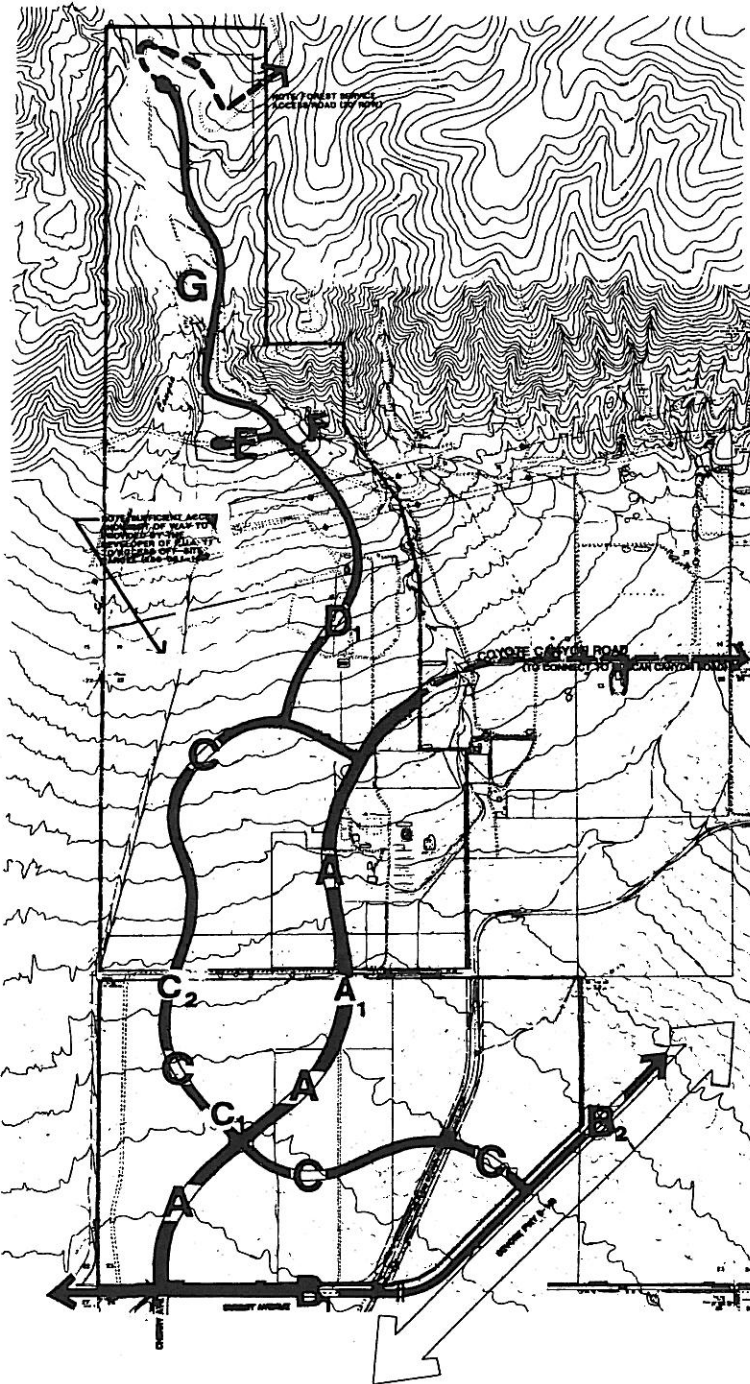
Diagram illustrating the cross-section of a road with a 40-foot wide travel lane. The lane is flanked by 12-foot wide bicycle/pedestrian paths on both sides. The total width is 64 feet. The diagram also shows a 40-foot wide travel lane with 12-foot wide bicycle/pedestrian paths on both sides. The total width is 64 feet. The diagram also shows a 40-foot wide travel lane with 12-foot wide bicycle/pedestrian paths on both sides. The total width is 64 feet.

A SPECIFIC PLAN PREPARED FOR THE CITY OF FONTANA



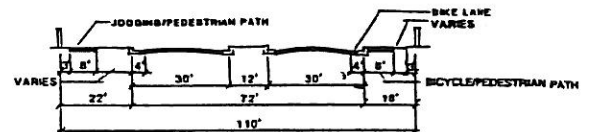
Amended:
City Council Ord. Nos. 1218 (05/20/97)
1170 (12/19/95)
1123 (08/02/94)

V-16

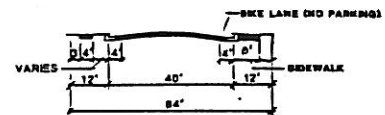


Circulation Plan

**A₁ MAJOR DIVIDED HIGHWAY
CHERRY AVENUE (110' ROW)**

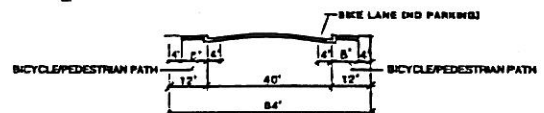


C₁ BRIDLEPATH DRIVE (64' ROW)



(FROM THE INTERSECTION OF CHERRY AVENUE AND BRIDLEPATH DRIVE
TO THE NORTHERN BOUNDARY OF THE 5.9 ACRE PARCEL)

C₂ BRIDLEPATH DRIVE (64' ROW)



(SOUTH OF THE BICYCLE TRAIL IN THE SCE AND MWD EASEMENT
EASEMENT TO THE FIRST T-INTERSECTION)

Hunter's Ridge

A SPECIFIC PLAN PREPARED FOR THE CITY OF FONTANA



EXHIBIT V-3A

Amended 5/4/99
City Council Ord. No. 1286
AMENDED 12/19/95
CITY COUNCIL ORD. NO. 1170
AMENDED 8/2/94
CITY COUNCIL ORD. NO. 1123

- a. Due to its perimeter location in the northwest corner of the city the project will become a turning point in the city circulation plan. Cherry Avenue is proposed by the General Plan circulation element as both a north-south and east-west connector to create a "loop road" that links Cherry Avenue through the project.
- b. Due to its existing rural setting the project roads should also act as a transition from Fontana's flat land suburban communities to the rural and scenic resources provided by the San Gabriel Mountains. This may be accomplished by the modified road sections herein. These roads are intended to provide a rural effect streetscape that will safely carry the cumulative traffic and accommodate emergency pull out needs, while at the same time producing an expanded variable width parkway. A major element of this concept is the incorporation of jogging and pedestrian walkways into the road parkways and utility easements.

3. **Circulation Plan Street and Highway Classifications**

a. **Major Divided Highway - Cherry Avenue (110-foot right-of-way)**

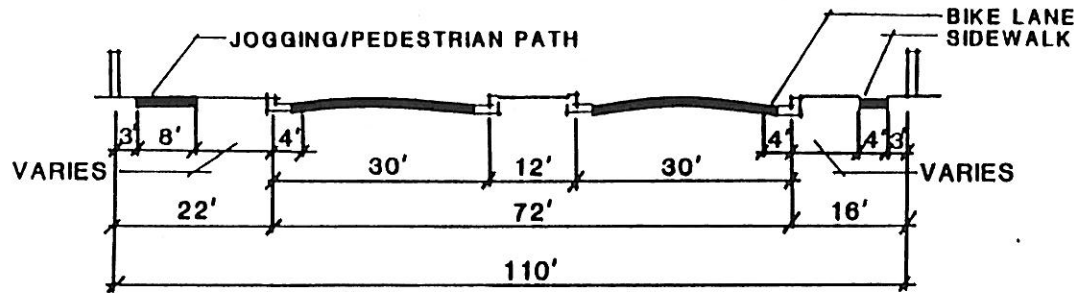
Cherry Avenue is proposed as a four lane, divided highway connecting Cherry Avenue through the project and terminates at Coyote Canyon Road. Traffic volumes range from 15,000 to a maximum of 27,000 vehicles per day.

The City of Fontana Circulation element, as well as the traffic study for the project (see Hunter's Ridge EIR) identify Cherry Avenue as a secondary highway (88-foot right-of-way). However, due to the desired rural character for the road it is proposed that an enlarged parkway and median be used. This additional width produces a section that is an enlarged secondary highway or a modified divided highway.

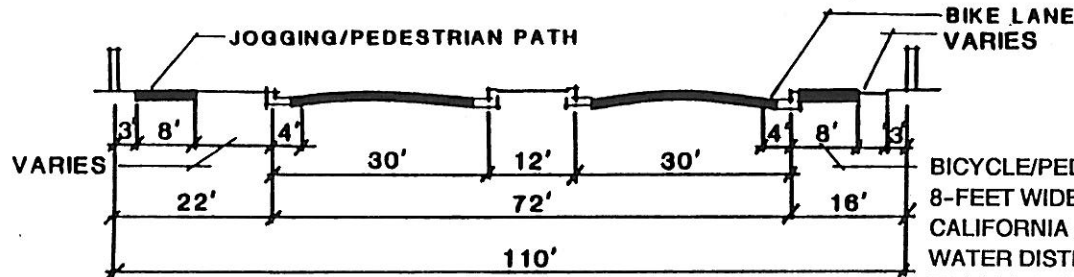
The proposed roadway will provide a median and four (4) travel lanes. Bicycle lanes will be provided on both sides of the road (4').

The parkways are intended to vary in width and will be designed to accommodate pedestrian traffic and 8-foot jogging path. (See Open Space and Streetscape Plan for landscape guidelines for this scenic corridor).

A MAJOR DIVIDED HIGHWAY - CHERRY AVENUE (110' ROW)



A₁ MAJOR DIVIDED HIGHWAY - CHERRY AVENUE (110' ROW)



BICYCLE/PEDESTRIAN PATH TO BE 8-FOOT WIDE FROM THE SOUTHERN CALIFORNIA AND METROPOLITAN WATER DISTRICT EASEMENTS SOUTH TO THE FIRST T-INTERSECTION AND WILL PROVIDE A CONNECTION TO THE BICYCLE TRAIL.
REFER TO PAGES III-13A AND V-77A.

A section is provided to illustrate these concepts.

b. Secondary Highways - (88-foot right-of-way and landscape setbacks)

Summit Avenue is proposed as a four-lane, undivided secondary highway, with an additional 20-foot landscape setback, connection across the southern boundary of the project to Duncan Canyon Road. Likewise, Duncan Canyon Road is proposed as a four-lane, undivided secondary highway, however, because this road parallels the Devore Freeway (I-15) a 30-foot landscape setback will be provided.

Future traffic volumes range from 4,000 to a maximum of 13,900 vehicles per day. Sections are provided - following this page.

c. Bridlepath Drive - (64-foot right-of-way)

The dominant residential access spine is actually a loop road that connects directly from Duncan Canyon Road across Cherry Avenue and bows back in a northerly direction connection to Cherry Avenue to tie all of the residential neighborhoods together. It is an undivided road with a 64-foot right-of-way, but has modified sections for each side of the roadway for emergency and circulation plan maintenance pull-outs. Anticipated traffic volumes range from 4700 to 9400 vehicles per day. Traffic signals are expected to be warranted at Duncan Canyon Road and both intersections with Cherry Avenue.

d. Local Roads & Foxborough Drive, a Community Through Street - (56-foot right-of-way)

Local roads use a standard 36-foot paved curb to curb street section and modified parkway (10 feet on either side of the road, instead of 12 feet) and provide neighborhood access to the community arterial system. A 5-foot planting strip and 5-foot walk, as measured from curb face, are provided on both sides of this street. A variation on this parkway is provided for Foxborough Drive. Note: Neighborhood entries will be wider (66' R.O.W.) and will connect with local road. See Exhibits V-32 and V-33.

e. Local Road/Cul-de-sacs & Trailhead Drive - (50-foot right-of-way)

These streets provide 36 feet of paved surface, curb to curb, with a reduced parkway. A sidewalk, 5-foot as measured from curb face, is provided adjoining the curb on both sides of the street for ease of access from parked cars. A limited parkway of 2.5 feet is proposed next to the walk adjoining the front yard for the planting of street trees. The benefit of these roads in hillside situations is that they provide safe access and minimize grading.

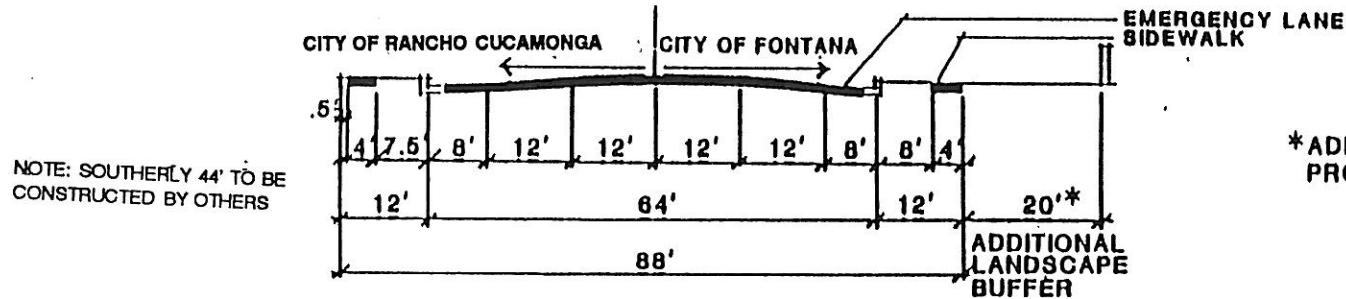
V-19

Amended 12/19/95
City Council Ord. No. 1170

Amended 6/20/95
City Council Ord. No. 1158

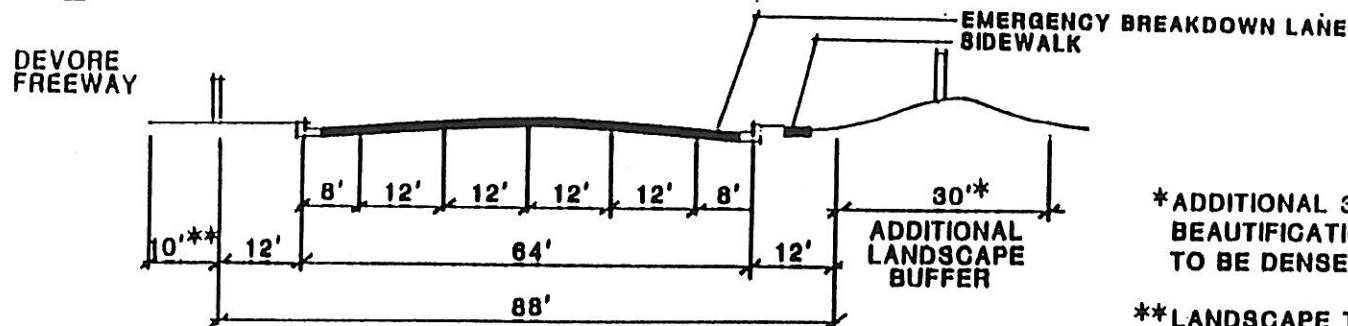
Amended 8/2/94
City Council Ord. No. 1123

B₁ SECONDARY HIGHWAY - SUMMIT AVENUE (88' ROW)



*ADDITIONAL 20' SETBACK TO BE PROVIDED FOR VISUAL SCREENING

B₂ SECONDARY HIGHWAY - DUNCAN CANYON/I-15 (88' ROW)



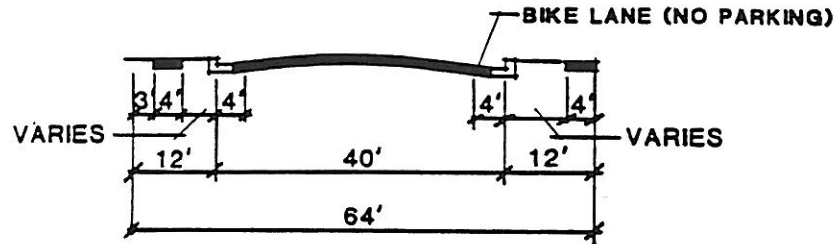
*ADDITIONAL 30' SETBACK FOR VISUAL BEAUTIFICATION & SOUND ATTENUATION. TO BE DENSELY LANDSCAPED

**LANDSCAPE TREATMENT FOR FURTHER SCREENING.

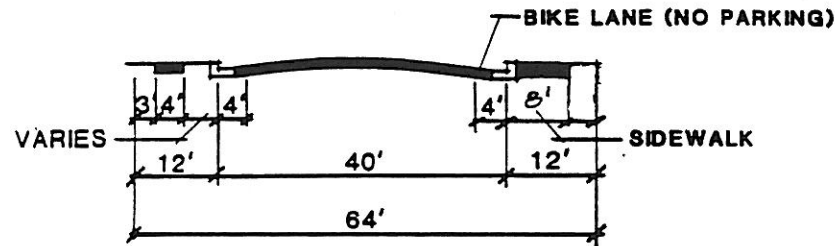
Hunter's Ridge

PREPARED FOR THE CITY OF FONTANA

C BRIDLEPATH DRIVE (64' ROW)

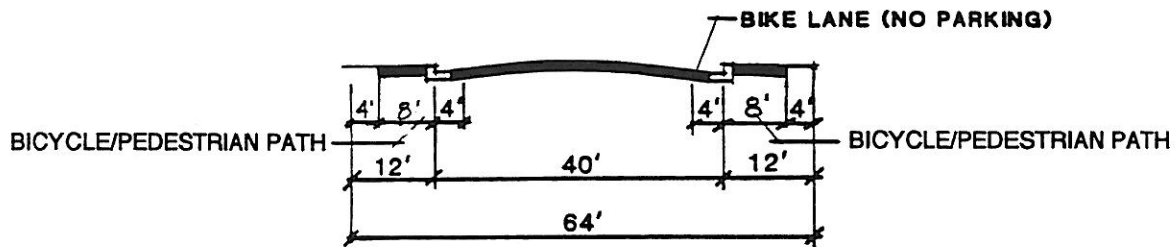


C₁ BRIDLEPATH DRIVE (64' ROW)



(FROM THE INTERSECTION OF CHERRY AVENUE AND BRIDLEPATH DRIVE
TO THE NORTHERN BOUNDARY OF THE 5.9 ACRE PARK)

C₂ BRIDLEPATH DRIVE (64' ROW)



(SOUTH OF THE BICYCLE TRAIL IN THE SCE AND MWD EASEMENT
EASEMENT TO THE FIRST T-INTERSECTION)

Hunter's Ridge

PREPARED FOR THE CITY OF FONTANA

V-21



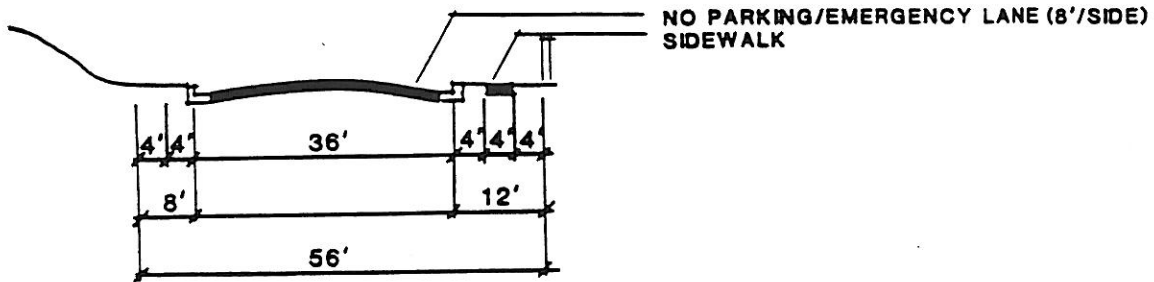
THE
PLANNING
CENTER

1000 DOVE STREET, SUITE 100
NEWPORT BEACH, CA 92660 (714) 851-9444

EXHIBIT V-6

D₁

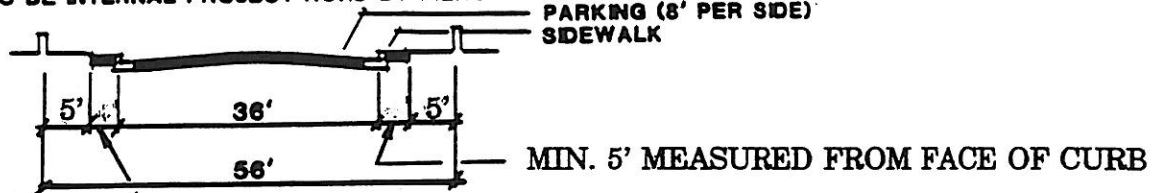
FOXBOROUGH DRIVE (56' ROW)



D₂

LOCAL ROAD/TYPICAL (56' ROW)

(TO BE INTERNAL PROJECT ROAD BY MERCHANT BUILDER)



MIN. 5' MEASURED
FROM FACE OF CURB

Hunter's Ridge

PREPARED FOR THE CITY OF FONTANA



1330 DOVE STREET SUITE 100
NEWPORT BEACH, CA 92660 (714) 851-9444

EXHIBIT V-7

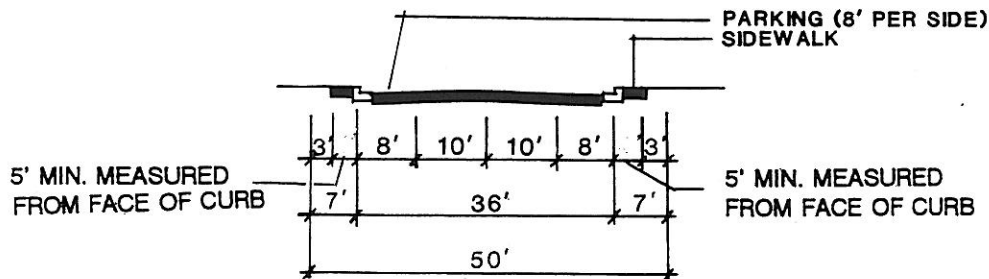
AMENDED 6/20/95
CITY COUNCIL ORD. NO. 1153

AMENDED 8/2/94
CITY COUNCIL ORD. NO. 1123

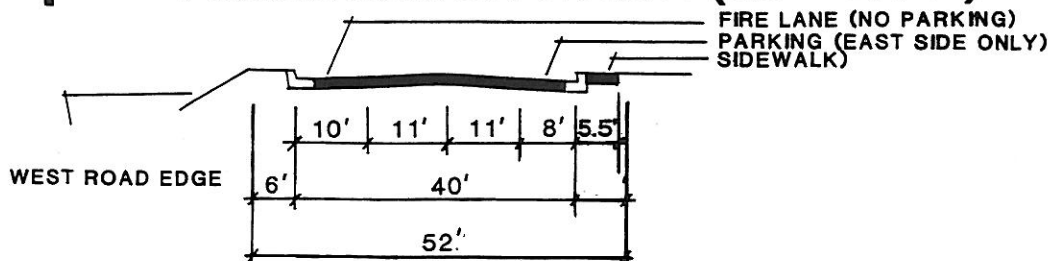
E

TRAILHEAD DRIVE (50' ROW)

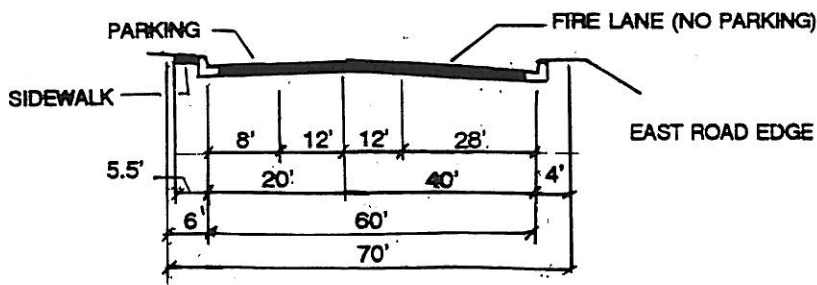
(TO BE INTERNAL PROJECT ROAD BY MERCHANT BUILDER)

**F**

FOXBOROUGH DRIVE (52' ROW)

**G**

FOXBOROUGH DRIVE (70' ROW)



Hunter's Ridge

PREPARED FOR THE CITY OF FONTANA



1000 DOWNE STREET SUITE 100
NEWPORT BEACH, CA 92660 (714) 851-9444

EXHIBIT V-8

AMENDED 12/19/95
CITY COUNCIL ORD. NO. 1170
AMENDED 8/2/94
CITY COUNCIL ORD. NO. 1123

V-23

f. Foxborough Drive, a Community Through Street - (52-foot right-of-way)

This road is proposed for use in the estate residential area of Phase III from the wilderness parks to planning area 17. It is proposed to provide adequate and safe access to a maximum of 50 dwelling units while minimizing the impact of a road on the existing canyon environment.

Foxborough Drive standard proposes two paved travel lanes (11 feet each) with a 10-foot fire lane on the west and 8' parking lane on the east. A parkway on the east side is provided as well. (See section preceding pages).

g. Foxborough Drive, a Community Through Street - (70-foot right-of-way)

This road will be used in the upper estate residential area (P.U.A 17) area of Phase 3.

The Foxborough Drive standard within P.U.A. 17 proposes 60 feet of pavement, curb to curb, to accommodate two travel lanes (12' each) and a twenty-eight (28) foot fire lane on the east side. An eight (8') foot parking lane along with a five and one-half (5.5) foot sidewalk will be provided on the west side.

h. Trail Systems

The circulation system also includes three types of nonvehicular facilities: bikeways and pedestrian walkways, a safe route to school and equestrian trails. These facilities are located along the entry roads and collectors through incorporation into the special street section design. Bikeways and walkways are also provided in off-road links through some neighborhoods. The bicycle and pedestrian ways reinforce the importance of the loop as a primary linkage between land uses, particularly between residential development and both commercial and public use areas.

In addition a regional north-south equestrian trail to the east of the San Sevaine levee will be provided connecting to a proposed east-west trail in the upper SCE easement. (See Trail Exhibit III-5).

4. Circulation Plan Implementation

a. On-Site Improvements

The key to successful implementation of the circulation system lies in timely phasing of the financing, scheduling, construction and management of the circulation system.

On-site arterial highways, and community collectors will generally be the responsibility of the developer.

Local streets shown on the circulation plan are the responsibility of builders of each project.

The Phase 1A installation of road improvements to roadway fronting the property entails: 1) the full section of Duncan Canyon Road; 2) Summit Avenue (upon negotiation of a future reimbursement arrangement for half the road fronting on the City of Rancho Cucamonga).

b. Off-Site Improvements

- 1) Cherry Avenue improvement (from Summit Avenue south to the Devore Freeway/I-15): In the event that the I-15/Summit Avenue interchange has not commenced construction and that portion of Cherry Avenue south of Summit to the I-15 Freeway deteriorates to below a service level of service C, the Master Developer shall at that point construct the following street improvements: Widen Cherry Avenue south of Summit Avenue to the I-15 Freeway from the existing paving and over the existing grade as a forty-eight foot (48') section (four twelve (12') foot travel lanes and two nine-foot (9') graded shoulders at edge of paving; no curb, gutter, sidewalk or landscaping) within the existing right-of-way. The Master Developer shall be responsible for conducting annual traffic studies at its costs and expense to determine the level of service of Cherry Avenue between Summit Avenue south to the I-15 Freeway.

If, at issuance of the last building permit for the Project, Caltrans has not commenced construction of the I-15/Summit Avenue interchange and the level of service of Cherry Avenue, south of Summit Avenue to the I-15 Freeway is operating at C or above, then the Master Developer shall be released from all improvement obligations associated therewith.

Any evidence of the start of construction of the I-15/Summit Avenue interchange (as witnessed by the award of a construction contract by Caltrans) immediately removes the requirement for construction of Cherry Avenue from Summit Avenue south to the I-15 Freeway by the Master Developer.

The obligations of the Developer as set forth in herein are in lieu of any other traffic mitigation obligations (including, without limitation, fees) which may otherwise be imposed by the City. The construction of Cherry Avenue from Summit Avenue south to the I-15 Freeway as a full public street shall not be the responsibility of the Master Developer.

- 2) Summit Avenue, East of Cherry Avenue: This road will be improved by the Master Developer by completing improvements to the northside of Summit Avenue. These improvements include thirty-two feet (32') of paving comprising two twelve-foot (12') travel lanes and one eight-foot (8') parking lane, curb, gutter and sidewalk within twelve-foot (12') of parkway, street lighting and a twenty-foot (20') landscape buffer. The obligations of the Master Developer as set forth herein are in lieu of any other traffic mitigation obligations (including, without limitation, fees) which may be otherwise be imposed by the City. Future requirements for full street improvements to the southside of Summit Avenue, east of Cherry Avenue to the I-15 Freeway, shall not be the responsibility of the Master Developer.

4) Off-Site Intersection Improvements:

- (a) East Avenue at 24th Street - This future intersection represents the extension of "Upper Summit" west of the Hunters Ridge project to East Avenue. A separate northbound right turn lane enables this planned intersection to operate at Level of Service B.
- (b) East Avenue at Highland Avenue - By providing dual left turn lanes on Highland Avenue at the eastbound approach, this intersection is brought to within Level of Service C for future areawide build-out conditions.

All of the improvements discussed above could be accommodated within the planned right-of-way for the intersecting streets.

Circulation system improvements are a prime aspect of the phasing described in Chapter IV. Extensive work is under way by the City to set up the mechanism(s) and bonding program to administer funds for these major improvements.

F. OPEN SPACE AND STREETScape PLAN

An open space and streetscape theme will be established for Hunter's Ridge to create a community framework for all common and public areas. This structure will provide each planning unit area with a separate identity, as well as act to link the planning unit area together into a cohesive community. Note: The master landscape development plan, wall and fencing plan are included for approval as part of this Specific Plan.

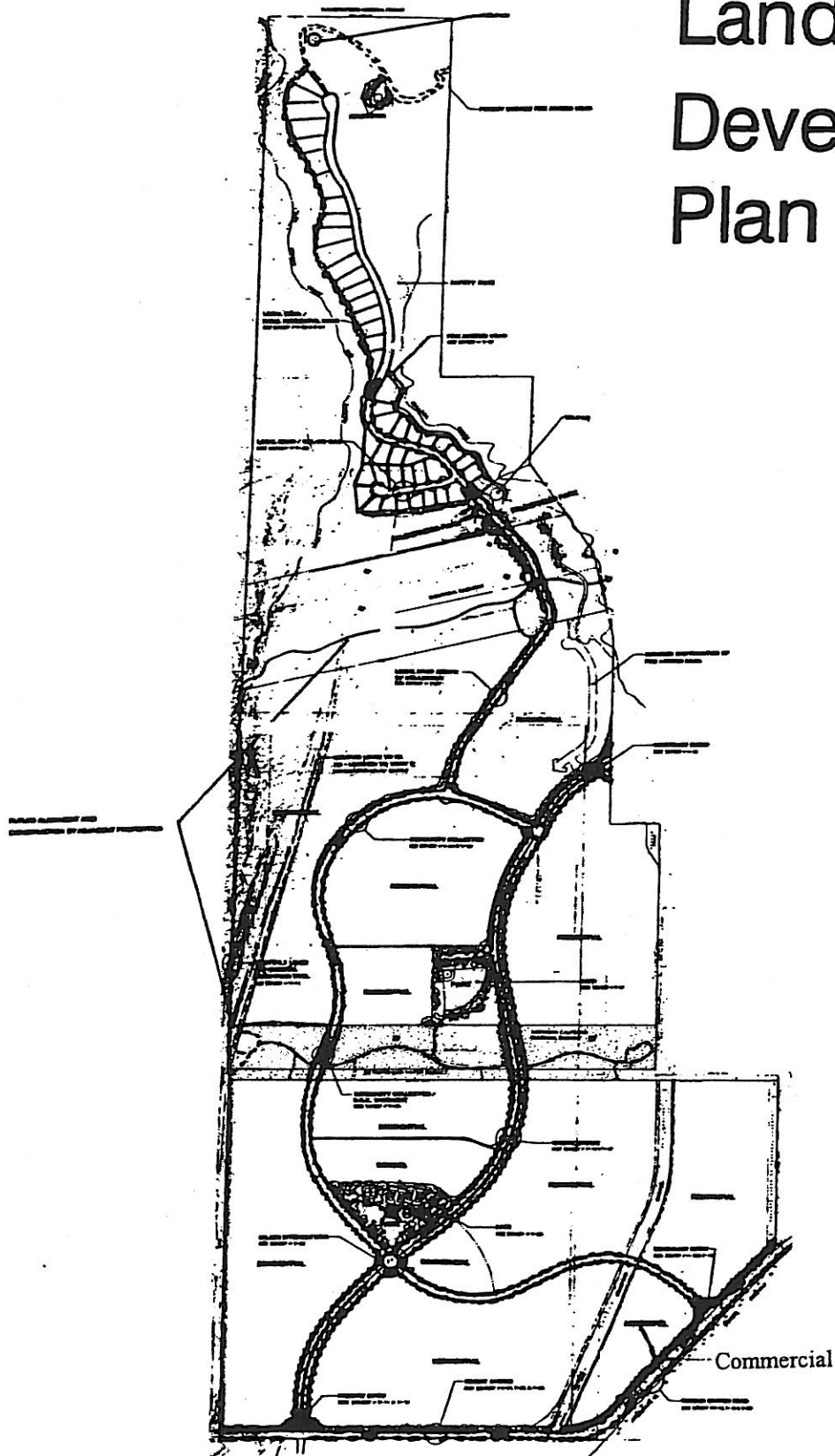
1. Common Landscape Guidelines

The following landscape planting zones will be utilized to create a unique and diverse community theme (see Landscape Development Plan (next page) and Open Space/Streetscape Plan, page V-29). They will focus primarily on landscape treatments within the road right-of-way as follows:

- a) Community Entry Statements
 - 1. Primary Entry
 - 2. Secondary Entries (2)
- b) Major Divided Highway Landscape Treatment
- c) Secondary Highway Landscape Treatment
 - 1. Duncan Canyon Road (30' Freeway Buffer Area)
 - 2. Summit Avenue (20' Buffer Area)
- d) Bridlepath Drive Landscape Treatment
- e) Local Road Treatments
- f) Neighborhood Entry Treatment
- g) Neighborhood Streetscape Theme Planting
- h) Special Intersection Treatment
- i) Commercial Zones
- j) Commercial Frontage Landscape Treatment
- k) Residential Edge Buffers
- l) Open Space (Flood Control Easements, Utility Corridors, Fuel Modification Zone and Scenic Open Space)
- m) Parks and Schools
- n) Estate Residential Lots (P.U.A. 17)
- o) Trails

Each of these zones have guidelines to differentiate landscape treatment.

Landscape Development Plan



LANDSCAPE DEVELOPMENT PLAN

Hunter's Ridge

A SPECIFIC PLAN PREPARED FOR THE CITY OF FORTIN
UNDER THE L.A. DESIGN ACT

V-25

EXHIBIT V-9

Amended 5/4/99

City Council Ord. No. 1286

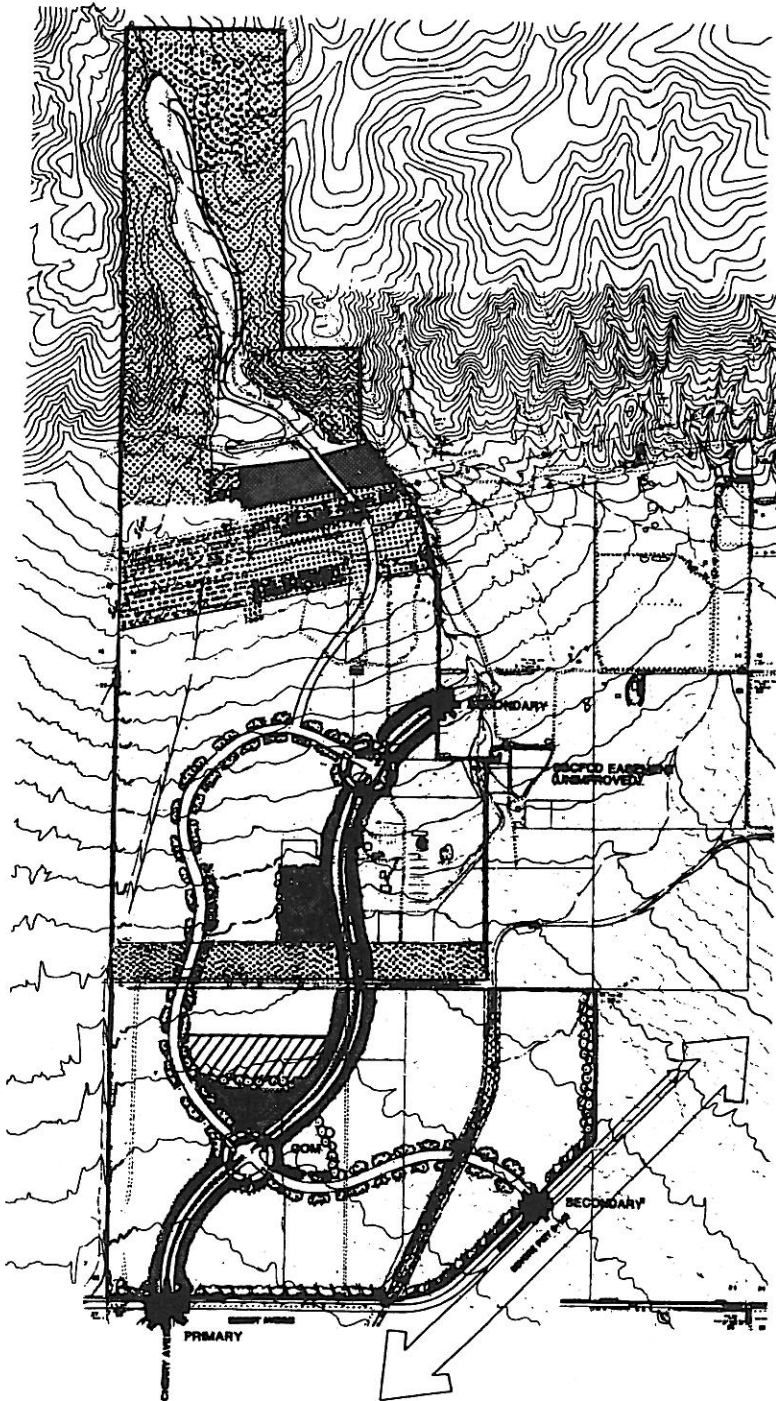
AMENDED:












CITY COUNCIL ORDS: NOS. 1075(4/20/93)

1123(8/2/94)

V-29

Open Space/ Streetscape Plan LEGEND



-  OPEN SPACE (UNIMPROVED)
-  PARK SITE
-  COMMUNITY ENTRY STATEMENTS
-  SPECIAL INTERSECTION TREATMENT
-  RESIDENTIAL EDGE BUFFER LANDSCAPE TREATMENT
-  COMMERCIAL FRONTAGE LANDSCAPE TREATMENT
-  DIVIDED HIGHWAY LANDSCAPE TREATMENT (110')
-  COMMUNITY COLLECTOR ROAD (84')
-  HIGHWAY BUFFER LANDSCAPE TREATMENT (30')
-  SUMMIT AVENUE BUFFER (20')
-  SCHOOL SITE

Hunter's Ridge

A SPECIFIC PLAN PREPARED FOR THE CITY OF FONTANA



EXHIBIT V-10

Amended 5/4/99

City Council Ord. No. 1286

AMENDED 12/19/95

CITY COUNCIL ORD. NO. 1170

AMENDED 8/2/94

CITY COUNCIL ORD. NO. 1100

a. **Community Entry Statements**

The purpose of this area is to establish a distinctive sense of entry, identity, and landscape character for the community. The area around these entries will receive special landscape treatment and will be defined as entry zones. Landscape treatment will focus on the area as defined herein.

All community entry areas represent a strong point of destination for the community as well as a gateway into the community. In order to accent this sense of entry at these points a backdrop of [a grove of informal upright] large pyramidal evergreen trees and clusters of informal palm trees should be used. Understory plant material color (50-50 ratio groundcover to lawn) should also be used. NOTE: These community entries may be used for the presentation of select historic resources found on-site suitable for relocation.

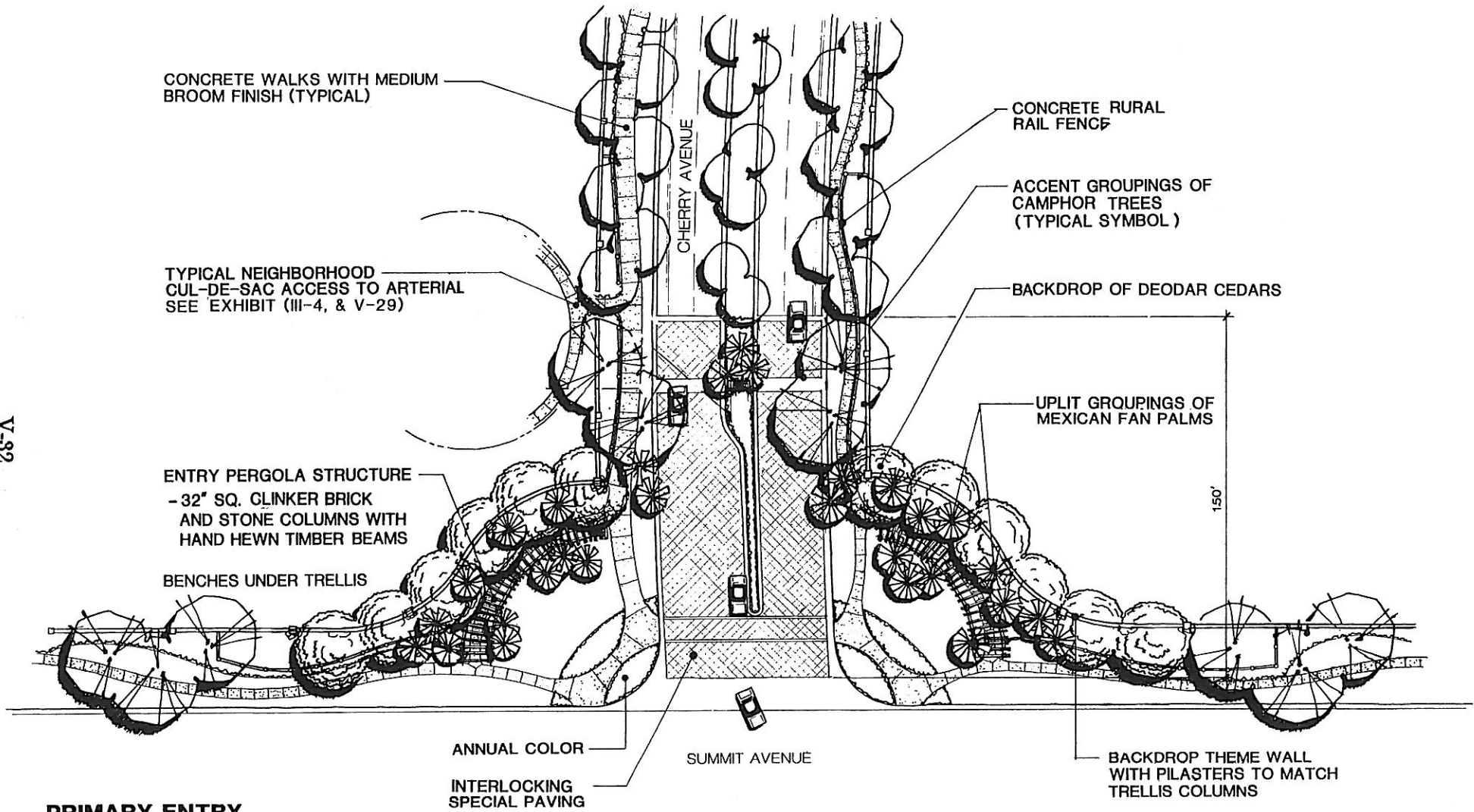
In addition it is important that these intersections preserve the community's identity at night. The limited use of controlled uplighting on all trees and signs, and accenting of sculptural elements should be utilized (see Lighting Guidelines).

1) **Primary Entry**

The open space reserved for the primary community entry shall be measured from each corner of the intersection by a line drawn 100 feet from the intersection along the curb on the entry road and Summit Avenue to form the legs of an equilateral triangle.

2) **Secondary Entries (2)**

The area for secondary entries shall be a 75-foot long line measured in the same way. There are two secondary entries: one located on Duncan Canyon Road and the other located at the meeting of Cherry Avenue and future Coyote Canyon Road (to be constructed by others).



PRIMARY ENTRY

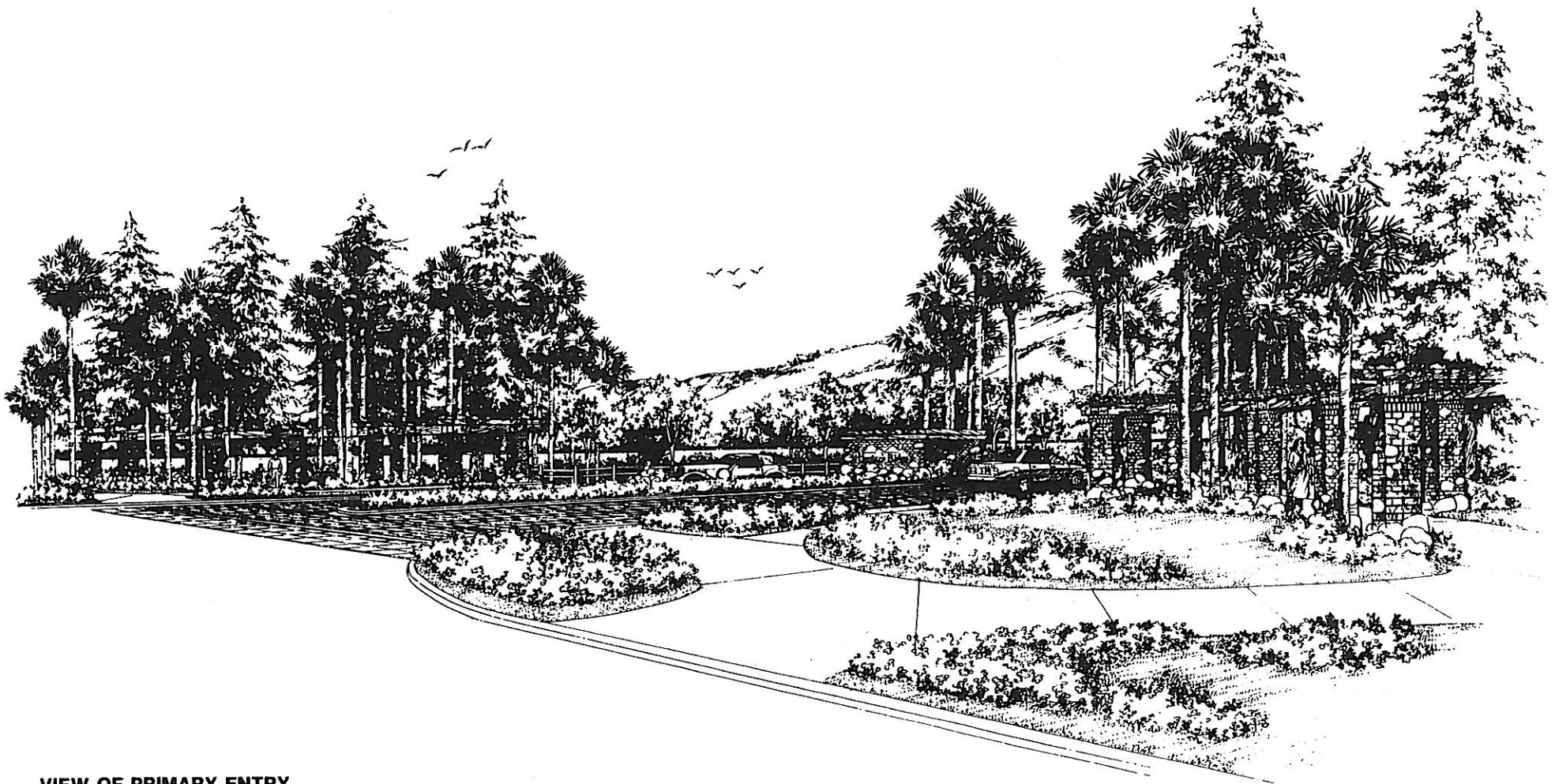
Hunter's Ridge

A SPECIFIC PLAN PREPARED FOR THE CITY OF FONTANA

SOURCE: THE L.A. GROUP, INC.



EXHIBIT V-11

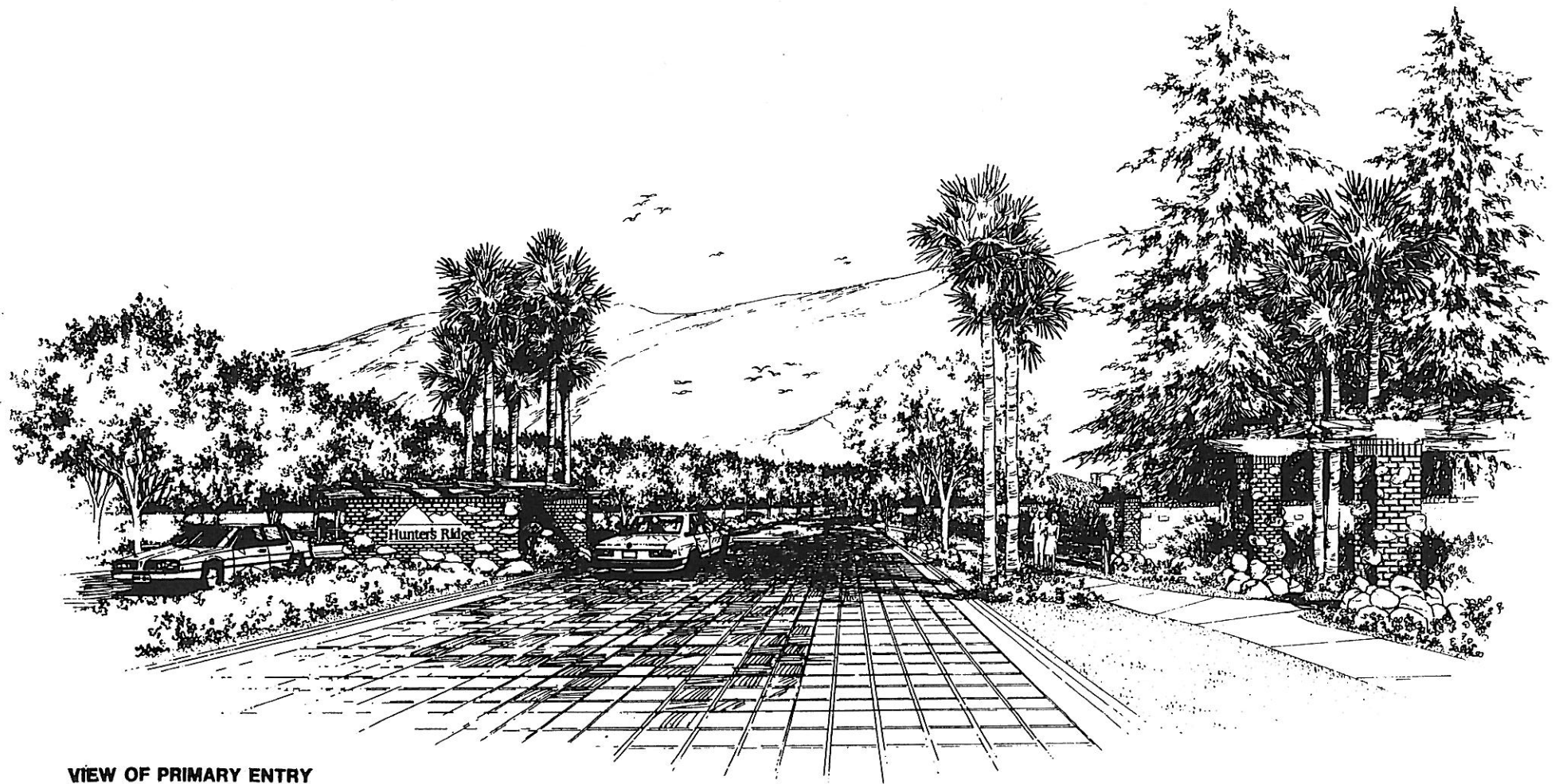


**VIEW OF PRIMARY ENTRY
(FROM SUMMIT AVE. AT CHERRY AVE.- LOOKING N.W.)**

Hunter's Ridge

A SPECIFIC PLAN PREPARED FOR THE CITY OF FONTANA
SOURCE: THE L. A. GROUP, INC.

EXHIBIT V-12



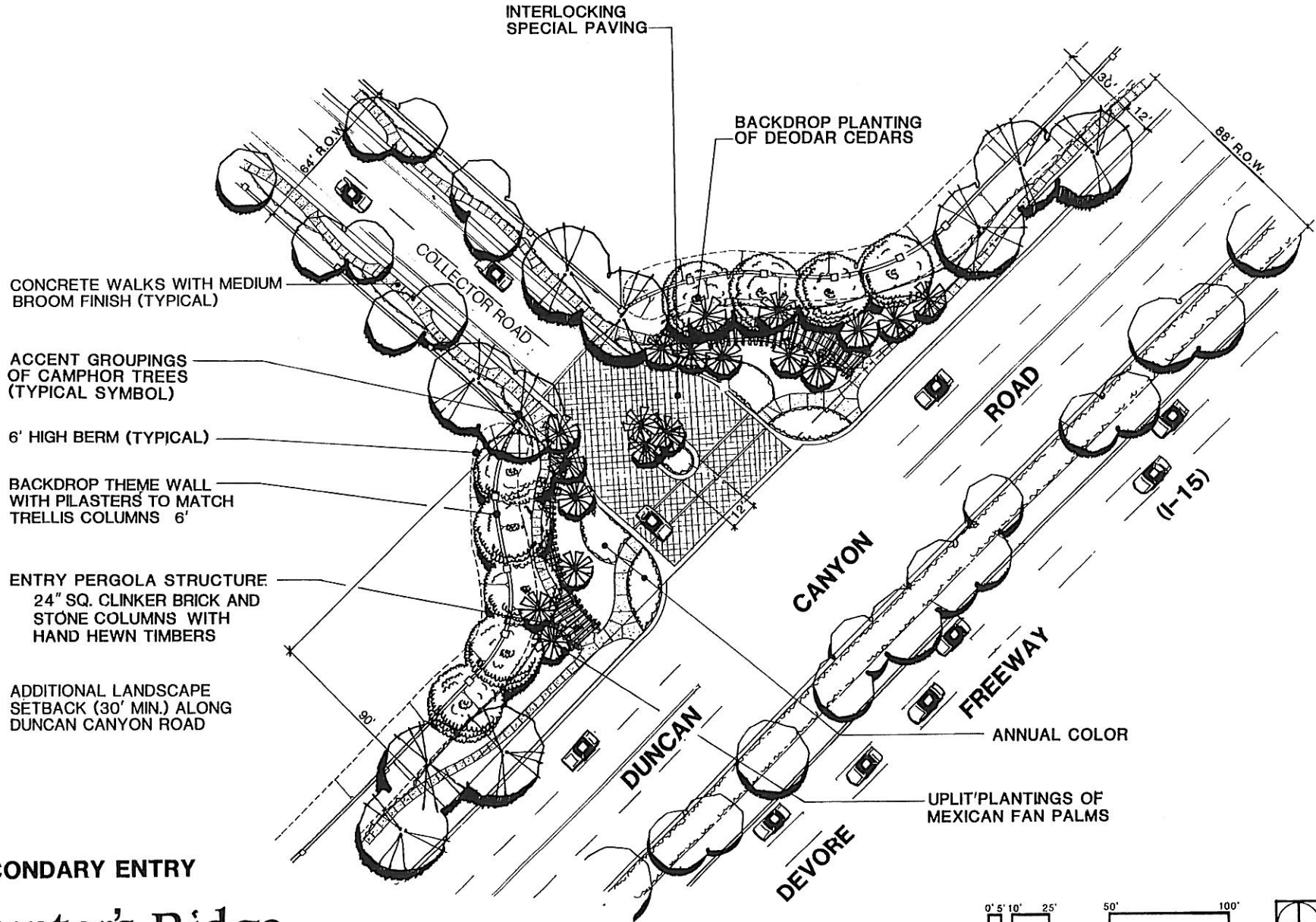
**VIEW OF PRIMARY ENTRY
(LOOKING NORTH ON CHERRY AVE. AT SUMMIT AVE.)**

Hunter's Ridge

A SPECIFIC PLAN PREPARED FOR THE CITY OF FONTANA
SOURCE: THE LA. GROUP, INC.

EJ 3IT V-12A

V-35



SECONDARY ENTRY

Hunter's Ridge

A SPECIFIC PLAN PREPARED FOR THE CITY OF FONTANA

SOURCE: THE L.A. GROUP, INC.

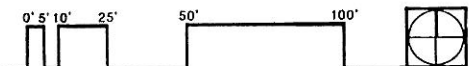
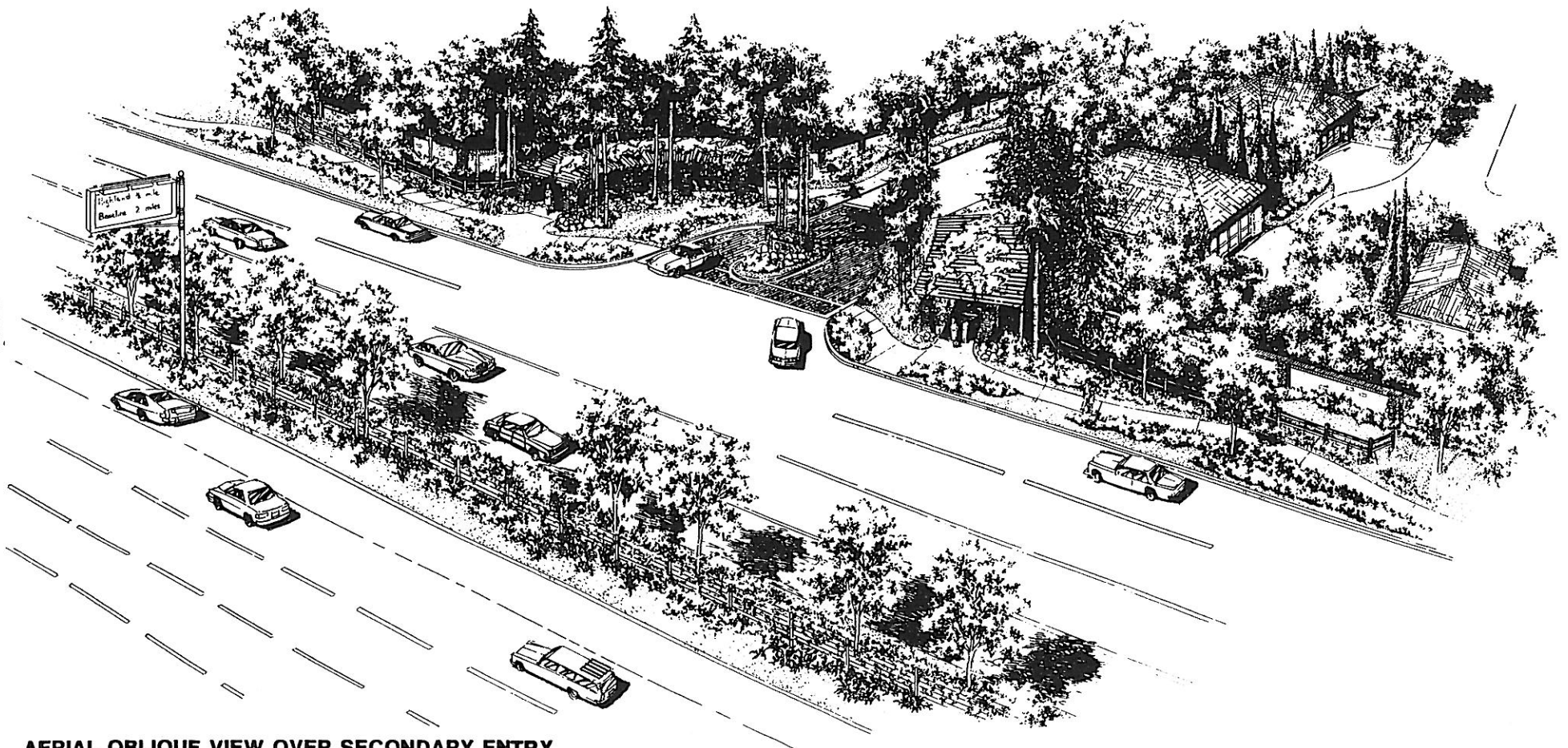


EXHIBIT V-13



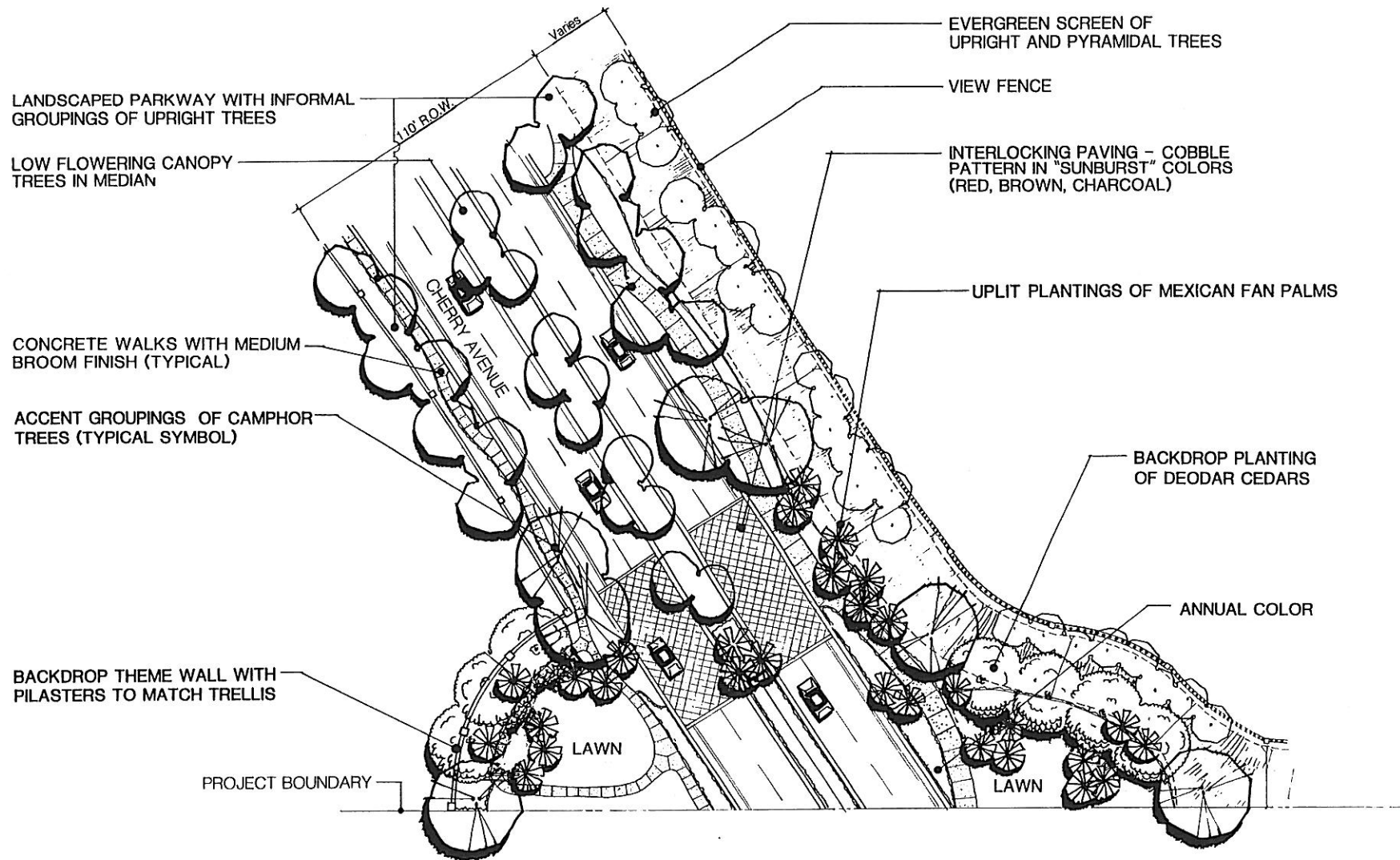
**AERIAL OBLIQUE VIEW OVER SECONDARY ENTRY
(COLLECTOR ROAD AT DUNCAN CANYON ROAD)**

Hunter's Ridge

A SPECIFIC PLAN PREPARED FOR THE CITY OF FONTANA

SOURCE: THE L.A. GROUP, INC.

EXHIBIT -14'



SECONDARY ENTRY AT NO. END

Hunter's Ridge

A SPECIFIC PLAN PREPARED FOR THE CITY OF FONTANA

SOURCE: THE L.A. GROUP, INC.



EXHIBIT V-15

b. Major Divided Highway Landscape Treatment

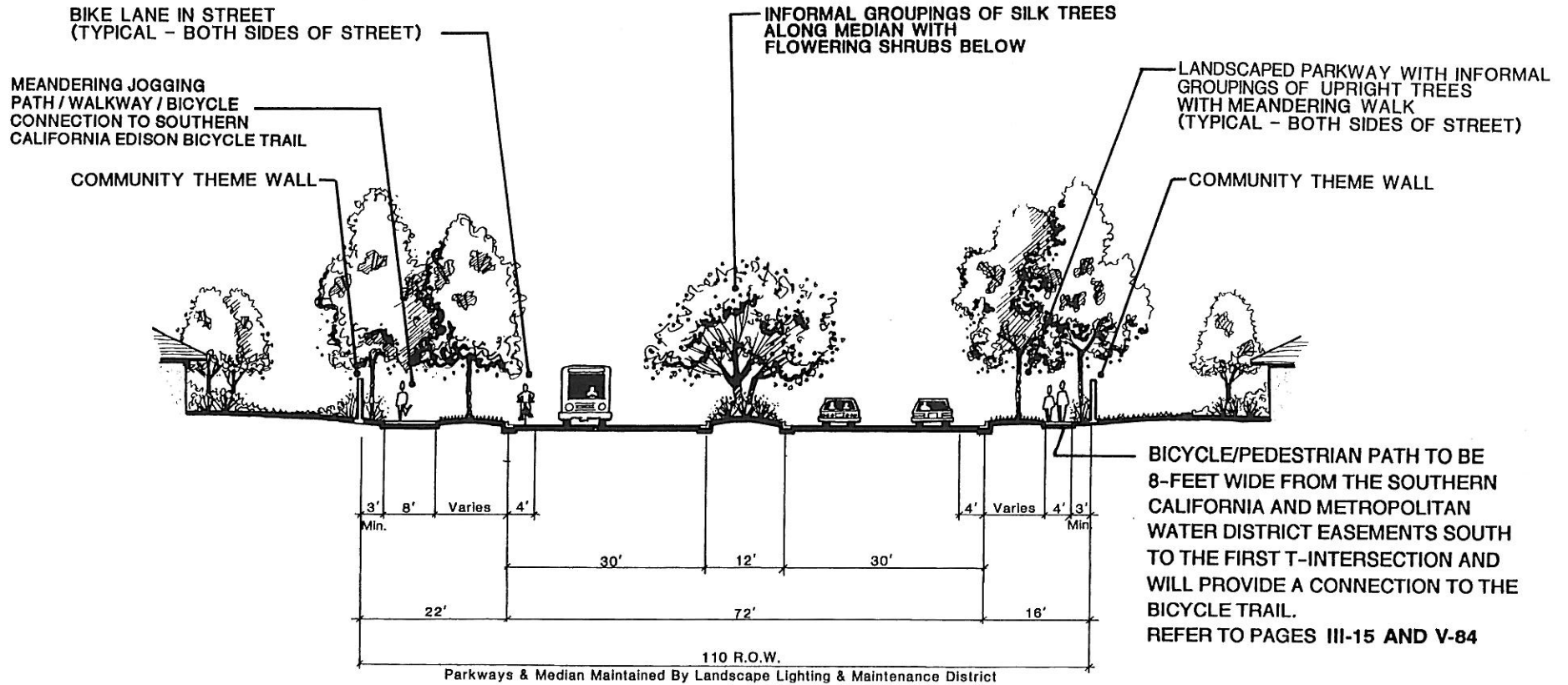
Cherry Avenue, is the major divided highway (110' right-of-way) for the project, will serve as the primary transportation spine between the neighborhoods and requires "scenic corridor" landscape design continuity as an important element in binding the neighborhoods together as a community within the City (see section and plan following).

The landscape concept for the communities major transportation spine has been negotiated by the city to comply with the intent of the future Scenic Corridor Plan. It will utilize plant material normally found in the dry landscape nearby and introduced rural agricultural trees such as those found in windrows. Trees will be tall, columnar trees in parkways spaced regularly to create a formal rural roadway environment. The understory will be planted with evergreen and deciduous flowering shrubs in masses of like species. Medians will be planted with informal groups of low flowering canopy trees. NOTE: Although Cherry Avenue is identified as a north-south route it need not be a 150' right-of-way as it passes through this project because it has a modified secondary highway action (110' R.O.W.). However, where it crosses the SCE easement an additional 15 feet of landscape on each side will be provided.

Utilities should be placed underground within this right-of-way. Low monument signs or simple low wall signs are permitted. NOTE: A split rail fence (concrete) is recommended to establish a rural community character.

This road will have an on-road bike lane in each direction, as well as an 8' jogging path in the parkway, unless otherwise noted. In addition, par course stations will be part of the jogging path system.

V-39



CHERRY AVENUE (A)

Hunter's Ridge

A SPECIFIC PLAN PREPARED FOR THE CITY OF FONTANA

SOURCE: THE L.A. GROUP, INC.

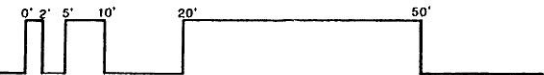
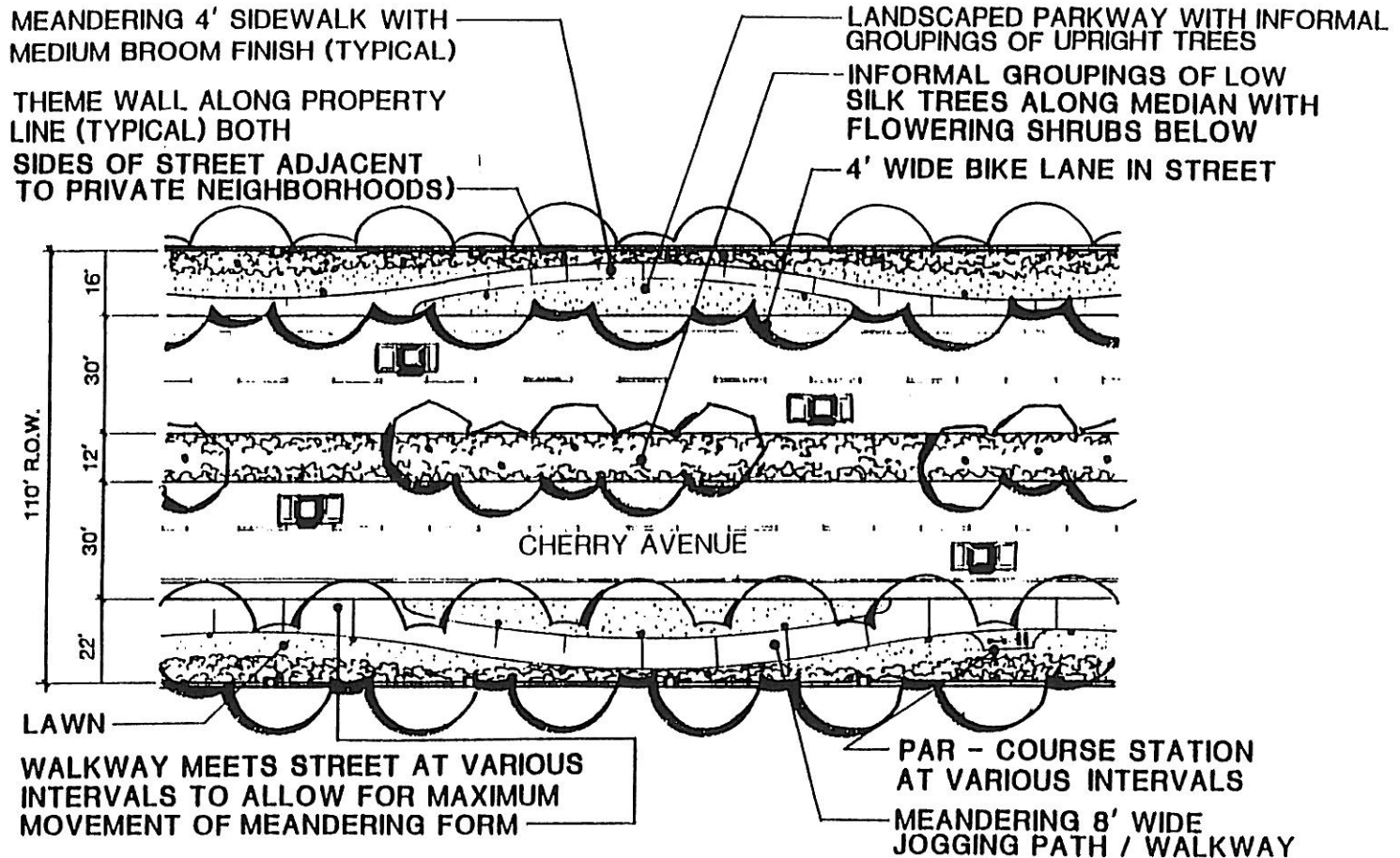


EXHIBIT # V-16

V-40



CHERRY AVENUE (A)

Hunter's Ridge

A SPECIFIC PLAN PREPARED FOR THE CITY OF FONTANA
SOURCE: THE L.A. GROUP, INC.



EXHIBIT # V-17

c. Secondary Highway Landscape Treatment (88' R.O.W.)

There are two secondary highways, both of which border the southern borders of the project: Duncan Canyon Road and Summit Avenue.

1) Duncan Canyon Road and 30' Freeway Buffer:

(See plan and section following).

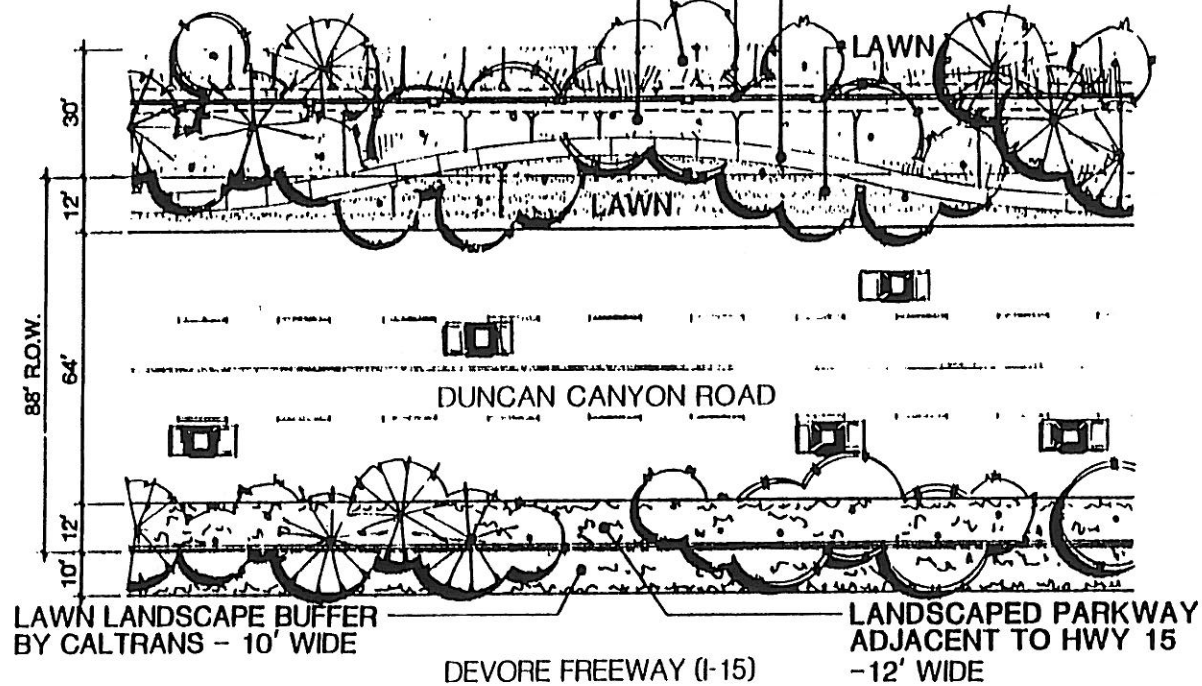
This area abuts Duncan Canyon Road and the Devore Freeway. The uses along this edge are high density residential and moderate density single family. Sound attenuation may be an issue. The plant materials used will be placed in informal groupings of upright, columnar and canopy trees with evergreen flowering shrubs and a 50-50 ratio of lawn to flowering groundcover below. The following guidelines will apply to this 30' landscape setback zone:

- a) Landscape Buffer Zone: A continuous buffer zone of 30 feet in depth will be provided (see following exhibit) and landscaped to soften the freeway edge, highlight the project identity, and shall tie into the scenic corridor treatments. The plant materials chosen will be rural in character and informal.
 - A community theme wall shall be built within the 30' setback to screen residential uses from freeway noises and views.
 - The height of the wall will be 6 feet (unless it is determined by the city that greater height is desired for sound attenuation).
 - A landscaped berm (6 feet maximum height, 2:1 or 3:1 if turfed) will be permitted for sound attenuation and visual screening.
 - Project signage will be allowed if incorporated into this wall or may be freestanding, but shall be limited to:
 - o Identification: project name; name of the adjacent apartment complex, and a consolidated real estate sign (6' x 4') at each end of the buffer zone.
 - o Letter Size: 12" maximum height for project name; and 6" for real estate project signs and apartment. Note: freestanding signs must conform to the Sign Guidelines contained herein.

INFORMAL GROUPINGS OF LIQUIDAMBAR,
EUCALYPTUS & FLOWERING EVERGREEN
PEAR WITH FLOWERING SHRUBS
& GROUND COVER BENEATH (TYPICAL FOR
BOTH SIDES OF STREET)

6' HIGH THEME WALL
ON TOP OF 6' HIGH
EARTHEN BERM

MEANDERING CONCRETE WALK
WITH MEDIUM BROOM FINISH (TYP.)



DUNCAN CANYON ROAD/I-15 (B₂)

Hunter's Ridge

A SPECIFIC PLAN PREPARED FOR THE CITY OF FONTANA
SOURCE: THE L.A. GROUP, INC.

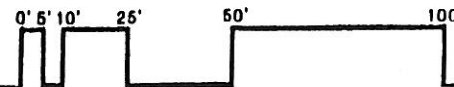
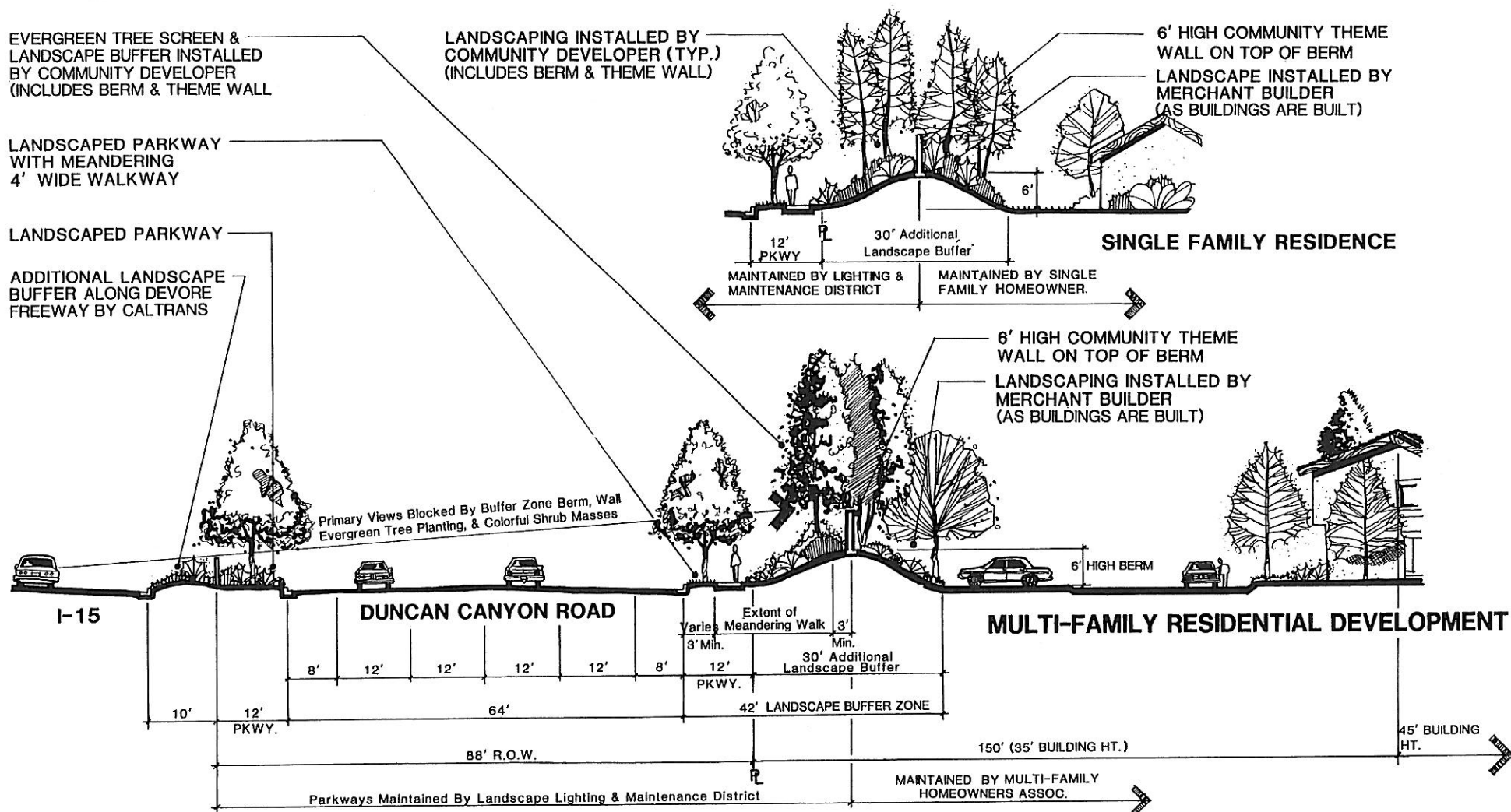


EXHIBIT # V-18

V-43



DUNCAN CANYON / I - 15

Hunter's Ridge

A SPECIFIC PLAN PREPARED FOR THE CITY OF FONTANA

SOURCE: THE L.A. GROUP, INC.

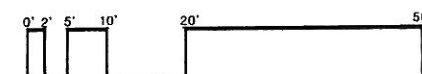
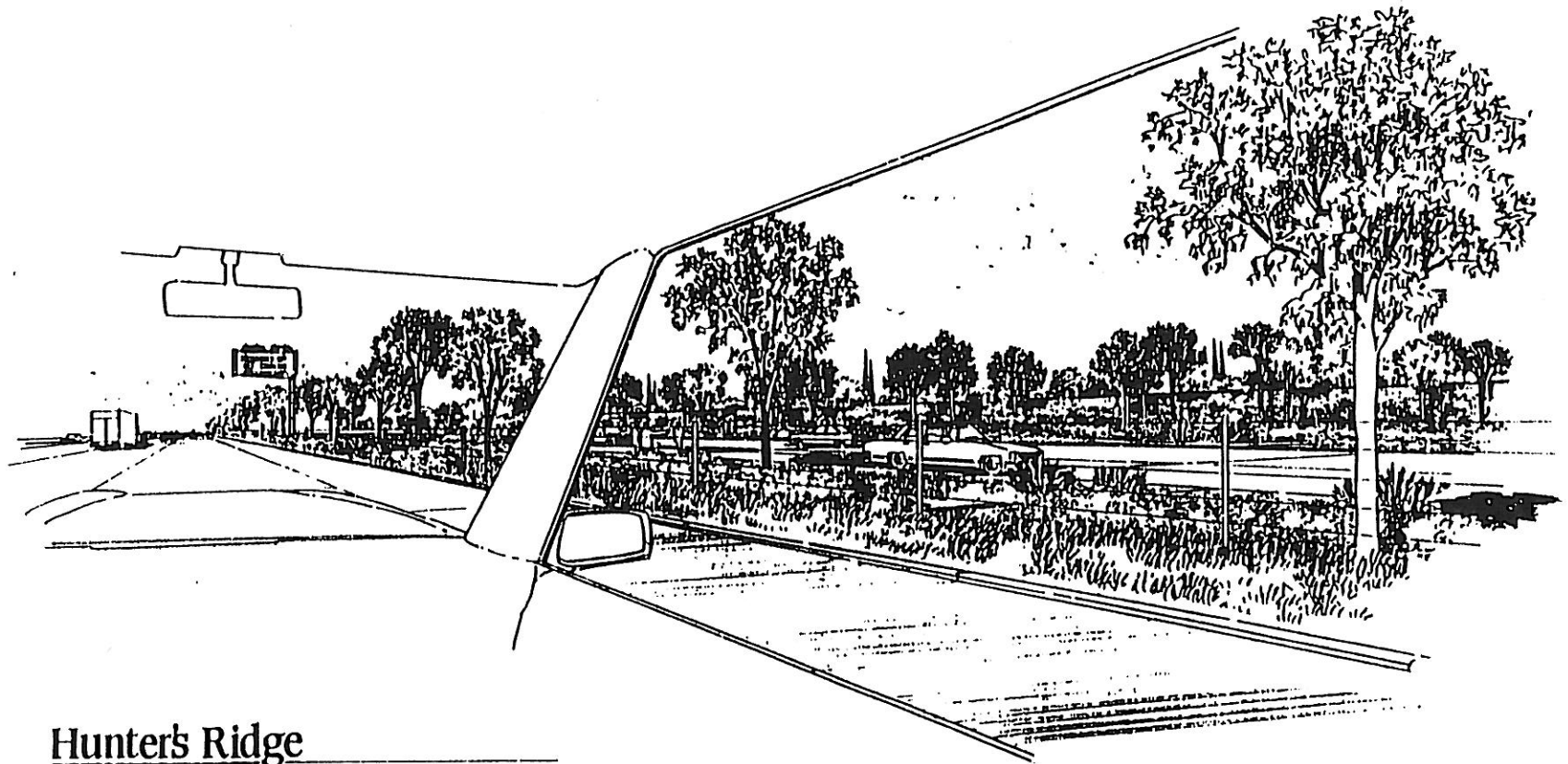


EXHIBIT V-19

V-44



Hunter's Ridge

A SPECIFIC PLAN PREPARED FOR THE CITY OF FONTANA
SOURCE: THE L.A. GROUP, INC.

VIEW FROM DEVORE FREEWAY TO WEST
(ACROSS DUNCAN CANYON ROAD AND
PARKWAYS TO APARTMENT AREA)

EXHIBIT # V-20

2) **Summit Avenue and 20' Landscape Buffer**

This area parallels Summit Avenue along the Hunter's Ridge southern boundary. The uses along this edge are single family residential. Because this is the City of Fontana boundary line as well, an additional 20' landscape setback beyond the road right-of-way will be provided. Landscape to blend with Duncan Canyon Road.

- a) **Landscape Buffer Zone:** A continuous buffer zone of 20 feet in depth will be provided along the project frontage on Summit Avenue. (See following section). The plant materials chosen will be rural in character and will be integrated with the Freeway Buffer Zone Treatment.

Trees: Same as Freeway Buffer Zone

Shrubs: Same as Freeway Buffer Zone

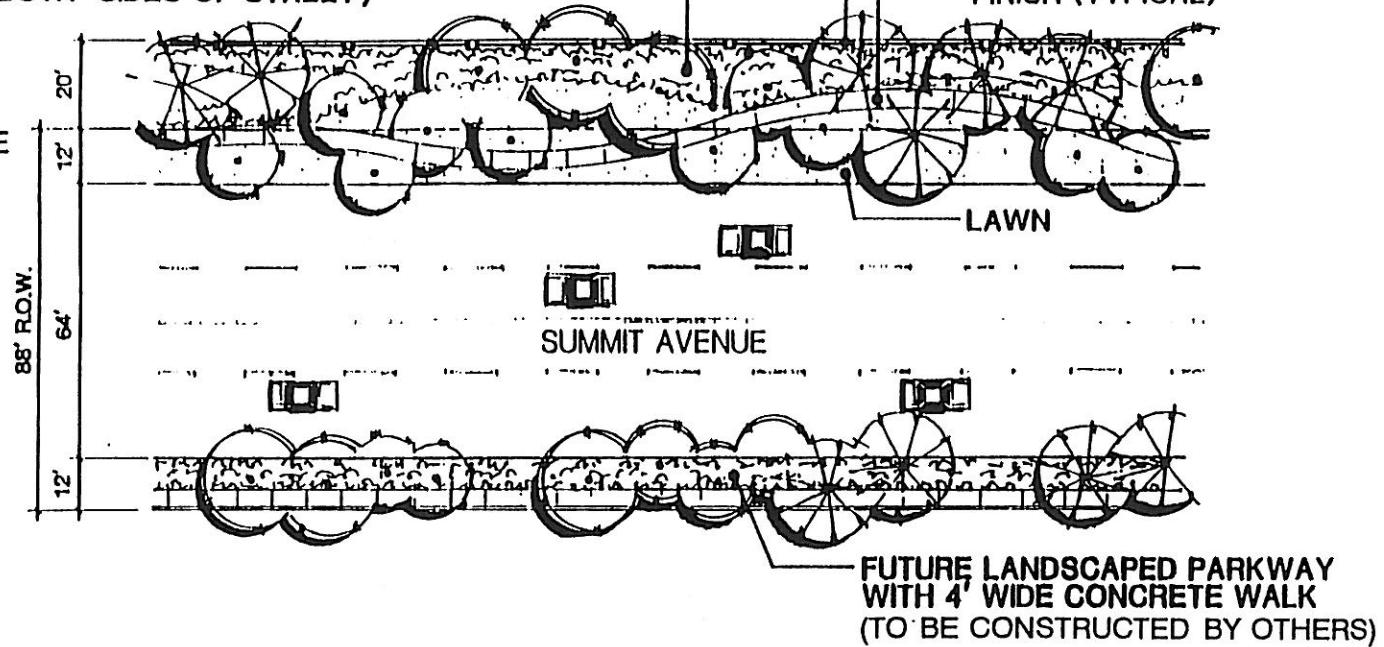
Groundcover: Same as Freeway Buffer Zone

- b) **Berms:** Berms up to 6 foot height are permitted if landscaped.

INFORMAL GROUPINGS OF LIQUIDAMBAR,
EUCALYPTUS & FLOWERING EVERGREEN
PEAR WITH FLOWERING SHRUBS
& GROUND COVER BENEATH (TYPICAL FOR
BOTH SIDES OF STREET)

COMMUNITY THEME WALL
MEANDERING SIDEWALK
WITH MEDIUM BROOM
FINISH (TYPICAL)

NOTE: SOUTHERLY 32' TO BE
CONSTRUCTED BY OTHERS



SUMMIT AVENUE (B₁)

Hunter's Ridge

A SPECIFIC PLAN PREPARED FOR THE CITY OF FONTANA
SOURCE: THE L.A. GROUP, INC.

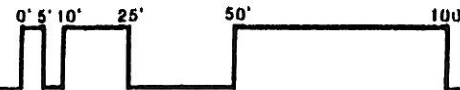
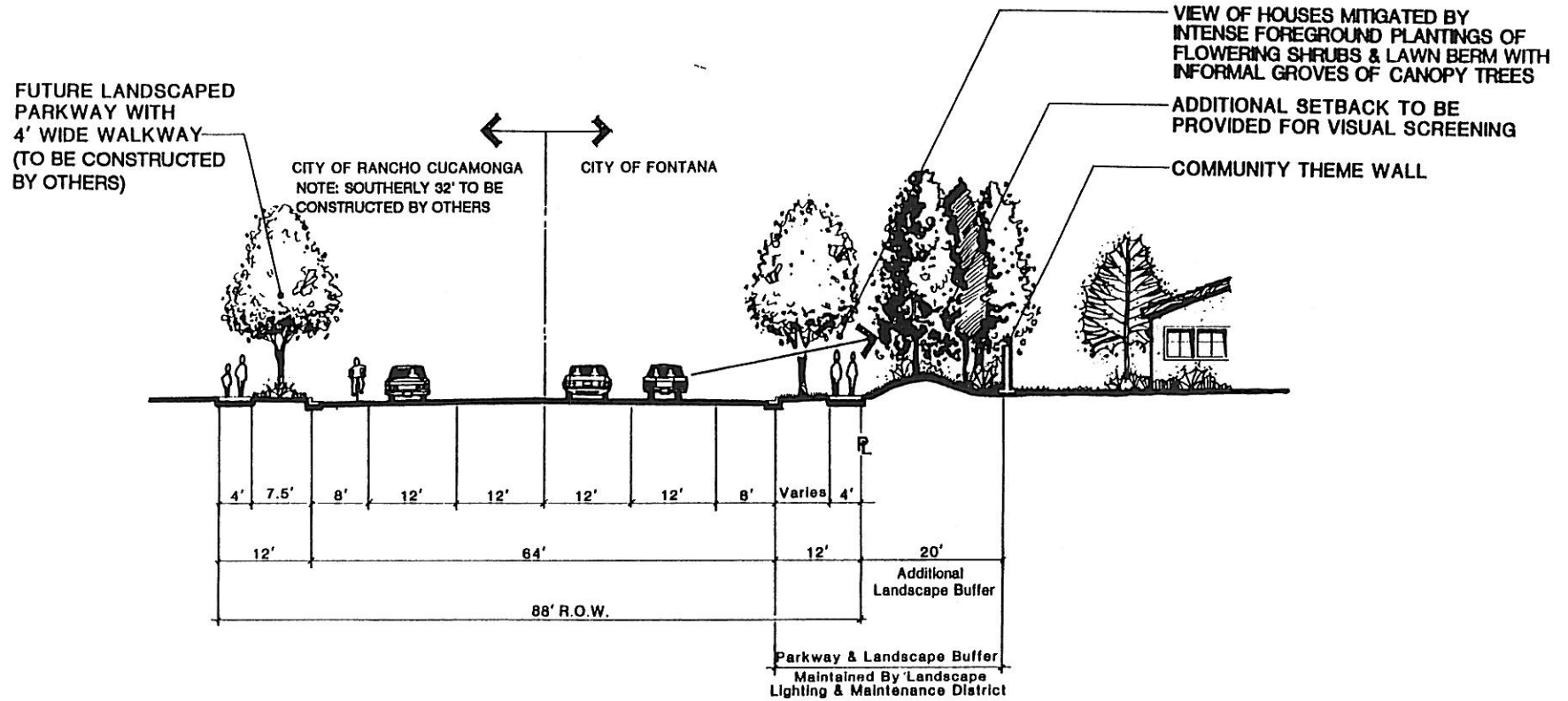


EXHIBIT # V-21



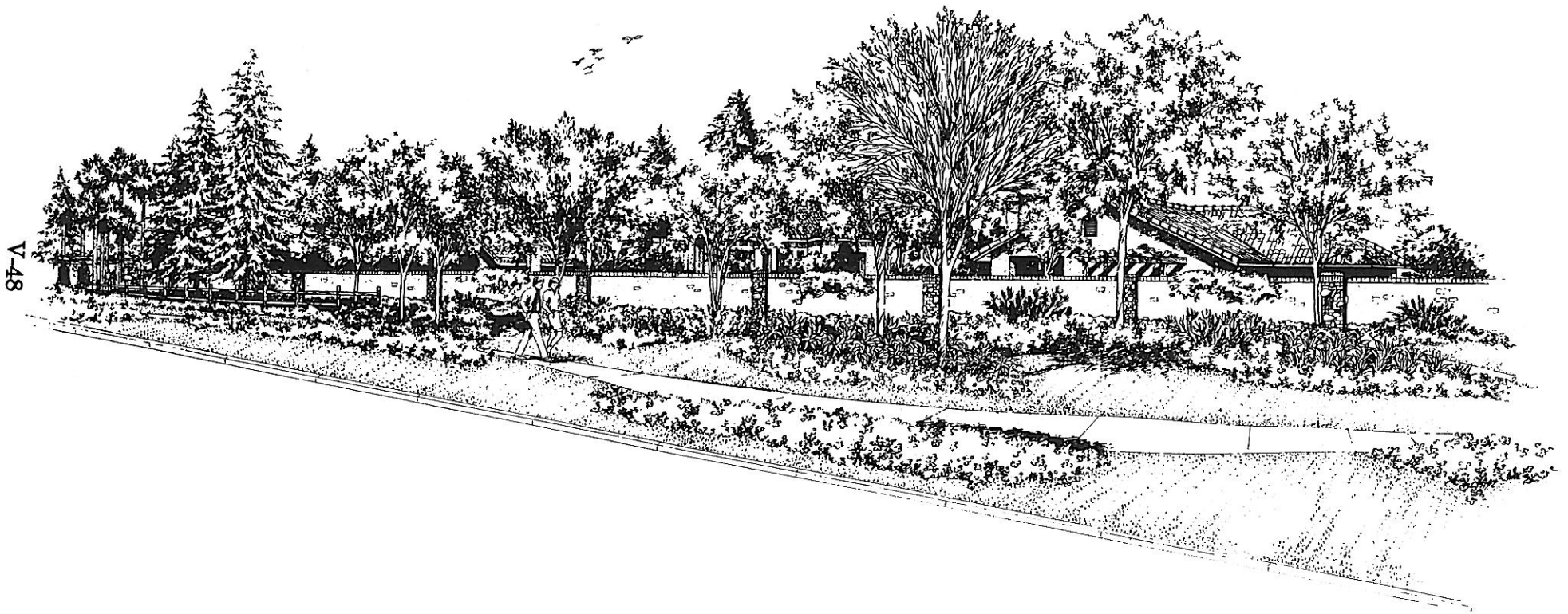
SUMMIT AVENUE (B₁)

Hunter's Ridge

A SPECIFIC PLAN PREPARED FOR THE CITY OF FONTANA

SOURCE: THE L.A. GROUP, INC.

EXHIBIT V-22



VIEW OF LANDSCAPE BUFFER AT NORTH
(PROJECT SIDE OF SUMMIT AVE.)

Hunter's Ridge

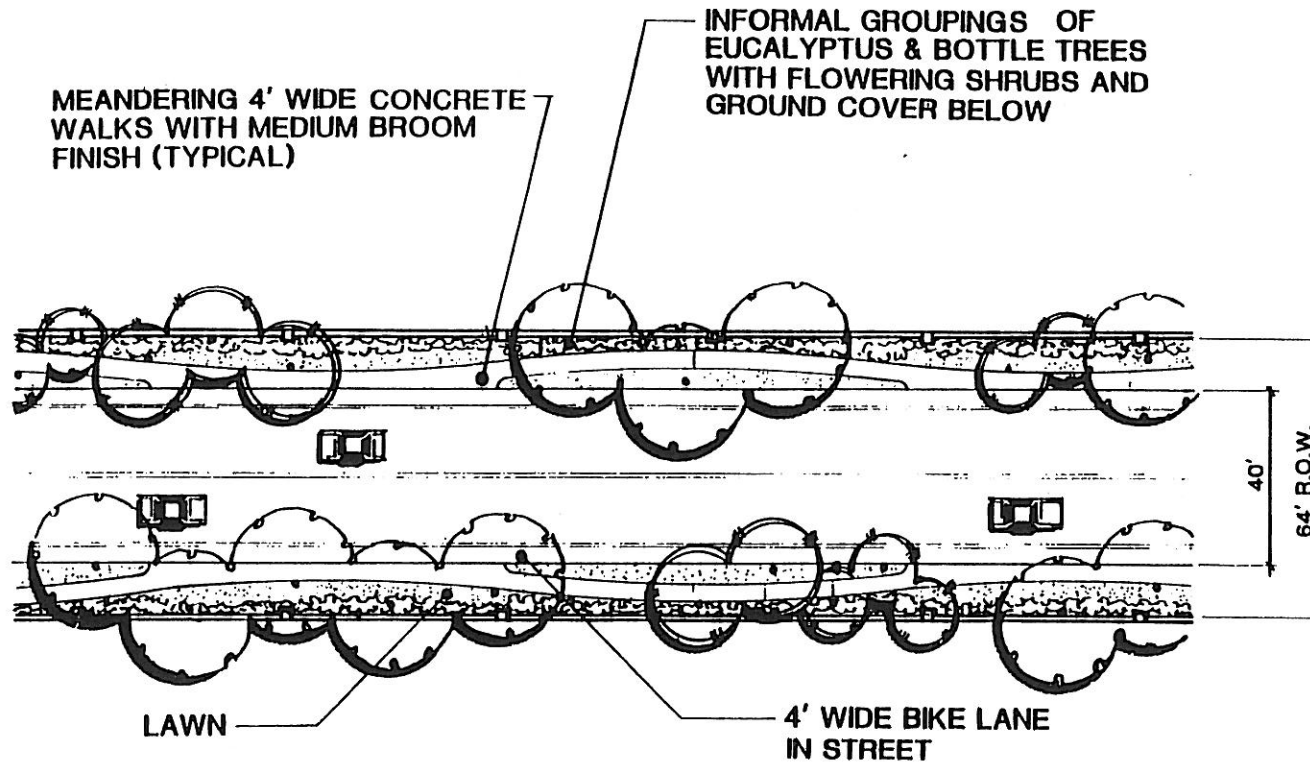
A SPECIFIC PLAN PREPARED FOR THE CITY OF FONTANA
SOURCE: THE I A. GROUP, INC.

d. Bridlepath Drive (64-foot right-of-way)

The landscape concept for this second largest on-site roadway is to create an informal rural roadway environment. The street trees will be tall, upright and columnar trees planted in informal clumps of 2-12. Shrubs will be flowering and evergreen and placed at the outer edge of the right-of-way in masses to screen adjacent uses from vehicle lights. (See following plan and section).

- 1) Crossing Southern California Edison Easement - At this crossing, an additional 15 feet of landscape treatment on either side of the roadway will be provided. In addition, sidewalks will be expanded to 8 feet wide per discussion in Trails, page V-82.

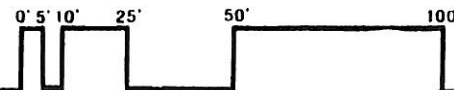
V-50



BRIDLEPATH DRIVE

(C)

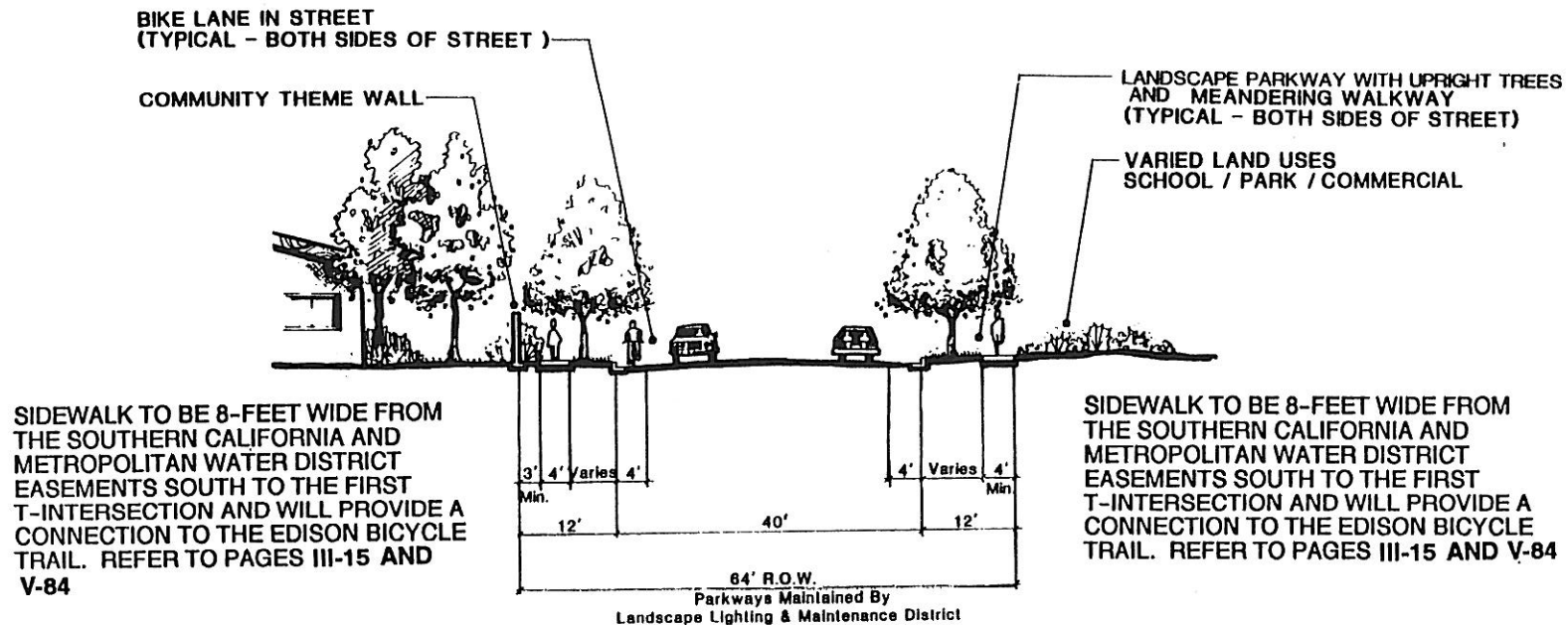
Hunter's Ridge



A SPECIFIC PLAN PREPARED FOR THE CITY OF FONTANA
SOURCE: THE L.A. GROUP, INC.

EXHIBIT # V-24

V-51



BRIDLEPATH DRIVE



Hunter's Ridge

A SPECIFIC PLAN PREPARED FOR THE CITY OF FONTANA
SOURCE: THE L.A. GROUP, INC.

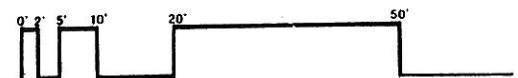
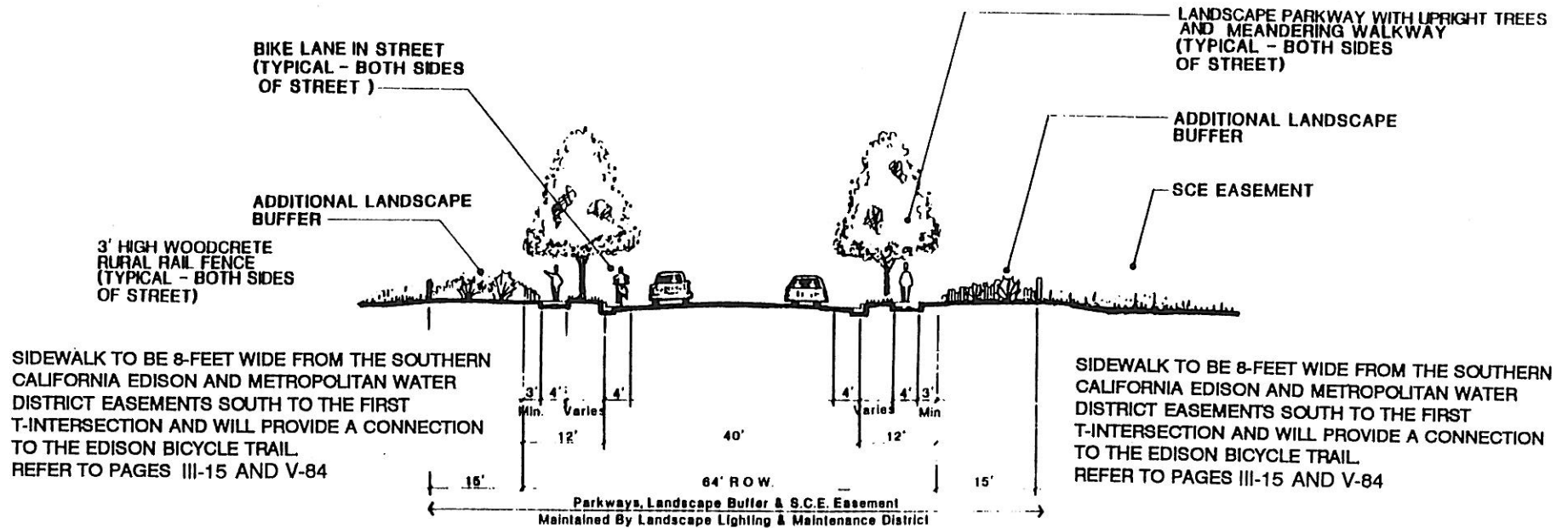


EXHIBIT # V-25

V-52



BRIDLEPATH DRIVE / S.C.E. EASEMENT

(C)

Hunter's Ridge

A SPECIFIC PLAN PREPARED FOR THE CITY OF FONTANA
SOURCE: THE L.A. GROUP, INC.

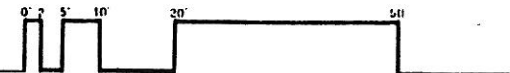


EXHIBIT # V-26

e. **Local Roads**

There are four local roads. These are listed below with sections following. Local road landscaping will convey the neighborhoods (or PUAs) streetscape theme using informal groupings of canopy trees with evergreen and deciduous shrubs below and a 50-50 ratio of lawn to flowering groundcover. Note: All local roads have a minimum of 36 feet of paved travel surface between curbs. The various types of local road vary only in parkway treatments that have been reviewed and adjusted to reflect comments received from Engineering Services and General Services Agency. Cul-de-sacs shall be no longer than 1100 feet.

- 1) Foxborough Drive, a Community through Street (56' R.O.W.)

Landscape treatment and parkway is reflective of the role of this street connecting to the upper canyon, and is similar to the collector road. Note: No parking is allowed. (See Exhibit V-27, page V-53).

- 2) Local Road/Typical (56' R.O.W.)

This street is a typical neighborhood street. Curbside parking is permitted. (See Exhibit V-28, page V-54).

- 3) Local Road/Cul-de-Sac (50' R.O.W.)

The cul-de-sac is a short street with curb-side parking, and also shall express the neighborhoods unique streetscape theme. (See Exhibit V-29, page V - 55).

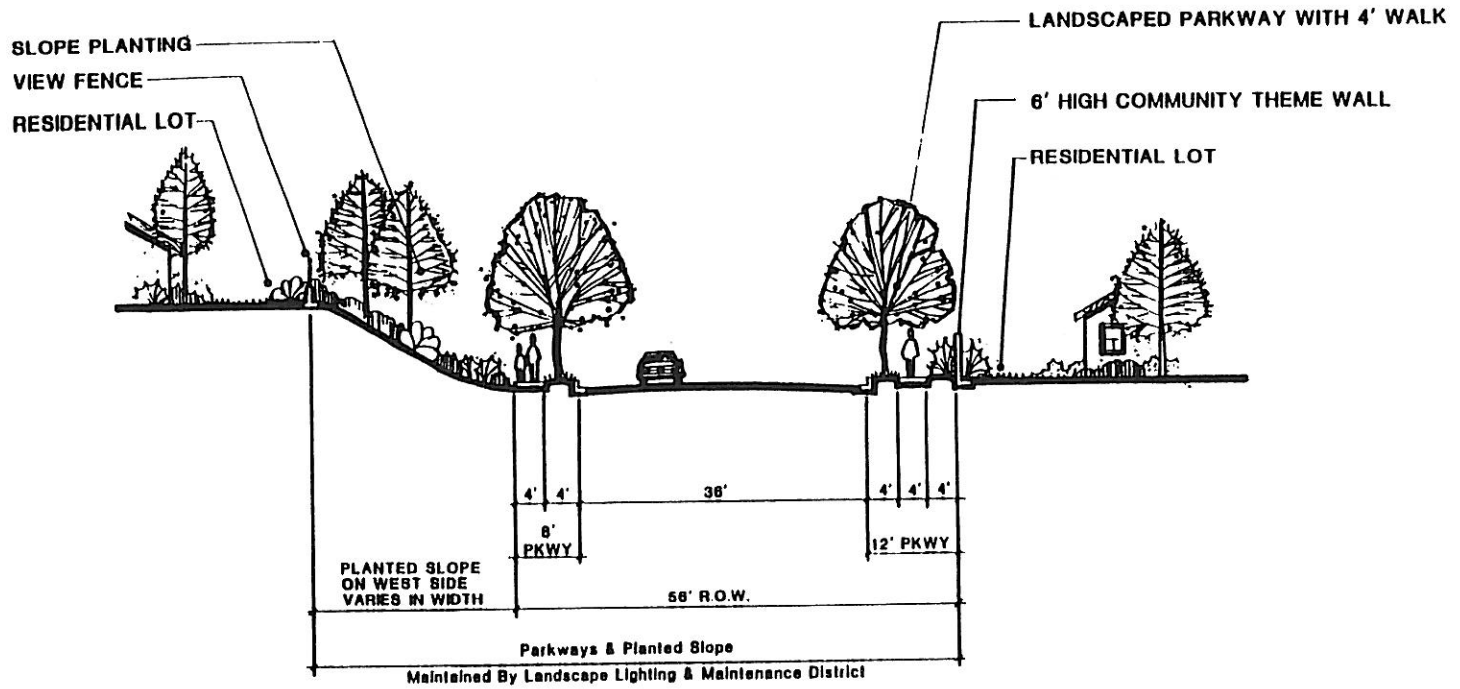
- 4) Foxborough Drive, a Community Through Street (52' R.O.W)

This section emphasizes access to the upper canyon especially for fire protection. Therefore 40 feet of paved area is provided and parking is limited only to the east side. Note: Landscape treatment is informal and emphasizes rural native trees.

- 5) Foxborough Drive, a Community Through Street (70' R.O.W.)

This section emphasizes minimized grading as a continuation of the Foxborough Drive (52' R.O.W.). This section emphasizes fire protection by providing sixty (60) feet of pavement with twenty-eight (28) feet reserved for a fire lane (east side). (See Exhibit V-30, page V-56).

V-54



FOXBOROUGH DRIVE

(D)

Hunter's Ridge

A SPECIFIC PLAN PREPARED FOR THE CITY OF FONTANA
SOURCE: THE L.A. GROUP, INC.

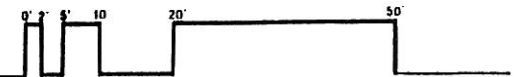
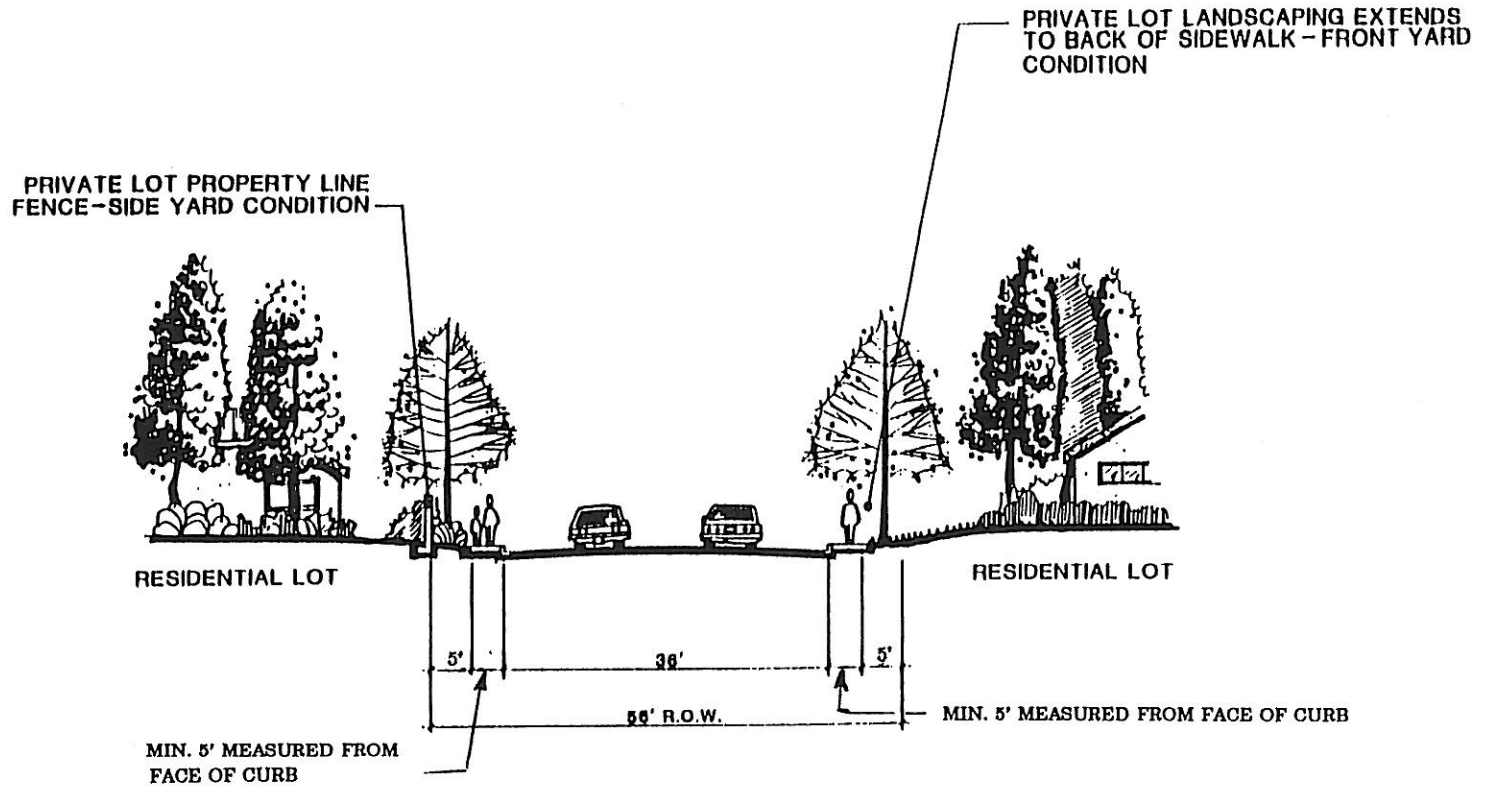


EXHIBIT # V-27



LOCAL ROAD / TYPICAL (D)

Hunter's Ridge

A SPECIFIC PLAN PREPARED FOR THE CITY OF FONTANA
SOURCE: THE L.A. GROUP, INC.

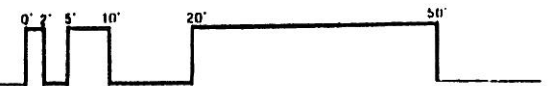
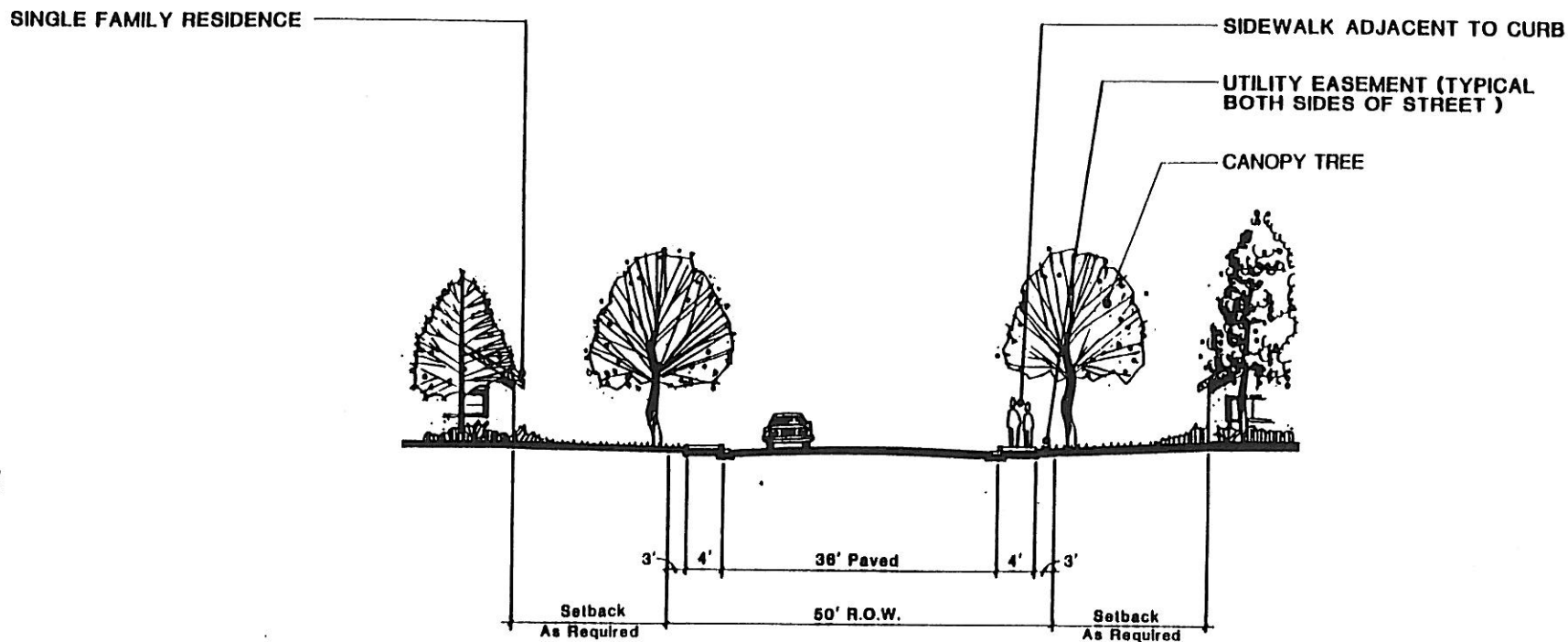


EXHIBIT # V-28

V-56



TRAILHEAD DRIVE

(E)

Hunter's Ridge

A SPECIFIC PLAN PREPARED FOR THE CITY OF FONTANA
SOURCE: THE L.A. GROUP, INC.

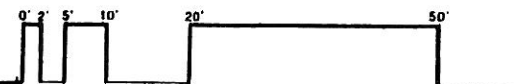
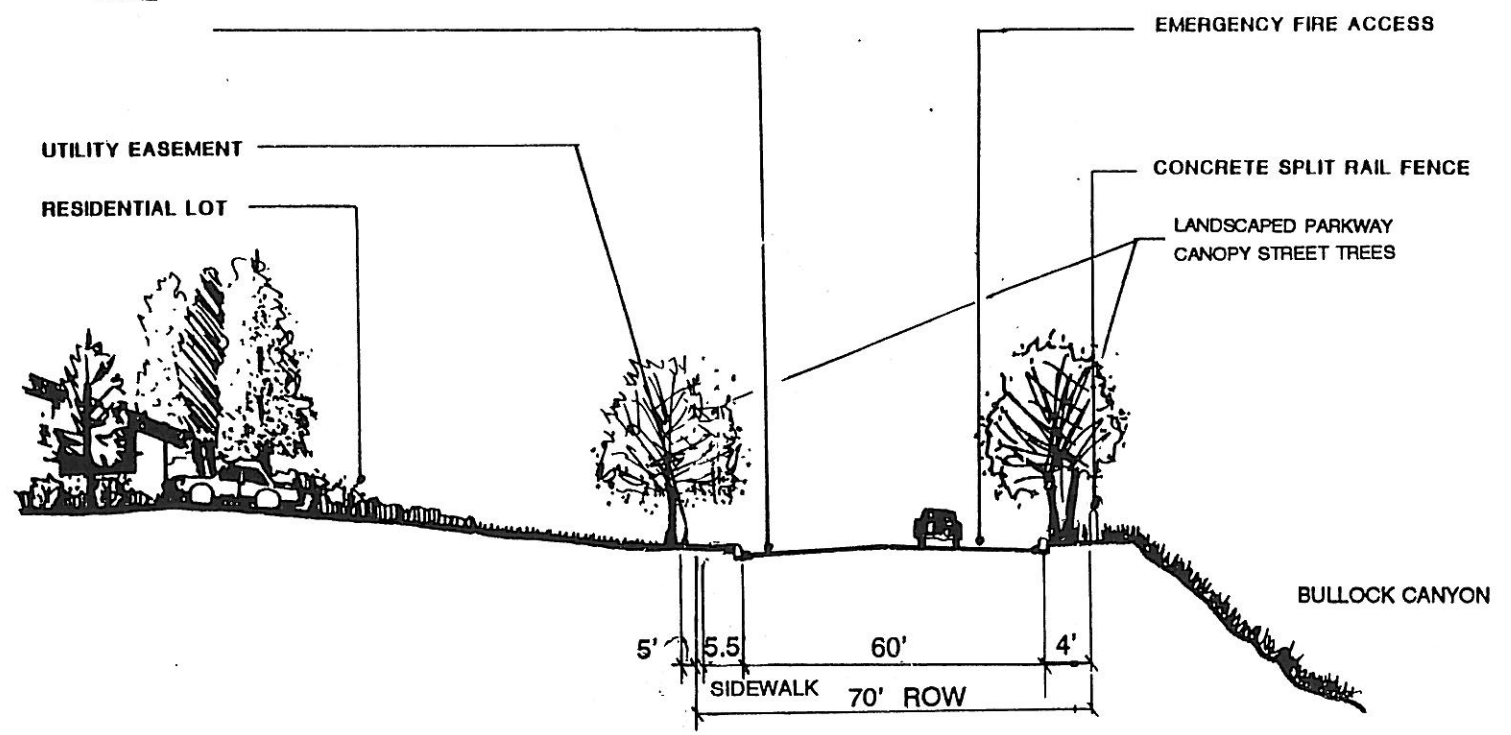


EXHIBIT # V-29

AMENDED 12/19/95
 CITY COUNCIL ORD. NO. 1170
 AMENDED 8/2/94
 CITY COUNCIL ORD. NO. 1123

V-57



FOXBOROUGH DRIVE

(G)

Hunter's Ridge

A SPECIFIC PLAN PREPARED FOR THE CITY OF FONTANA
 SOURCE: THE L.A. GROUP, INC.

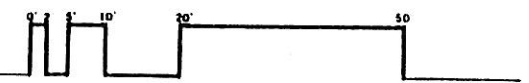
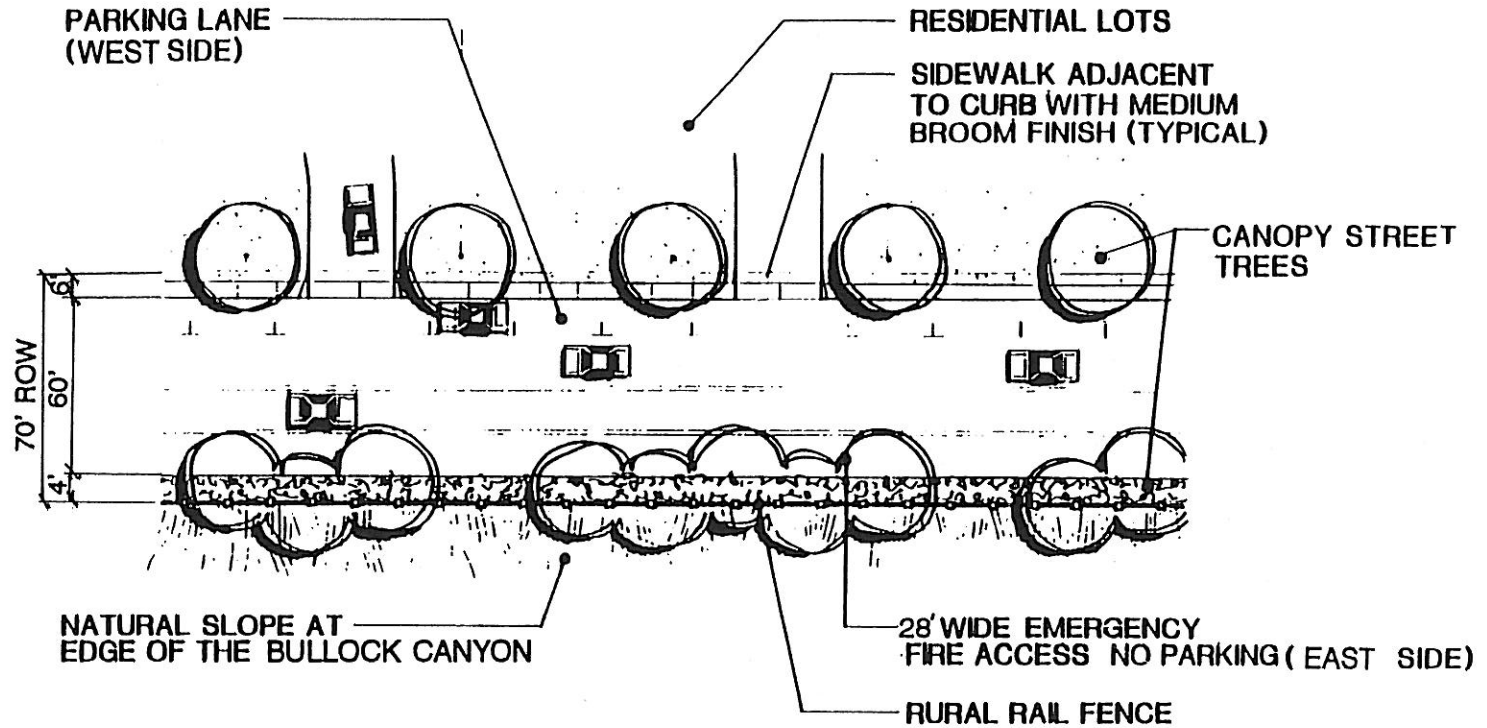


EXHIBIT # V-30

V-58



FOXBOROUGH DRIVE

Hunter's Ridge

A SPECIFIC PLAN PREPARED FOR THE CITY OF FONTANA

SOURCE: THE L.A. GROUP, INC.

G

0' 5' 10' 25' 50' 100'

EXHIBIT # V-31

f. Neighborhood Entry Treatment

A neighborhood entry occurs at the entry to a planning unit area (neighborhood) and should establish the uniqueness of the neighborhood through the use of special landscape treatment. The landscape design concept should indicate to the viewer that they have entered a more private neighborhood area. (See following plan and section).

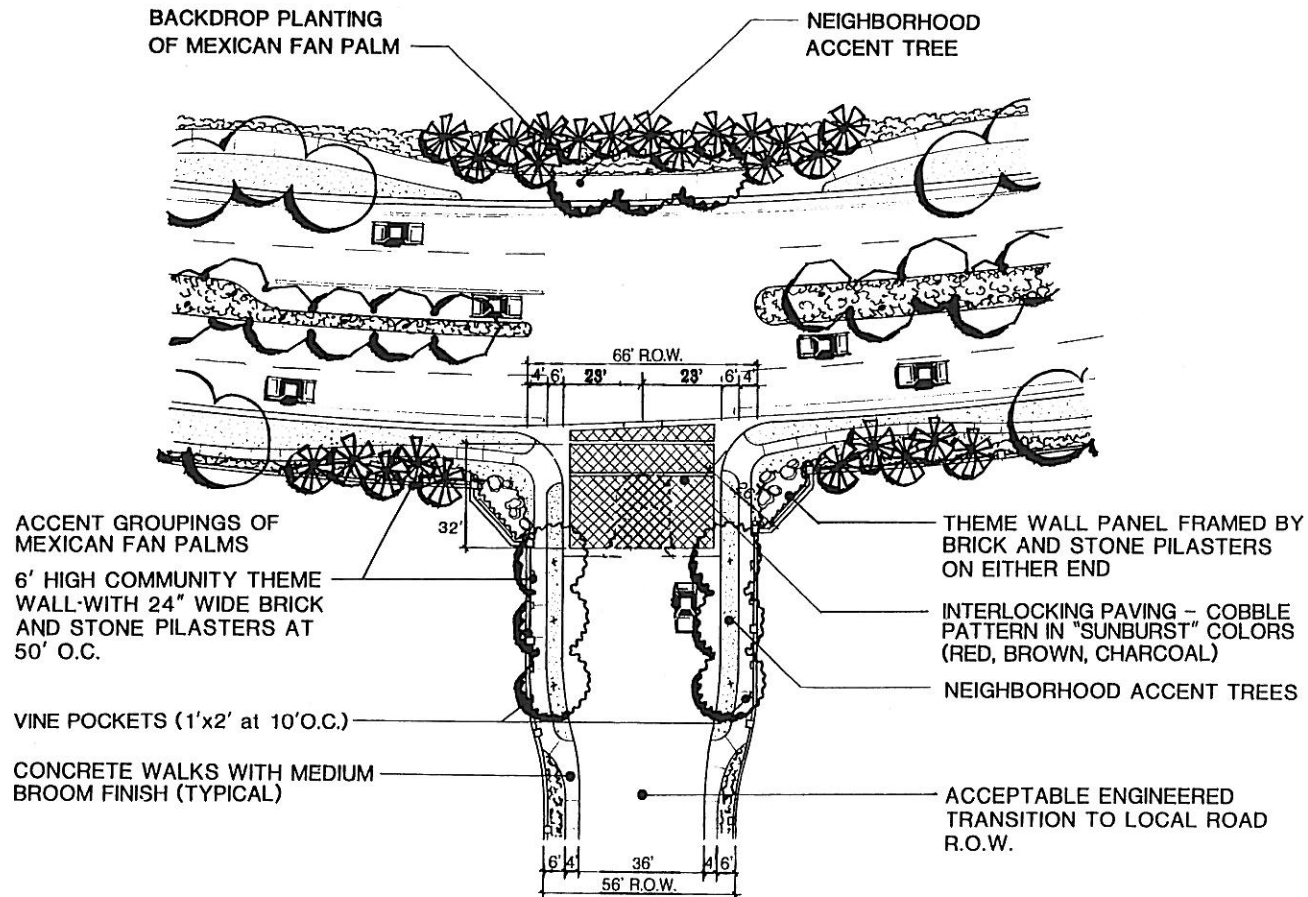
Neighborhood entries are secondary to community entries in both size and impact. Each neighborhood entry should vary in the use and arrangement of plant materials. However, neighborhood entry zones should be consistent in two regards: area and neighborhood plant material consistency.

1. Area: An entry area shall be defined by an enlarged local road. This entry shall be further defined by a 10-foot wide minimum paved area connecting both sides of the entry road at the crosswalk. (See plan, page V-61).
2. Neighborhood Entry Landscape Theme: These major neighborhood entries on the community collector shall incorporate the neighborhood street tree theme as the predominant entry zone [tree] theme. Neighborhood street trees will be identified and approved for each neighborhood (or PUA before issuance of buildings permits). The neighborhood entry zone area should be planted with formal rows of canopy trees with palm accents and lawn (see Exhibit V-32, page V-61) a special uniform groundcover or massing of wildflowers to highlight it, (may include annual color to be replaced as required). Each neighborhood entry should be designed so that each is a unique expression of the neighborhood identity. Trees, shrubs, groundcovers, and flowers will be selected from the approved plant palette. Design to be approved by the Planning Commission.

g. Neighborhood Streetscape Theme Planting (See Local Roads and Cul-de-Sacs)

The prevailing public landscape statement and design opportunity in any neighborhood is embodied in the street trees chosen for the road right-of-way. The design concept will emphasize rural trees of the area or trees reflective of the area's agricultural heritage. (See Local Roads, pages V-53 through V-58).

T9-A



TYPICAL NEIGHBORHOOD ENTRY

Hunter's Ridge

A SPECIFIC PLAN PREPARED FOR THE CITY OF FONTANA

SOURCE THE L.A. GROUP, INC.

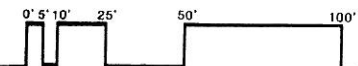
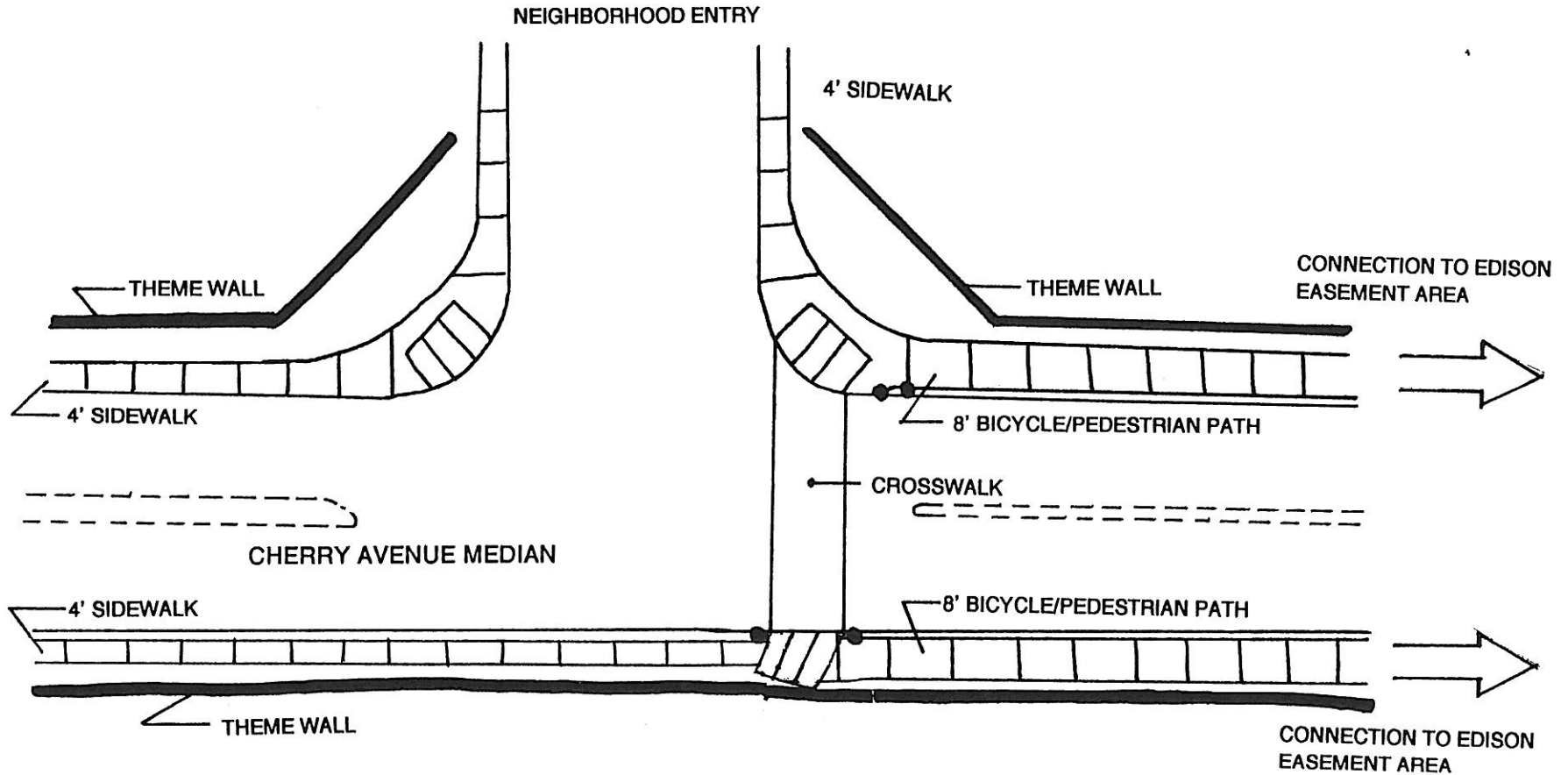


EXHIBIT V-32



TYPICAL BICYCLE/PEDESTRIAN CROSSING AT NON-SIGNALIZED INTERSECTIONS AT CHERRY AVENUE AND NORTHERLY ENTRY INTO TRACT 14275 AND AT BRIDLEPATH DRIVE AND NORTHERLY ENTRY INTO TRACT 14277

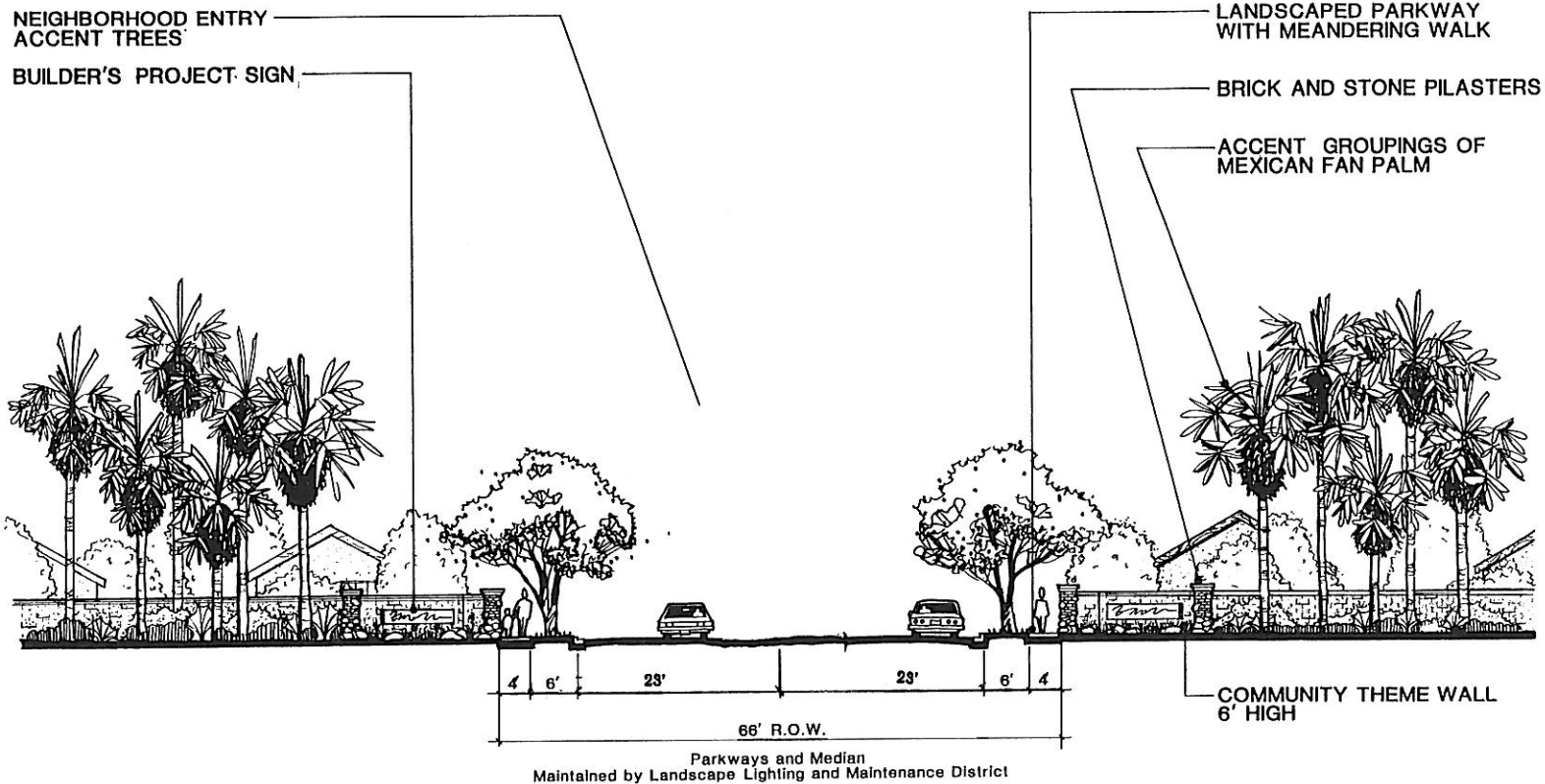
Hunter's Ridge

A SPECIFIC PLAN PREPARED FOR THE CITY OF FONTANA

SOURCE: THE L.A. GROUP, INC.

EXHIBIT #V-33A

V-33



TYPICAL NEIGHBORHOOD ENTRY

Hunter's Ridge

A SPECIFIC PLAN PREPARED FOR THE CITY OF FONTANA

SOURCE: THE L.A. GROUP, INC.

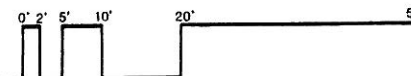


EXHIBIT V-33

h. Special Intersection Treatments

There are two major intersections noted in Hunter's Ridge, both on Cherry Avenue. (See Open Space/Streetscape Plan, page V-29 or Park Plan, page V-77).

1. Area: On the corners that comprise the intersection special landscape treatment will focus on an area measured 50 feet along both roads from the intersection of the road rights-of-way to form a triangle. Four corners will be addressed in the first (Phase I) intersection and only two in the upper (Phase II) intersection.
2. Landscape Treatment: The design concept is a backdrop of large evergreen pyramidal trees with clusters of palms and canopy tree accents. Shrubs will be limited to backdrop. The design shall convey an open rural pastoral landscape. Split-rail fencing is encouraged. (See Park Plan for conceptual layout, page V-77).

i. Commercial Areas

There is one commercial area in Hunter's Ridge. The landscape concept for the commercial site is that it express a cordial rural character with several outdoor gathering areas for all seasons, and well maintained trees, shrubs and groundcover.

Trees and plants shall be placed so as not to obscure the identity of the commercial tenant from the view from the public road.

In addition, shade trees will be required to reduce the heat generated from large expanses of paved parking surfaces (1 per 5 stalls).

Site Improvements: A minimum of 15 percent of the commercial site area shall be landscaped. (See j. next page).

j. Commercial Frontage Landscape Treatment

The commercial area is intended to offer neighborhood convenience items for the project.

The following guidelines will apply in this zone:

1. Area: A continuous area, a minimum of 10 feet in depth, and an average of 15 feet in depth shall be landscaped and maintained adjacent to street rights-of-way except for any perpendicular access drive or pedestrian walkway. Said landscaping, except trees, shall not exceed 3 feet in height within 25 feet of an intersection or access drive. Open canopy trees will be used with evergreen and deciduous flowering shrubs and a 50-50 ratio of flowering groundcover to lawn.
2. Site Improvements: A minimum of fifteen (15) percent of the total site shall be aesthetically improved. A maximum of two (2) percent coverage reduction may be permitted.

k. Residential Edge Buffer Landscape Treatment

A special landscape/edge treatment is appropriate to assist in a positive transition between different residential densities, product types and open space. Accordingly, in areas where adjacent residential areas differ by classifications (e.g., R-1 to R-8), or where residential uses abut commercial uses, landscape, architectural, building orientation, setback and wall/fence treatments should be established to provide a visual separation. The responsibility for such treatment rests with the more intense development project (see Development Regulations and Open Space Streetscape Plan).

1. Area: This buffer area will be defined as a 10' wide area.
2. Landscape Treatment: Large, pyramidal and canopy trees, densely planted and hedges, a ground plane of dense evergreen flowering shrubs and groundcover, as well as berms (4' maximum height) are permitted, either individually or in association with walls or fences.

V-67

Amended 12/19/95
City Council Ord. No. 1170

Amended 8/2/94
City Council Ord. No. 1123

1. Open Zone Treatments

There are many areas in the Hunter's Ridge plan that are designated as an open (O) zone. They include such things as flood control easements, utility corridors, landscape setback areas, fuel modification zones and natural open space.

1. Flood Control Easements

These easements are regulated by San Bernardino Flood Control and will be designed and maintained by the County of San Bernardino unless other agreements rule. These areas include such features as the San Sevaine Wash and proposed debris dam at the mouth of the San Sevaine Canyon, the levee on the western edge of the property and the Hawker-Crawford Channel. A study by Bill Mann Associates is analyzing these areas for future improvements.

Items that this specific plan would like to request from Flood Control are:

- a. Fencing of open channels to safeguard children.
- b. Limited opportunity, upon approval, to deposit excess fill material within easement areas directly adjacent to planning unit areas.

2. Utility Corridors

Four large utility corridors cross the site in an east-west direction. They are:

- o Lower Corridor: 80' Metropolitan Water District (fee)
330' Southern California Edison
(easement)
 - o Upper Corridor: 330' Southern California Edison
(easement)
440' City of Los Angeles Water and
Power (easement)
- a. Landscape treatment: the design concept for the community treats the two utility corridors differently.

- 1) Lower Corridors: the lower corridors are proposed for improvement. The design concept envisions improving the Edison easement with a bicycle trail. The area would be left in a natural fallow state (including existing rock and boulder formations). (See Park Plan and Easement Treatment, Exhibit V-37, page V-78).

- a) Roads: these easements would be crossed twice by project roads in a north-south direction. No structures are proposed. Trees would be kept within required heights, and bicycle and jogging trails would be installed upon approval. By improving this land the community core concept is achieved and the elementary school and community gain usable open space.
- b) Bicycles: an east-west trail (8' minimum asphalt or concrete) through the SCE easement will be provided by developer. Future off-site linkages are possible, but a regional trail system would have to be implemented and approvals gained from flood control. The off-site connections should be viewed as having long-range potential but no immediate connection.

Access connections to planning unit areas south of the SCE easement across MWD property are required to PUAs 2, 3 and 6 (if approved by MWD and SCE). A 15-foot right-of-way with bollards at either end will be provided, as well as a minimum paved (concrete) surface of 8 feet is required with upright trees planted 1 per 30 l.f. when it passes between houses.

- 2) Upper Corridors: The upper two corridors are both easements and the landscape should act as a natural transition from the moderate residential densities below it to the rural estate lots above it. This land will therefore be largely kept in its native state subject to LA/DWP and SCE regulations.

There are three proposed plan changes to the existing conditions. They involve crossing them by a road, by a fire access lane, by an equestrian trail.

- a) Road: a local road will provide access across the easements to the upper canyon area. It will be a 61' ROW (see Circulation Plan).
 - b) Equestrian Trail: the east-west regional trail will be provided in response to the West Valley Foothills Community Plan. It will be a 12' wide area (see Design Guidelines for sketch, page III-17).
 - c) Fire Access Road: A 20' wide fire access road to the east of Foxborough Drive will provide secondary access to the upper canyon area. This fire access road merges into Foxborough Drive to create the 28' fire lane on the east side of Foxborough Drive. (See exhibit following). In addition, a 20-foot R.O.W. will be provided to the city from the topmost cul-de-sac to connect to the Forest Service Road (see Exhibit V-8).
- 3) Fuel Modification Zone and Fire Safety Provisions

A fuel modification zone is indicated for the upper canyon area to reduce the risk of fire. A fuel management plan shall be prepared defining and minimizing landscape modifications and approved prior to issuance of building permits for Phase III. (See Wildland Fire Safety Report, EIR Appendix).

Width: The fuel modification zone will be measured from the building setback of each lot in the R-E 10,000 district. Road right-of-way will be included. Note: A qualified engineer is currently studying the width of these zones. Recommendations indicate a 200-foot zone should be provided to the east, west, south, and north in conformance with a Vegetation Management Plan.

In areas where the canyon slope was 60% or more (6 feet drop over 10 horizontal feet) or where there were important stands of canyon oak or southern California black walnut, that fuel modification would extend down the canyon side - no more than 25 (horizontal) feet, and that the fuel modification zone would extend for 25 feet into the front yards of the residential lots.

In situations where such intrusion of the fuel modification zone into the residential lots was required, an easement over the affected portions would be dedicated to the Fontana Lighting and Landscape District. This easement would permit fuel modification maintenance of the zone by the District, as needed.

Length: This zone will extend from the northerly most lot in Phase 3 of the project southward into the Wilderness Parks (see Exhibit V-34, next page).

Fencing: Fences in this zone will be noncombustible.

Helipads: A total of 2 helicopter pads (flat areas 100' x 100') are recommended to aid emergency access to the area (see Exhibit V-34).

Safety Zone: One (1) 100' x 100' safety zone is required in addition to the two helipads. This zone does not need to be graded and is an area free of vegetation, except native grasses.

Fire Lane: A fire access lane will be provided at the rear of the estate residential lots, P.U.A. 16 only, as a second emergency access route. The fire lane will have a minimum width of 15 feet (asphalt or concrete), enlarging to 20 feet every 600 feet for passing or pullover. In addition, bollards and signs to prohibit access by off-road vehicles and smoking will be provided at key access points.

In addition, this lane must be engineered as a flat road to tilt toward east hillside with a paved drainage device for drainage. Prior to final design a soils test will be required to determine proper base materials.

Fuel Management Recommendations

- Preserve all canyon oaks, southern California black walnuts (and other native trees) of a trunk diameter breast high of 6" or greater, in the fuel modification zone, and of a trunk diameter breast high of 12" or greater in the Estate and Rural Residential lot area as feasible.
- Holly-leaved cherry, canyon oak, southern California black walnut and deer grass will be preserved, (subject to thinning, pruning or high mowing). Other elements would be reduced in volume up to 50% of fuel load (in situations where brush cover was continuous). Fifty percent reduction of brush elements and mowing of annual grasses and forbs should achieve fire protection goals by reducing fire intensity to a level where it can be adequately managed, while 50% brush retention should adequately protect the relatively small extent of modified lower Bullock Creek slopes from excessive erosion.
- The Fuel Management Plan shall be prepared prior to the approval of any parcel or tract map in Phase II. The Fuel Modification Zone will be maintained as part of the Specific Plan's Landscape, Lighting and Maintenance District by qualified fuel management personnel. Joint inspection of the Fuel Management Zone shall be made at least once a year by Central Valley Fire District, the County of San Bernardino, and the U.S. Forest Service who will then recommend to the City what procedures are necessary at that time to maintain the Fuel Management Zone to agreed upon standards.
- The preparation of the Fuel Management Plan will be the responsibility of the wildland fire safety specialist selected by the City, with input from the project biologist.
- A temporary fuel modification zone (FMZ) will be emplaced within or northerly of the upper east-west Edison easement. This zone will buffer residential homes to the south from wildland fire hazards until the permanent FMZ in Phase III is constructed.

- The developer must perform whatever initial modification work is required in the entire Fuel Modification Zone, as identified in the Fuel Management Plan, prior to the approval of any parcel or tract map in Phase II.

Guidebook

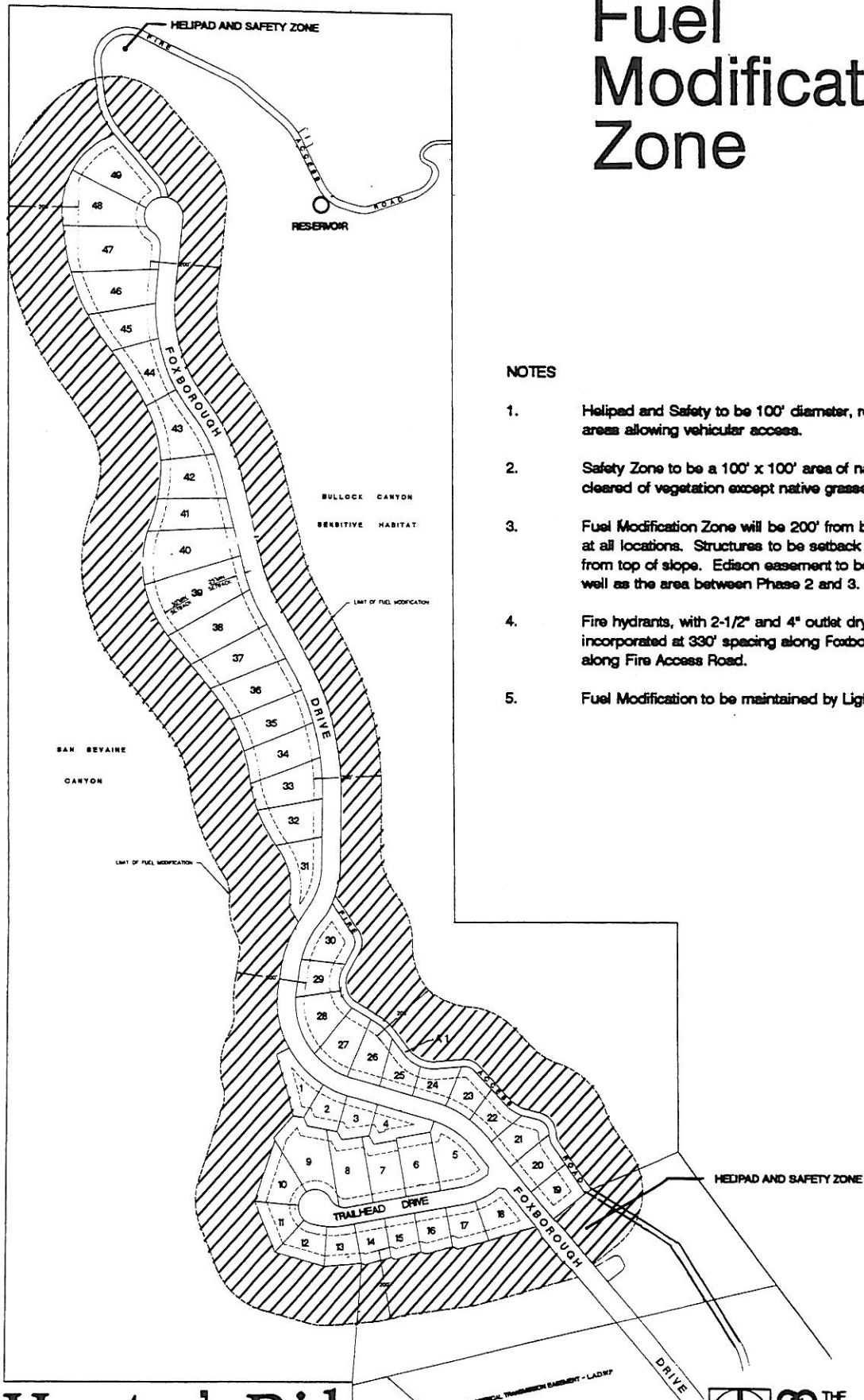
A guidebook or brochure will be prepared for the City by the developer to inform lot owners and the Lighting and Landscape District about CCR fire safety stipulations and fire-safe landscape design and maintenance practices. The guidebook would be a component of the Fuel Management Plan, as well as site specific fuel modification planning and execution.

4) Scenic Open Space

The scenic open space in the project will not be disturbed outside the fuel modification zone.

- a) A 35' building and grading setback will be maintained along the length of Bullock Creek to protect this resource. (See Exhibit V-35).
- b) Access into the San Sevaine Canyon will be controlled by well designated paths and signs to limit biological disturbance.

Fuel Modification Zone



NOTES

1. Helipad and Safety to be 100' diameter, relatively flat areas allowing vehicular access.
2. Safety Zone to be a 100' x 100' area of natural slope, cleared of vegetation except native grasses.
3. Fuel Modification Zone will be 200' from building setbacks at all locations. Structures to be setback at least 30' from top of slope. Edison easement to be managed also, as well as the area between Phase 2 and 3.
4. Fire hydrants, with 2-1/2" and 4" outlet dry barrel to be incorporated at 330' spacing along Foxborough Drive and 600' along Fire Access Road.
5. Fuel Modification to be maintained by Lighting and Landscape District.

Hunter's Ridge

A SPECIFIC PLAN PREPARED FOR THE CITY OF FONTANA

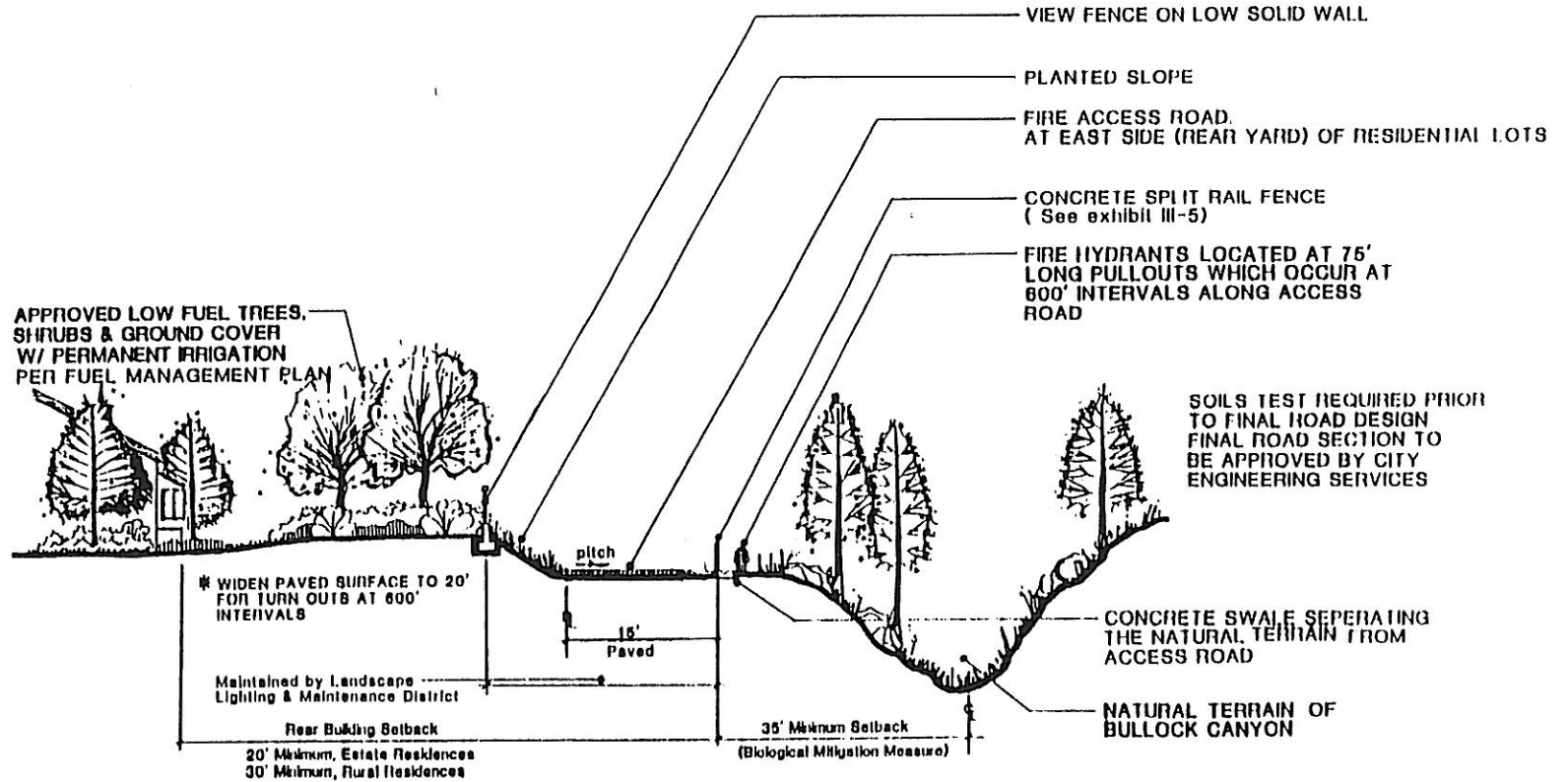


EXHIBIT V-34

AMENDED 12/19/95

CITY COUNCIL ORD. NO. 1170

V-74



FIRE ACCESS ROAD

Hunter's Ridge

A SPECIFIC PLAN PREPARED FOR THE CITY OF FONTANA
SOURCE: THE L.A. GROUP, INC.

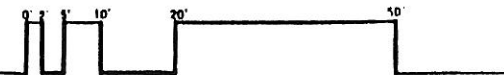


EXHIBIT # V-35

m. Parks and Schools

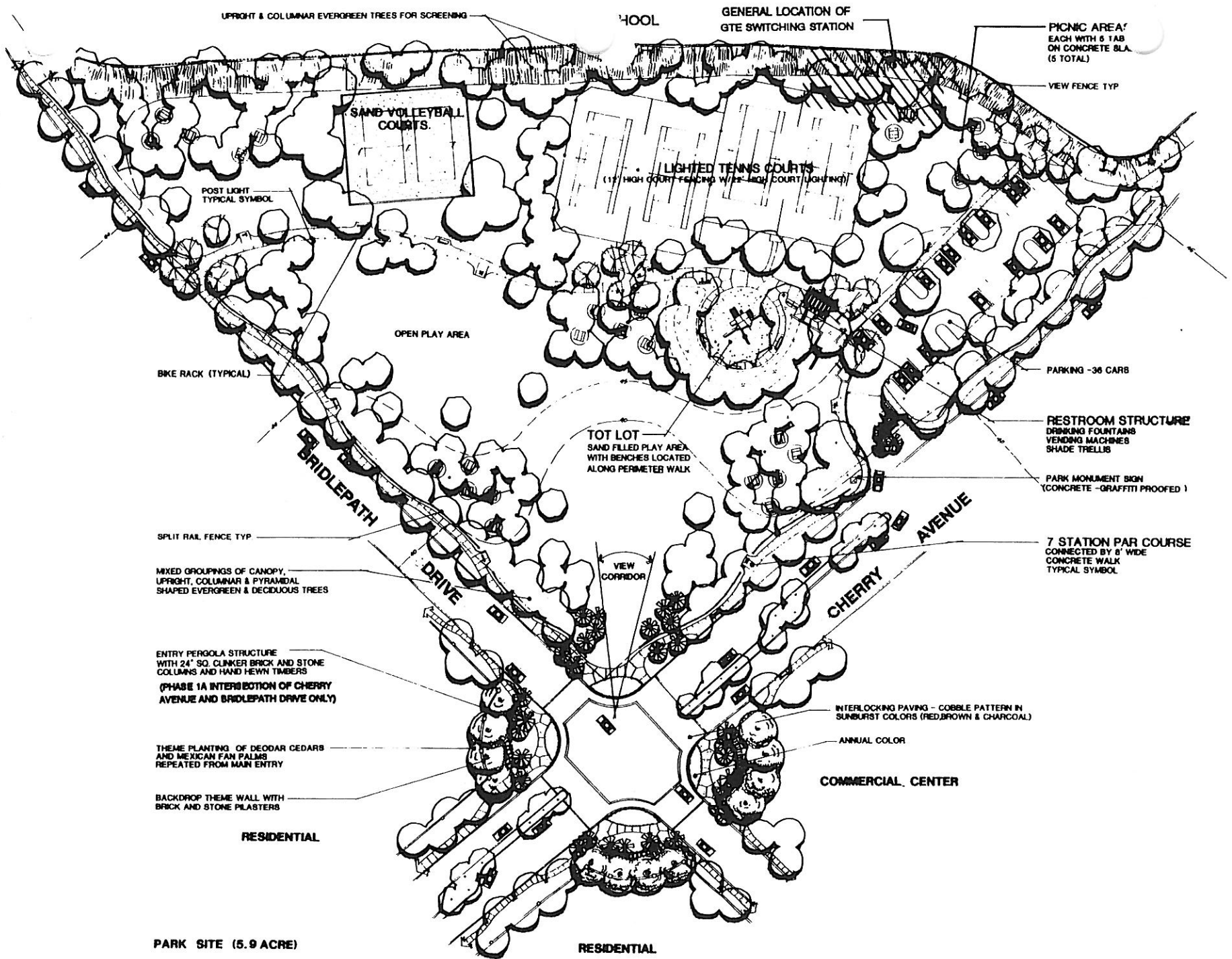
Parks and schools will be designed to provide outdoor recreation areas to meet each agencies standards. Large evergreen and deciduous trees with flowering canopy accent trees will be utilized. Evergreen trees will be used especially to screen residential lots from recreational night lights. (See Parks General Provisions).

- 1) Park site adjacent to major intersection and Elementary School - See following plan (Exhibit V-36) for concept. (See General Provisions for requirements).
- 2) Park site adjacent to southerly S.C.E. easement - See following plan (Exhibit V-37) for concept.
- 3) Wilderness Parks in Phase 3 northerly of the DWP easement - see exhibit for concept.

V-76

Amended 8/2/94
City Council Ord. No. 1123

Amended 12/19/95
City Council Ord. No. 1170



PARK SITE (5.9 ACRE)

Hunter's Ridge

A SPECIFIC PLAN PREPARED FOR THE CITY OF FONTANA
SOURCE: THE L.A. GROUP, INC.

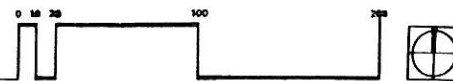
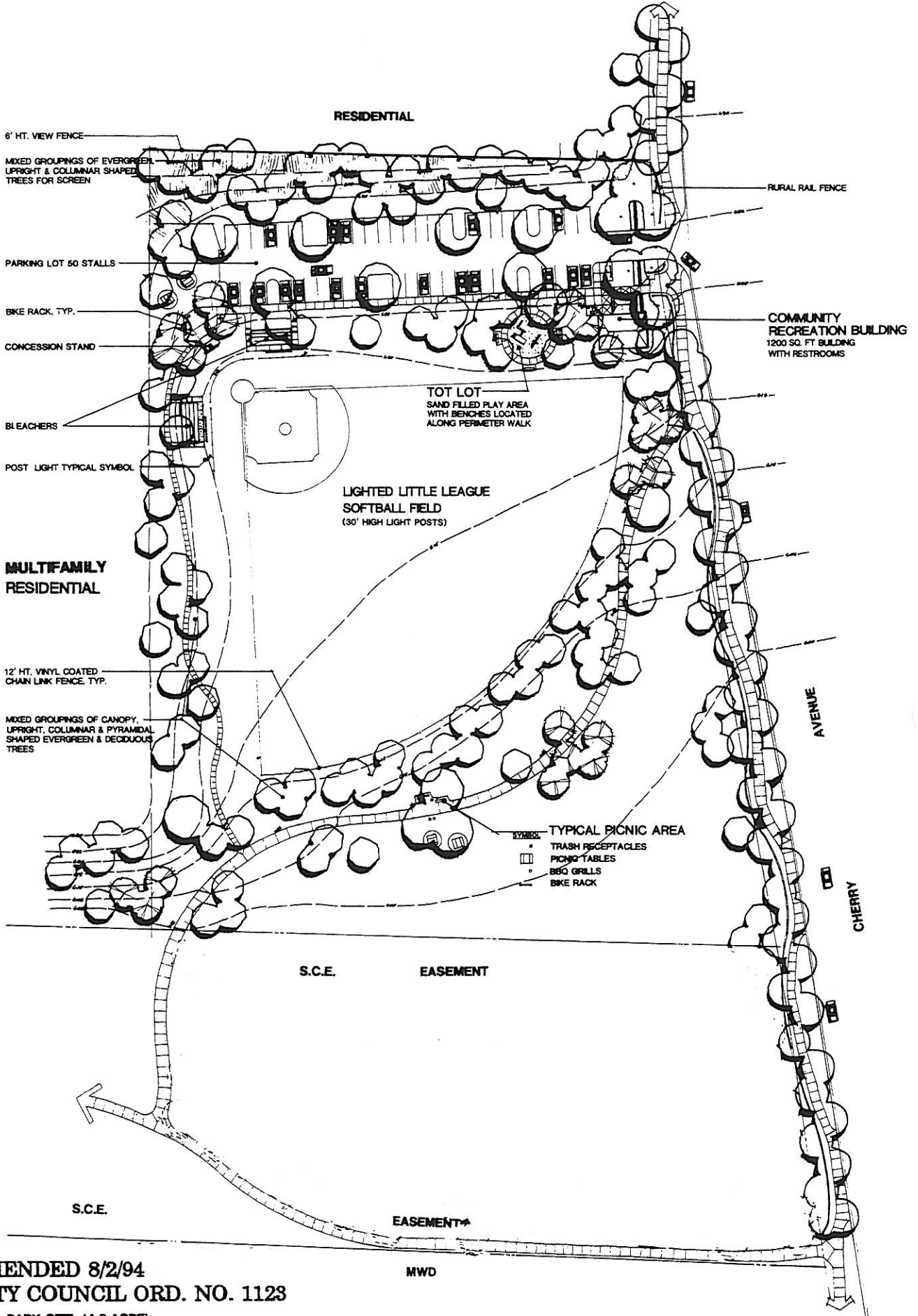


EXHIBIT V-36



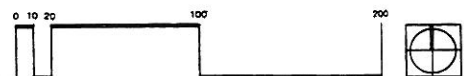
AMENDED 8/2/94
CITY COUNCIL ORD. NO. 1123
PARK SITE (4.8 ACRE)

Hunter's Ridge

A SPECIFIC PLAN PREPARED FOR THE CITY OF FONTANA
SOURCE: THE L.A. GROUP, INC.

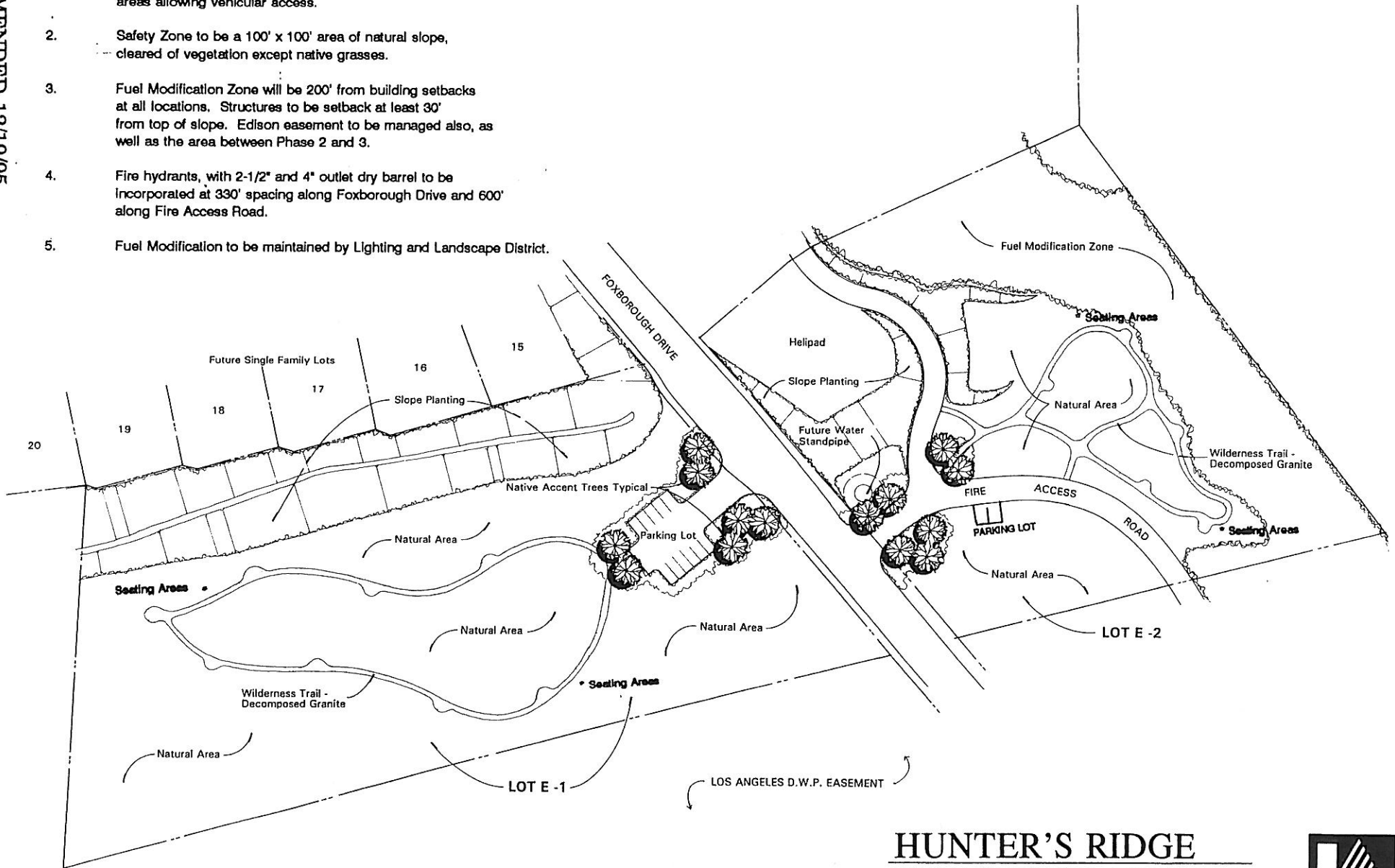
V-78

EXHIBIT V-37



NOTE

1. Helipad and Safety to be 100' diameter, relatively flat areas allowing vehicular access.
2. Safety Zone to be a 100' x 100' area of natural slope, cleared of vegetation except native grasses.
3. Fuel Modification Zone will be 200' from building setbacks at all locations. Structures to be setback at least 30' from top of slope. Edison easement to be managed also, as well as the area between Phase 2 and 3.
4. Fire hydrants, with 2-1/2" and 4" outlet dry barrel to be incorporated at 330' spacing along Foxborough Drive and 600' along Fire Access Road.
5. Fuel Modification to be maintained by Lighting and Landscape District.



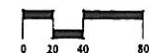
HUNTER'S RIDGE

WILDERNESS PARK - EXHIBIT

CONCEPTUAL LANDSCAPE PLAN

SCALE: 1" = 40'

NORTH



11-3-95

EXHIBIT V-38



THE L.A. GROUP
INC.

Landscaping and site plan design services
2881 Wilshire Blvd., Suite 100
Beverly Hills, CA 90210
(310) 271-1111

n. Estate Residential Lots (P.U.A. 17)

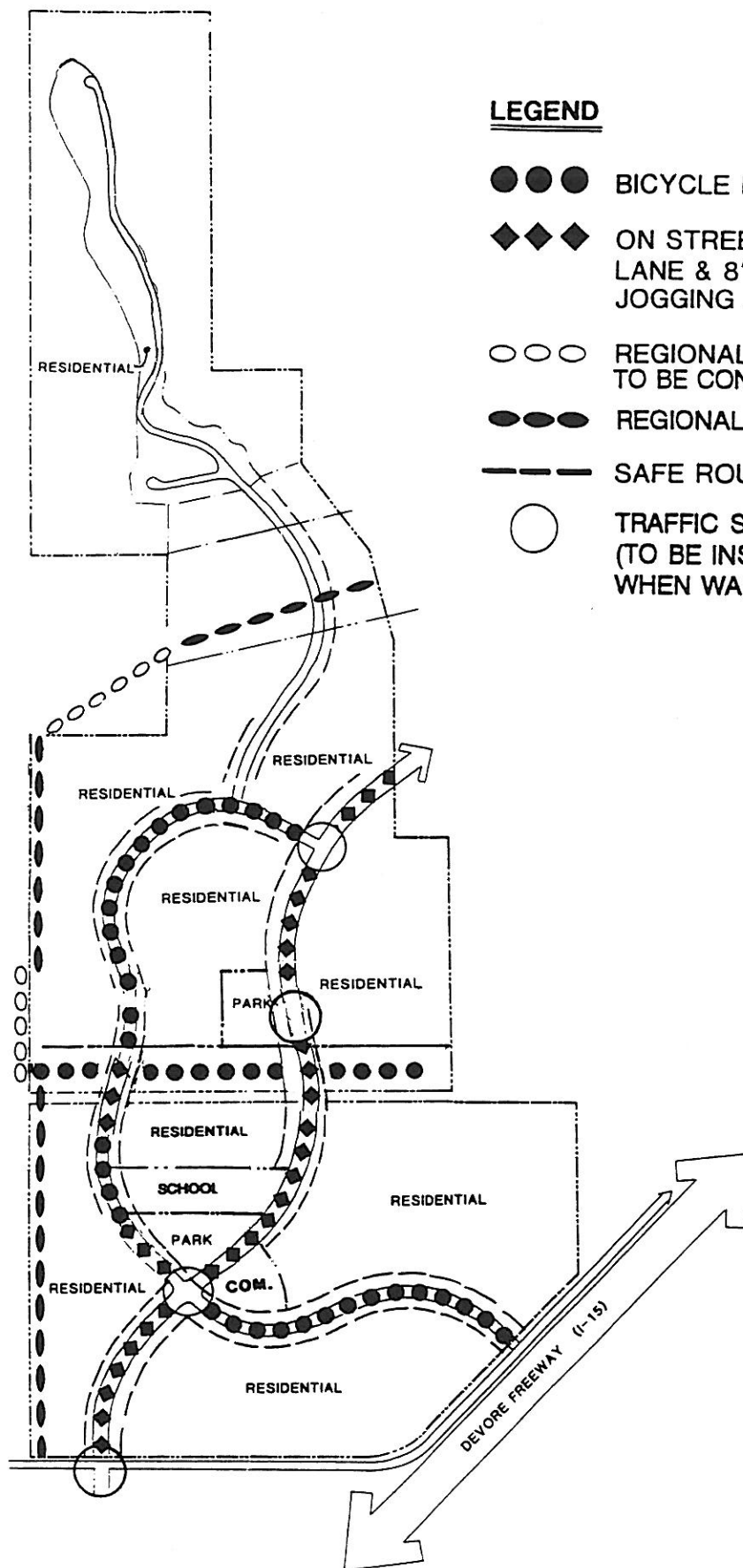
These upper canyon lots will be encouraged to minimize ornamental (non-native) plantings and grading, and to retain as much of the native vegetation as possible. That portion of a rural lot that may fall within a fuel modification zone will be maintained to fire district standards.

o. Trails (See Exhibit V-40, Page V-83)

1. Equestrian trails will be surfaced with decomposed granite surface material and may be located in fire access roads. See following exhibit).
2. Bike lanes and jogging paths will be of 4" concrete surface.
3. Safe route to school - A proposed route is indicated on the Trails Plan. The following accommodations along these routes should be utilized:
 - a) Sidewalk along both sides of Cherry Avenue from the southerly project boundary to the northeasterly project boundary.
 - b) Crosswalks on Cherry Avenue at all signalized intersections.
 - c) Sidewalk along both sides.
 - d) Crosswalks on Bridlepath Drive at the Cherry Avenue traffic signal locations.

These accommodations should be implemented prior to opening of the school site, subject to traffic warrant and School District provided safe route to school map.

In addition to the above measures, the City should monitor the pedestrian safety along Cherry Avenue. If safety problems develop, additional measures may be required. Adult crossing guards may be needed if warrants are met.



LEGEND

- ● ● BICYCLE ROUTE
- ◆ ◆ ◆ ON STREET BICYCLE LANE & 8' WIDE SIDEWALK/ JOGGING PATH (SEE EXHIBIT # V-16)
- ○ ○ REGIONAL EQUESTRIAN TRAIL TO BE CONSTRUCTED BY OTHERS
- ● ● REGIONAL EQUESTRIAN TRAIL
- SAFE ROUTE TO SCHOOL
- TRAFFIC SIGNALS (TO BE INSTALLED WHEN WARRANTED)

RECREATIONAL TRAIL PLAN

Hunter's Ridge

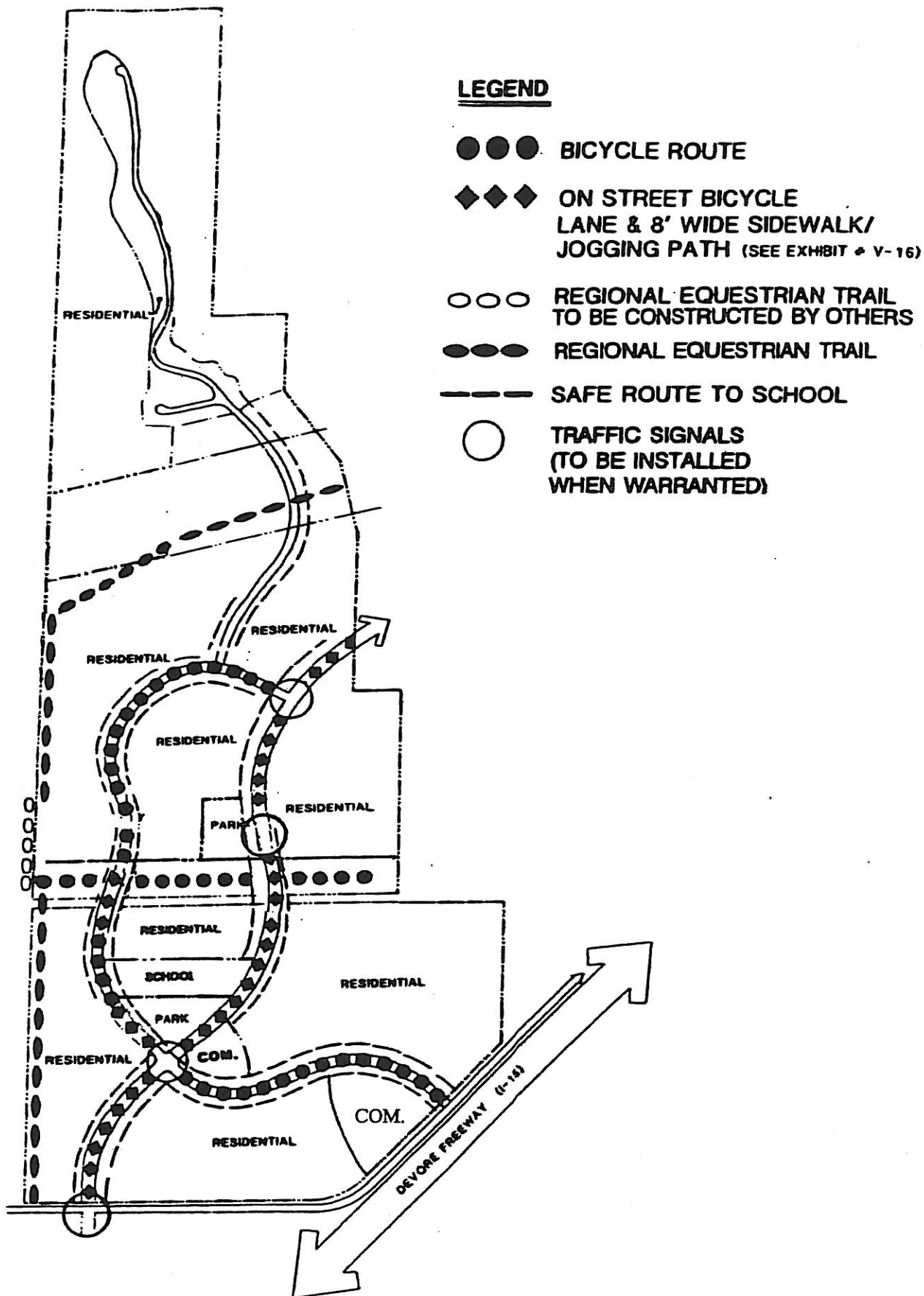
A SPECIFIC PLAN PREPARED FOR THE CITY OF FONTANA
SOURCE: THE L.A. GROUP, INC.

0' 100' 500' 1000'



EXHIBIT # III-5
V-40

AMENDED:
CITY COUNCIL ORDS. NOS. 1123(8/2/94)
1170(12/10/95)

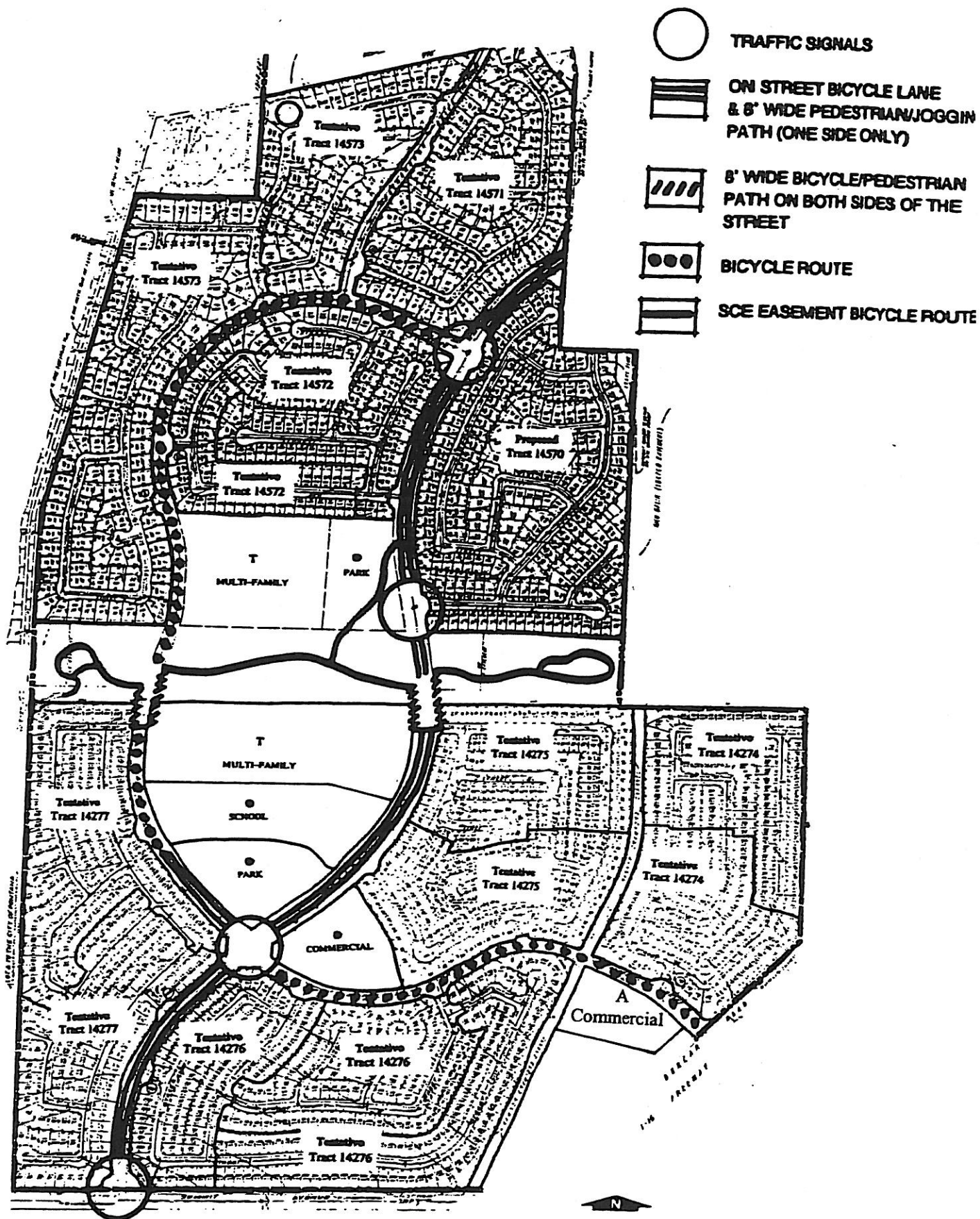


RECREATIONAL TRAIL PLAN

Hunter's Ridge

0' 100' 500' 1000'





BICYCLE TRAIL PLAN

NOT TO SCALE

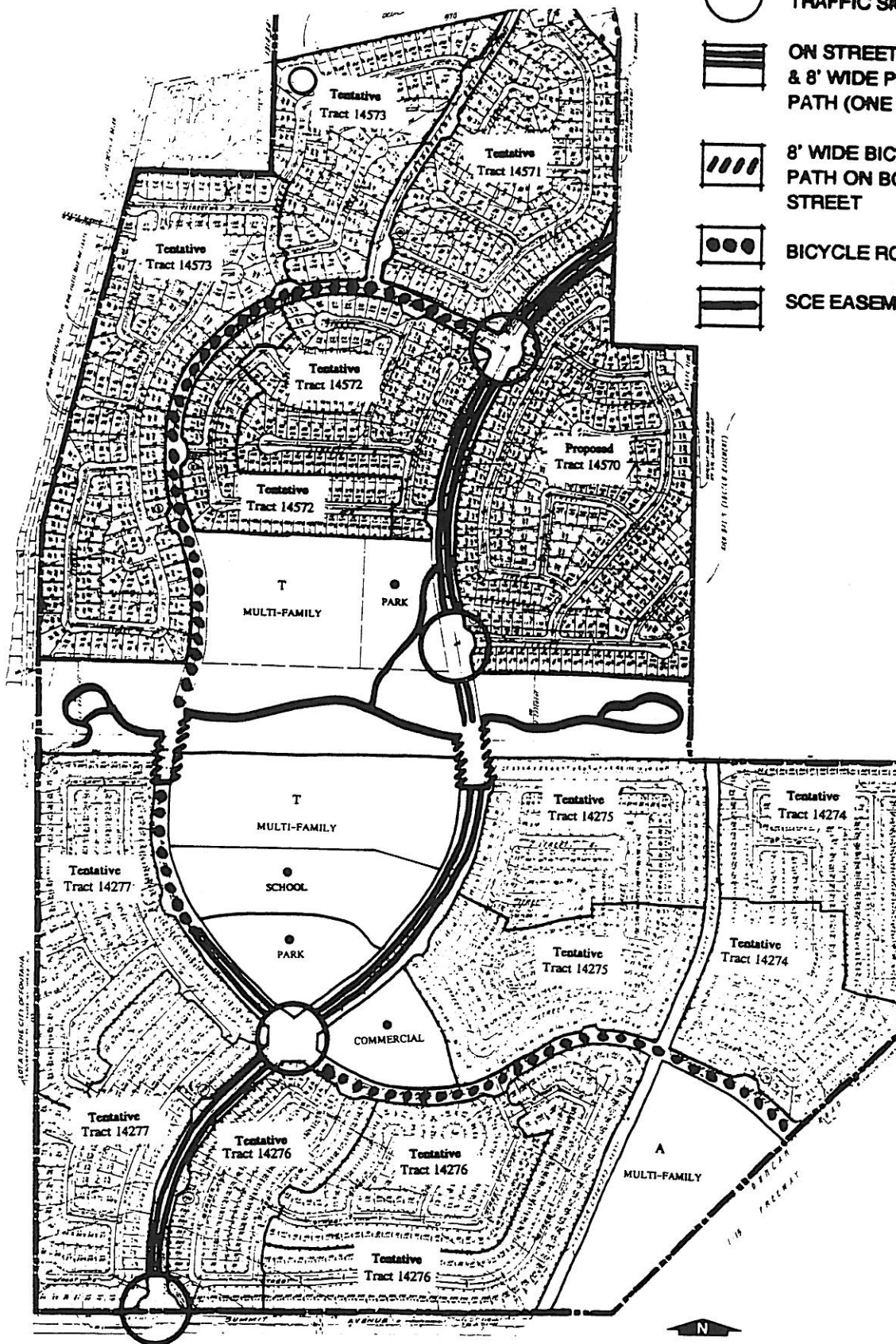
HUNTER'S RIDGE






EXHIBIT #III-5A

#V-40A

AMENDED 8/2/94

V-83



-  TRAFFIC SIGNALS
-  ON STREET BICYCLE LANE
& 8' WIDE PEDESTRIAN/JOGGING
PATH (ONE SIDE ONLY)
-  8' WIDE BICYCLE/PEDESTRIAN
PATH ON BOTH SIDES OF THE
STREET
-  BICYCLE ROUTE
-  SCE EASEMENT BICYCLE ROUTE

BICYCLE TRAIL PLAN

NOT TO SCALE

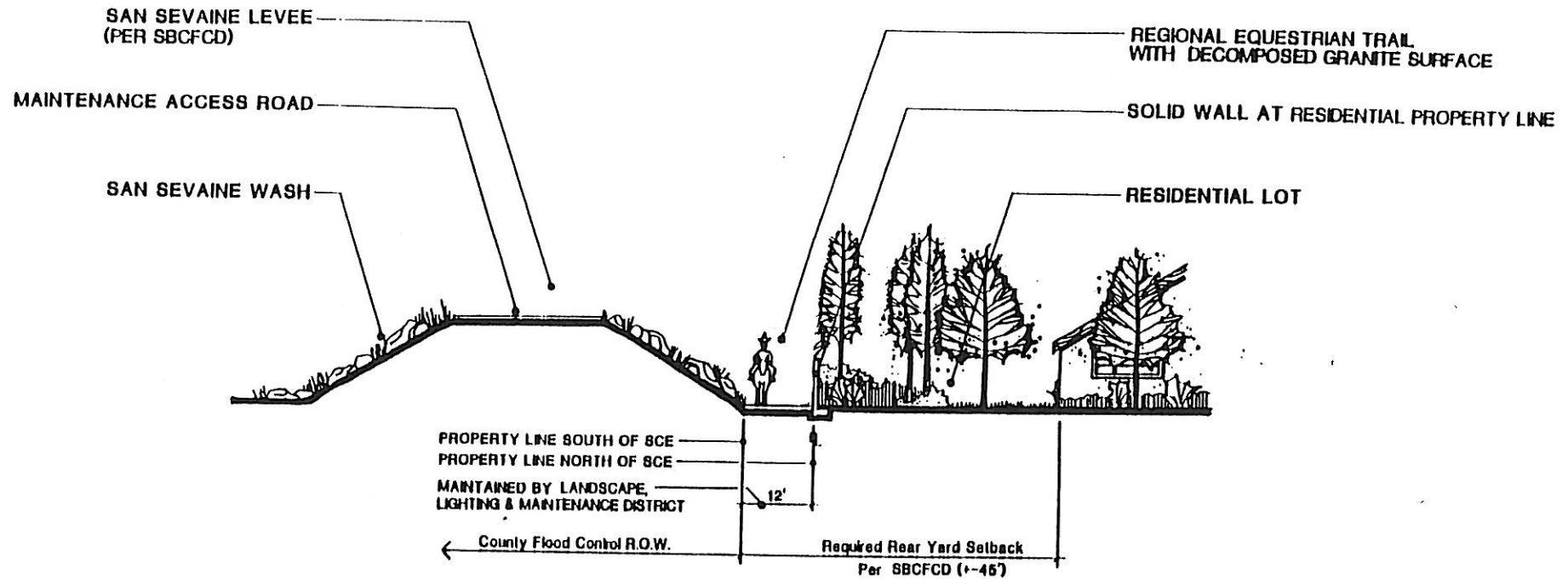
HUNTER'S RIDGE

EXHIBIT #III-5A
#V-40A

AMENDED 8/2/94
CITY COUNCIL ORD. NO. 1123

V-83

V-84



WESTERLY LEVEE AND REGIONAL EQUESTRIAN TRAIL

Hunter's Ridge

A SPECIFIC PLAN PREPARED FOR THE CITY OF FONTANA
SOURCE: THE L.A. GROUP, INC.

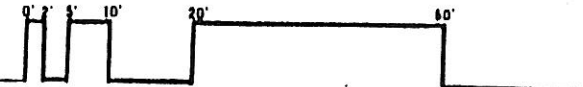


EXHIBIT # V-41

HUNTER'S RIDGE PLANT PALETTE

<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>SPACING</u>
-----------------------	--------------------	----------------

D=Deciduous
E=Evergreen
Y/N=Drought Tolerant

TREES:

Canopy Trees

Albizia julibrissin	Silk Tree	25' o.c. D N
Cinnamomum camphora	Camphor Tree	50' o.c. E N
Citrus Spp.	Citrus	20' o.c. E N
Koelreuteria paniculata	Golden Rain Tree	40' o.c. D Y
Lagerstroemia indica	Crape Myrtle	25' o.c. D N
Olea europaea(Fruitless)	Fruitless Olive	30' o.c. E N
Pistacia chinensis	Pistache Tree	40' o.c. D N
"Keith Davey"		
Prunus cerasifera	Flowering Plum	12' o.c. D N
"Krauter Vesuvius"		
Pyrus calleryana	Flowering Pear	25' o.c. E N
"Aristocrat"		

Columnar/Pyramidal/Upright

Alnus rhombifolia	White Alder	40' o.c. D N
Betula pendula	European White Birch	15' o.c. D N
Brachychiton populneus	Bottle Tree	30' o.c. E N
Callistemon viminalis	Weeping Bottlebrush	15' o.c. E Y
Cedrus deodara	Deodar Cedar	45' o.c. E Y
Eucalyptus Spp.	Eucalytus	30' o.c. E N
Fraxinus ornus	Raywood Ash	25' o.c. D N
"Raywood"		
Geijera parvifolia	Australian Willow	20' o.c. E N
Ginkgo biloba (male only)	Maidenhair Tree	40' o.c. D N
Liquidambar styraciflua	Sweetgum Tree	25' o.c. D N
Liriodendron tulipifera	Tulip Tree	40' o.c. D N
Robina idahoensis	Idaho Locust	35' o.c. D N

Palms

Chaemerops humilis	Mediterranean Fan Palm	20' o.c. E Y
Phoenix canariensis	Canary Island Palm	50' o.c. E N
Phoenix dactylifera	Date Palm	40' o.c. E N
Trachycarpus fortunei	Windmill Palm	30' o.c. E N
Washingtonia filifera	California Fan Palm	40' o.c. E N
Washingtonia robusta	Mexican Fan Palm	40' o.c. E Y

BOTANICAL NAME**COMMON NAME****SPACING**

D=Deciduous
 E=Evergreen
 Y/N=Drought Tolerant

SHRUBS:

<i>Abelia grandiflora</i> "Edward Goucher"	Glossy Abelia	5' o.c.	E	N
<i>Acacia redolens</i>	Prostrate Acacia	15' o.c.	E	Y
<i>Agapanthus orientalis</i>	Lily-of-the-Nile	4' o.c.	E	N
<i>Berberis thunbergii</i>	Red-Leaf Japanese Barberry	5' o.c.	D	N
<i>Calliandra tweedii</i>	Trinidad Flamebush	8' o.c.	E	Y
<i>Ceanothus griseus</i> <i>horizontalis</i> "Yankee Point"	Wild Lilac	8' o.c.	E	Y
<i>Chaenomeles</i> spp.	Flowering Quince	10' o.c.	D	Y
<i>Cistus</i> spp.	Rockrose	3' o.c.	E	Y
<i>Dodonea viscosa</i> "Purpurea"	Purple Hopseed Bush	15' o.c.	E	Y
<i>Euonymus japonica</i>	Evergreen Euonymus	6' o.c.	E	Y
<i>Feijoa sellowiana</i>	Pineapple Guava	25' o.c.	E	Y
<i>Grevillea noellii</i>	N.C.N.	4' o.c.	E	Y
<i>Hemerocallis</i> hybrids	Daylily	3' o.c.	D	N
<i>Kniphofia uvaria</i>	Red Hot Poker	3' o.c.	D	Y
<i>Leptospermum scoparium</i> "Ruby Glow"	New Zealand Tea Tree	4' o.c.	E	Y
<i>Ligustrum texanum</i>	Waxleaf Privet	5' o.c.	E	N
<i>Morea irioidis</i>	Fortnight Lily	3' o.c.	E	Y
<i>Myrtus communis</i>	True Myrtle	5' o.c.	E	Y
<i>Nandina domestica</i>	Heavenly Bamboo	4' o.c.		
<i>Nerium oleander</i>	Oleander	varies w/ species	E	Y
<i>Osmanthus fragrans</i>	Sweet Olive	6' o.c.	E	Y
<i>Photinia fraseri</i>	N.C.N.	5' o.c.	E	N
<i>Pittosporum robira</i>	Tobira	6' o.c.	E	N
<i>Pittosporum robira</i> "Wheeler's Dwarf"	Dwarf Tobira	3' o.c.	E	N
<i>Plumbago auriculata</i>	Cape Plumbago	8' o.c.		
<i>Punica granatum</i> "Nana"	Dwarf Pomegranate	3' o.c.		
<i>Raphiolepis indica</i>	India Hawthorn	4' o.c.	E	N
<i>Ribes speciosum</i>	Flowering Gooseberry	3' o.c.	D	Y
<i>Rosa</i> spp.	Rose	6' o.c.	D	N
<i>Rosmarinus officinalis</i>	Rosemary	6' o.c.	E	N
<i>Spirea bumalda</i> "Anthony Waterer"	Dwarf Red Spirea	3' o.c.	D	N

BOTANICAL NAME**COMMON NAME****SPACING**

D=Deciduous

E=Evergreen

Y/N=Drought Tolerant

SHRUBS (continued):

Trachelospermum jasminoides	Star Jasmine	30"o.c.	E	N
Viburnum tinus	Laurustinus	6' o.c.	E	N
Xylosma congestum	N.C.N.	6' o.c.		

VINES:

Clematis armandii	Evergreen Clematis		E	N
Clytostoma callistegioides	Violet Trumpet Vine		E	N
Distictis buccinatoria	Blood Red Trumpet Vine		E	N
Ficus pumila	Creeping Fig		E	N
Macfadyena unguis -catii-	Cats Claw		D	N
Parthenocissus tricuspidata	Boston Ivy		D	N

GROUND COVER:

Gazania spp.	Gazania	12"o.c.	D	N
Hypericum calycinum	Creeping St.	18"o.c.	E	N
	Johnswort			
Lonicera japonica	Japanese	18"o.c.	E	N
	Honeysuckle			
Rosemarinus officinalis	Rosemary	18"o.c.	E	N
	Prostratus			
Vinca minor	N.C.N.	18"o.c.	E	N
Vinca major	N.C.N.	18"o.c.	E	N

HYDROSEED/GENERAL:

Acacia redolens	Prostrate Wattle
Atriplex semibaccata	Creeping Saltbush
Baccharus pilularis	Chapparral Brown
Ceanothus prostratus	Squawcarpet
Cistus corsicus	Rock Rose
Festuca rubra	Creeping Red Fescue
Gazania splendens	Gazania
O'Connors Legume	Strawberry Cloves
Assorted Indigenous Wildflowers	
Grasses - Native grasses	
Turf	

Plant Sizing and Spacing

- * 1. Minimum shrub size to be one gallon container, with a ratio of 5 gallon to 1 gallon being 3:2.
- * 2. Minimum tree size to be one gallon.
 - A. One gallon minimum tree size is OK in open space in clusters only.
 - B. Five gallon minimum on cut slopes.
 - C. Fifteen gallon minimum street and yard trees.
- * 3. Minimum palm size to be 6' trunk height.
- 4. Maximum shrub spacing to be per plant palette list, above.
- 5. Maximum tree spacing to be per plant palette list, or as specified on specific details for particular areas of the project.
- 6. All groundcover areas of maintenance district right-of-ways will receive shrub plantings to be provided at a total minimum rate of one shrub per 200 square feet.
- 7. Minimum standards for planting of private slopes within individual planning units for slopes over five feet (5') in height:
 - a. Slopes five to fifteen feet in height : hydroseed application with one one-gallon shrub per 200 square feet.
 - b. Slopes over fifteen feet in height : one tree per 400 square feet of slope surface area and one one-gallon shrub per 200 square feet of slope surface area.

* NOTE: Plants at entry to be substantially larger.

GANGED MAILBOX LOCATION
EXACT NUMBER TO BE DETERMINED
BY POSTAL SERVICE
ONE (1) PER RESIDENCE
SEE PAGE III-40

HYDROSEEDED LAWN OR
APPROVED GROUND
COVER

MASONRY WALL
SEE EXHIBIT III-8

SHRUB AREA-
TO BE 25% MINIMUM OF TOTAL
FRONT YARD LANDSCAPING-
EXCLUDING THE DRIVEWAY
ONE(1) SHRUB PER 25 S.F.
A RATIO OF 5 GALLON
TO 1 GALLON BEING 3:2

FRONT YARD LAWN
MINIMUM 5' FROM BUILDING
EDGE OR FENCE

CONCRETE WALKS WITH
MEDIUM BROOM FINISH (TYP.)

LAWN AND GROUND COVER
IRRIGATION TO BE ON
SEPERATE AUTOMATIC VALVES

SEE THE APPROVED PLANT
PALETTE FOR ACCEPTABLE
PLANT MATERIALS
AND SPACING.
PAGES V-77 THRU V-81

TWO (2) 15
GALLON TREES
PER LOT

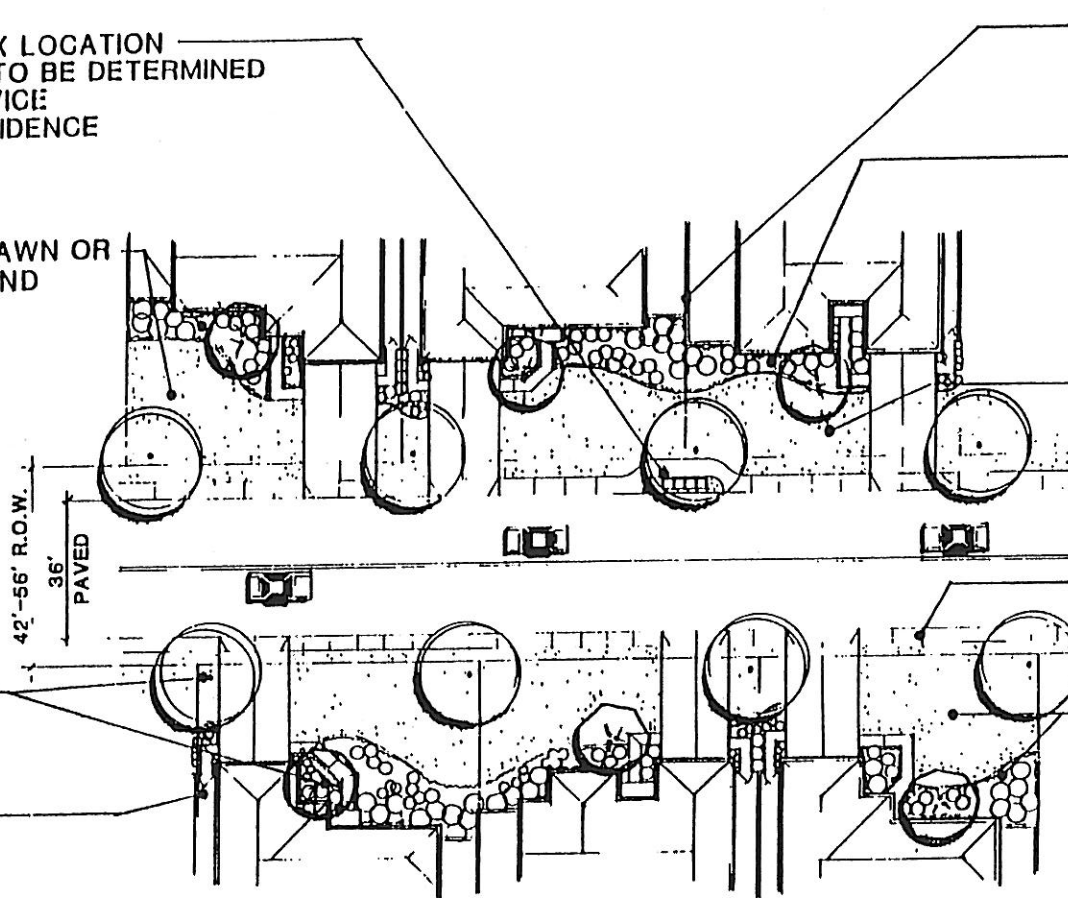
SIDE YARD
ACCESS

FRONT YARD AMENITY PACKAGE

Hunter's Ridge

A SPECIFIC PLAN PREPARED FOR THE CITY OF FONTANA
SOURCE: THE L.A. GROUP, INC.

EXHIBIT # V-41a



Hydroseed/Permanently Irrigated Erosion control slopes

<u>Species</u>	<u>Lbs/Acre</u>	<u>Pur/Germ</u>
O'Connors Strawberry Clover	4	98 - 85
Gazania splendens	5	70 - 85
Alyssum "Violet Queen"	3	95 - 80
cistus salviifolius	2	90 - 60
Acacia redolens	2	99 - 75
Chrysanthemum paludosum	1	95 - 75
Eschscholzia calif "Ballerina"	1	95 - 75
Lotus corniculatus	3	95 - 85

Hydroseed/Fuel Modification Zone

(To be determined by Fuel Management Plan)

1. Irrigated - Low Fuel

Lotus corniculatus	4	95 - 85
Gazania splendens	5	70 - 85
Cistus salviifolius	2	90 - 60
Eschscholzia californica	1	95 - 75
Lasthenia chrysostoma	.5	30 - 35
Lupinus bicolor	3	95 - 80
Plantago sempervirens	4	95 - 95

2. Temporary Irrigation - Low Fuel

Oenothera cherianthifolia	.5	95 - 75
Sisyrinchium bellum	2	75 - 75
Eschscholzia calif.	1.5	95 - 75
Atriplex semi baccata	4	90 - 80
Lupinus bicolor	3	95 - 80
Encelia actonii	2	40 - 35
Lotus corniculatus	4	95 - 85
Lastenia chrysostoma	2	30 - 35
Plantago insularis	40	

3. Non-Irrigated - Low Fuel

<u>Species</u>	<u>Lbs/Acre</u>	<u>Pur/Germ</u>
Eschscholzia californica	2	95 - 75
Oenothera cheiranthifolia	1	95 - 75
Penstemon spectabilis	2	95 - 75
Encelia actonia	3	40 - 35
Eriogonum fasciculatum	5	10 - 65
Lasthenia chrysostoma	2	30 - 35
Plantago insularum	2:1 (+) 50	95 - 75
	3:1 (-) 40	

Hydroseed/Non-Irrigated Easements

(PLS = Purified Live Seed to provide 100% Germination)

<u>Species</u>	<u>PLS/1000 sq. ft.</u>
----------------	-------------------------

Bouteloua gracilis (Blue Gramma Grass)	1 1/2
---	-------

<u>Species</u>	<u>PLS/Acre</u>
----------------	-----------------

Assorted Wildflowers	10
----------------------	----

To assist in establishment, prior to hydroseeding, "Grosoke" shall be tilled 4" - 6" into soil at an application rate of 20 lbs. dry weight crystals per 1000 sq. ft. and heavily watered in. Hydroseed shall occur immediately after "Grosoke" has reached saturation point.

Alternate SCE Easement Hydroseed Mix

(Pecoff Brothers seed mix "Ontario Parklands number 43")

Achillea millefolium (White Yarrow)
Atriplex confertifolia (Shadescale)
Dimorphotheca sinuata (African Daisy)
Gazania "Hybrid" (Gazania)
Lasthenia glabrata (Goldfields)
Limonium sinuatum (Statice)
Deep watering three times per year, during summer months.

PLANTING CATEGORIES

FUEL MODIFICATION ZONE

Irrigated - Low Fuel
Temporarily Irrigated - Low Fuel
Non-irrigated - Low Fuel

Three hydroseed mixes with dominating plant species in each mix to create a succession from close to house proximity out to natural slopes creating a gradient flow into the natural landscape.

EROSION CONTROL/SLOPE STABILIZATION

A hydroseed mix of deep rooting evergreen and deciduous flowering shrubs and ground cover.

COMMUNITY ENTRY STATEMENTS (PRIMARY AND SECONDARY)

Backdrop of large pyramidal evergreens with clusters of palms and canopy tree accents. Combination of evergreen and deciduous flowering shrubs and vines with a 50-50 ratio of ground cover to lawn.

DIVIDED HIGHWAY LANDSCAPE TREATMENT

Evergreen and deciduous flowering shrubs with a 50-50 ratio of flowering ground cover to lawn. Formal groupings of tall, columnar trees in parkways with low canopy trees informally lining center median strip of flowering shrubs.

COLLECTOR STREETS

Informal groupings of tall upright and columnar trees with flowering shrubs and a 50-50 ratio of flowering ground cover to lawn below.

RESIDENTIAL EDGE

Large Pyramidal and canopy trees planted with a ground plane of dense evergreen flowering shrubs and ground cover.

OPEN SPACE

- * Left undisturbed in its natural state. If disturbed by grading, replanting with indigenous materials.

EASEMENTS

Small evergreen and deciduous trees not to exceed 15, in height.

PARKS

Large evergreen and deciduous trees with flowering canopy accents trees at major circulation nodes.

- * INDIGENOUS MATERIALS (See Biological Assessment, EIR for complete list)

TREES

Quercus chrysolepis	Canyon Oak
Alnus rhombifolia	White alder
Juglans hindsii	Black walnut
Platanus racemosa	California sycamore

SHRUBS

Artemisia californica	Coastal sagebrush
Ribes speciosum	Flowering gooseberry
Salvia clevelandii	Cleveland sage
Sambucas mexicana	Mexican elderberry

NEIGHBORHOOD ENTRY TREATMENT

Formal rows of canopy trees with palm accents and lawn.

NEIGHBORHOOD STREETScape THEME

Informal groupings of canopy trees with evergreen and deciduous flowering shrubs below and a 50-50 ratio of lawn to flowering ground cover.

SPECIAL INTERSECTION TREATMENT

Backdrop of large pyramidal evergreens with clusters of palms and canopy tree accents. Combination of evergreen and deciduous flowering shrubs and vines with a 50-50 lawn to ground cover ratio.

COMMERCIAL AREAS

COMMERCIAL FRONTAGE LANDSCAPE TREATMENT

Open canopy trees with evergreen and deciduous flowering shrubs and a 50-50 ratio of flowering ground cover to lawn.

DUNCAN CANYON AND FREEWAY BUFFER LANDSCAPE TREATMENT

Informal groupings of upright, columnar and canopy trees with evergreen flowering shrubs and a 50-50 ratio of lawn to flowering ground cover below.

SUMMIT AVENUE

Informal groupings of upright, columnar and canopy trees with evergreen flowering shrubs and a 50-50 ratio of lawn to flowering ground cover below.

G. UTILITIES PLAN

The Utilities Concept Plan describes how water facilities, sewer facilities and drainage/flood control facilities will be provided to serve Hunter's Ridge. While the basis for ultimate requirements is the maximum potential development allowed in the plan, there is also provision for incremental improvements to accommodate initial phases of development. Because of its proximity to other planned projects in the North Fontana Area, it is intended that a shared approach to the planning, financing, scheduling and construction of large scale off-site public utility improvements will occur under the City's North Fontana financing strategy. Private utilities such as electricity, cable television, gas and telephone service will be supplied by the respective utility companies based on service expansion plans incorporating Hunter's Ridge in their development forecasts.

1. Water Supply

a. Water Availability

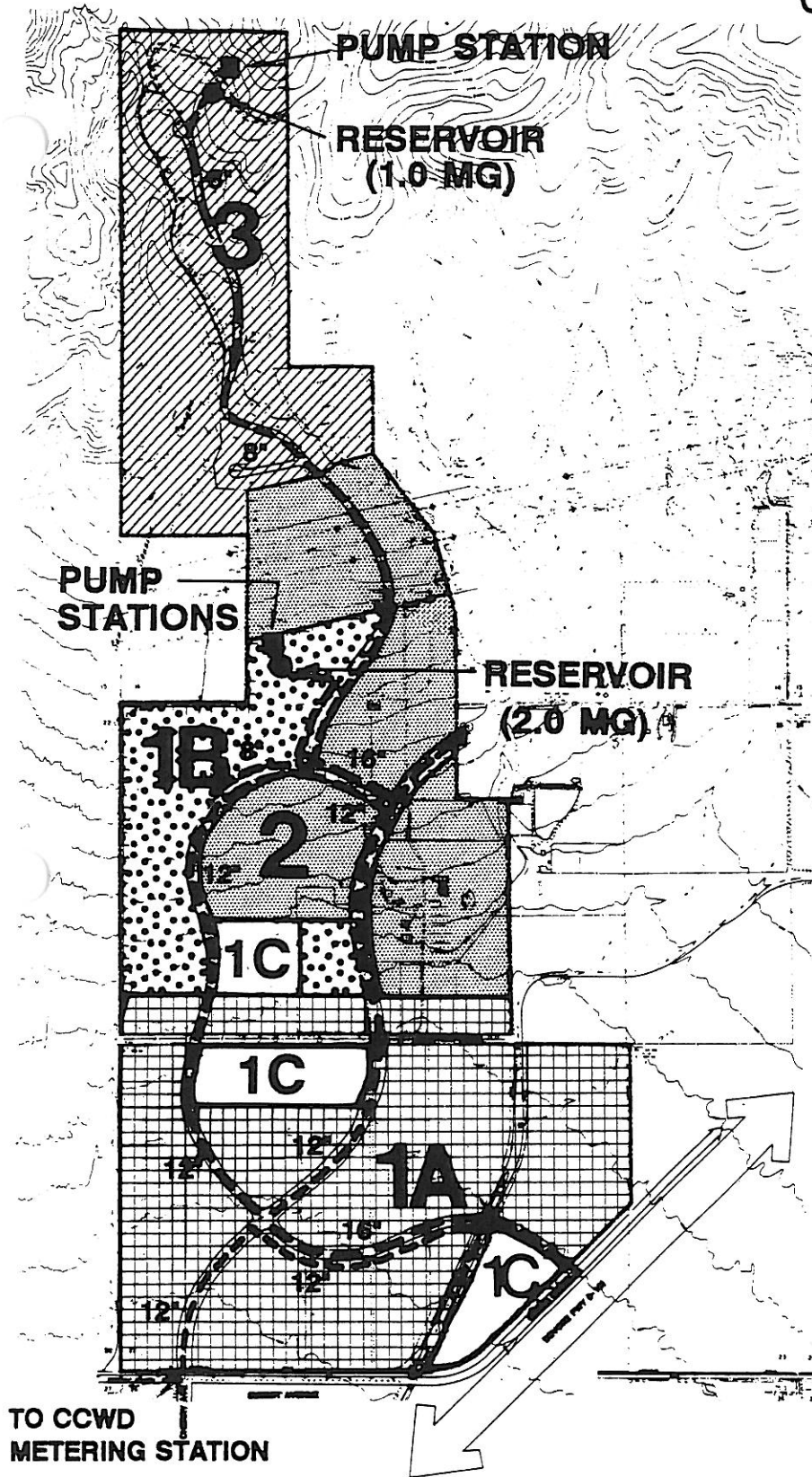
Water is available to the Hunter's Ridge Project through the City of Fontana.

b. Water Supply







Cucamonga County Water District

The CCWD has a water supply available approximately 13,000 feet west of Cherry Avenue on Summit Avenue at a hydraulic gradient elevation of 1,879 feet.

CONCEPTUAL WATER SYSTEM



LEGEND

-  PHASE 1A
-  PHASE 1B
-  PHASE 1C
-  PHASE 2
-  PHASE 3
-  WATER LINE

Hunter's Ridge

A SPECIFIC PLAN PREPARED FOR THE CITY OF FONTANA

AMENDED:

CITY COUNCIL ORDS. NOS. 1123(8/2/94)

1170(12/19/95)

V-96

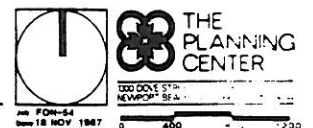
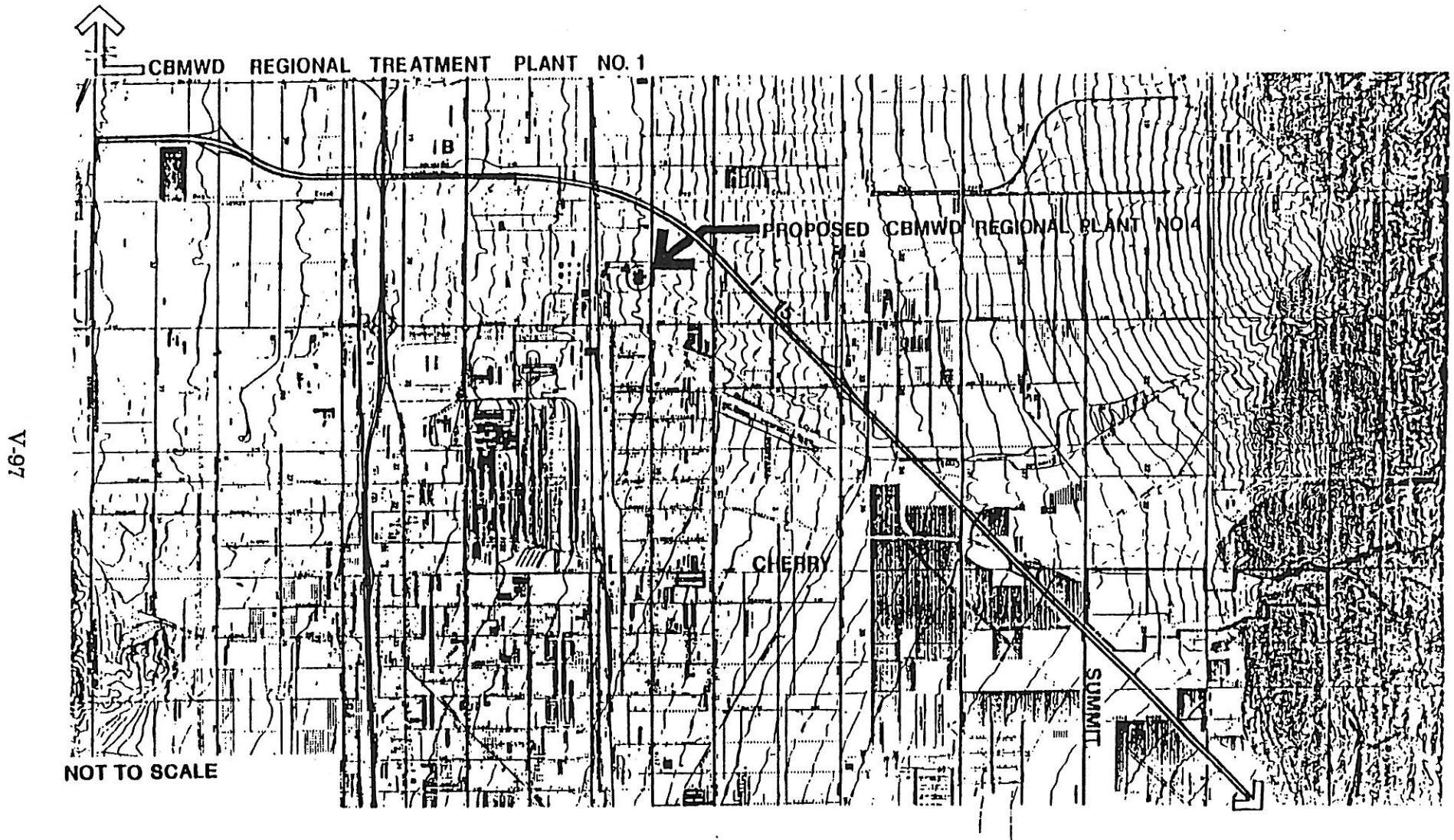


EXHIBIT V-42

REGIONAL TREATMENT PLANT LOCATIONS



Hunter's Ridge

PREPARED FOR THE CITY OF FONTANA
SOURCE: JP KAPP & ASSOCIATES, INC.

Approximately 90 percent of the District's present water consumption is provided by local ground water resources and the remaining 10 percent, from the Foothill Feeder of the Metropolitan Water District of Southern California. This agency has indicated that they have adequate water supply available to serve the Hunter's Ridge Project. Delivery of the alternate water supply could be achieved with the construction of an off-site pipeline connection from the District's available water supply to the project site.

City of Fontana

The City of Fontana purchases water from the Cucamonga County Water Department (CCWD) via a metering station located approximately 13,000 feet west of Cherry Avenue on Summit Avenue, at a hydraulic gradient elevation of 1879 feet.

c. Water Demands

Water demands for the Hunter's Ridge Project were estimated on a "land use" basis for each alternate water purveyor, using criteria provided by each agency. The following is a summary of the estimated maximum daily water demands, in gallons per minute (gpm), shown by project phase and service agency:

ESTIMATED WATER DEMANDS

<u>Project Phase</u>	<u>Dwelling Units</u>	<u>CCWD (gpm)</u>	<u>FWC (gpm)</u>
1	1,654	1,025	1,288
2	417	310	425
3	50	40	47
TOTALS	2,121	1,375	1,760

d. Conceptual Water System

The on-site water system would consist of: transmission and distribution mains to deliver the water supply to the various areas of use from the water supply source; two on-site reservoirs designed for a maximum days demand plus emergency and fire flow storage; at least two pump stations to lift the water needed for service at higher service elevations to upper service elevation reservoir. The Conceptual Water System is shown on Exhibit V-42.

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ESTIMATED WATER DEMANDS

<u>Project Phase</u>	<u>Dwelling Units</u>	<u>CCWD (gpm)</u>	<u>FWC (gpm)</u>
1	1,469	1,025	1,288
2	417	310	425
3	50	40	47
TOTALS	1,936	1,375	1,760

d. Conceptual Water System

The on-site water system would consist of: transmission and distribution mains to deliver the water supply to the various areas of use from the water supply source; two on-site reservoirs designed for a maximum days demand plus emergency and fire flow storage; at least two pump stations to lift the water needed for service at higher service elevations to upper service elevation reservoir. The Conceptual Water System is shown on Exhibit V-42.

2. Sewage Disposal

The proposed Hunter's Ridge development is located within the service area of the City of Fontana. Currently, the City has no existing sewer lines within or adjacent to the proposed Hunter's Ridge development area. The closest sewer which is presently being designed is located at Baseline on Cherry Avenue.

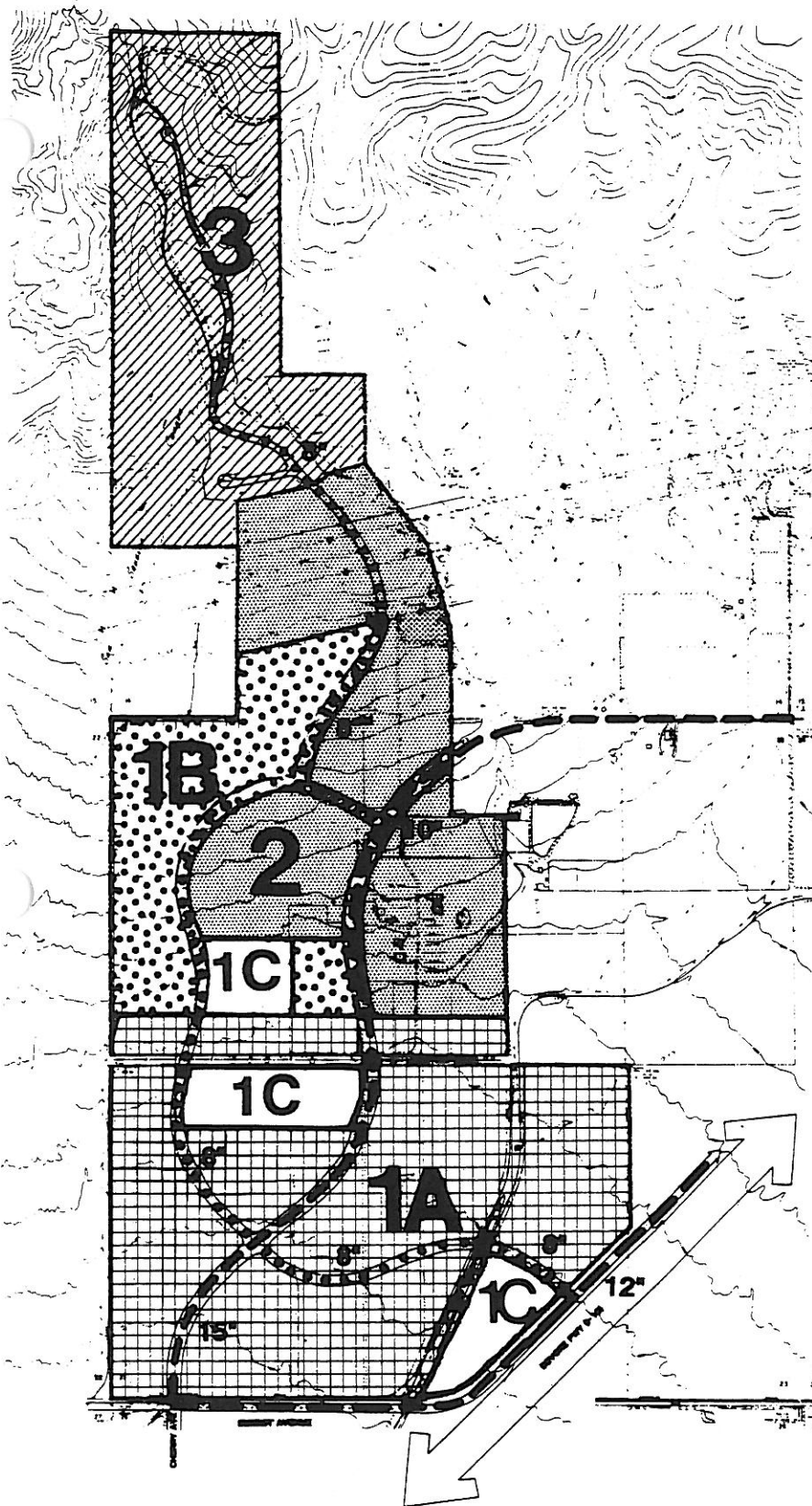
The sewer service responsibilities within the City are actually carried out by two agencies. The City of Fontana is responsible for the construction, operation and maintenance of the local sewer collection and transmission system. The Chino Basin Municipal Water District is responsible for conveying and treating raw sewage originating in the City of Fontana, pursuant to a contract between the City and CBMWD. The City's local sewers discharge into major trunk sewer facilities of the CBMWD. Sewage treatment is presently provided at Regional Plant No. 1 located in the City of Ontario. Additional treatment will be provided by Regional Plant No. 4 scheduled to be operational in 1992, see Exhibit V-43.

The City has adopted a Sewer Master Plan which includes the location and sizing of sewer mains to serve the City's ultimate development, see Exhibit V-45. This plan now shows a trunk line running along Cherry Avenue from the existing Fontana Interceptor Sewer to Highland Avenue with no extension north of the Devore Freeway.








An amendment of the Master Plan to insure adequate service for any proposed development north of the Devore Freeway, with only one freeway crossing, is as follows:

The master developer has installed and dedicated to the City a Master Plan trunk sewer up Cherry Avenue from Highland, cross the Devore Freeway at the existing underpass, and continue through the Hunter's Ridge project via Cherry Avenue to serve the area northeast of the Rich Basin. Also, extended a trunk sewer easterly on Summit Avenue from Cherry and Summit and proceeded up Duncan Road to serve the area south of Rich Basin and east of the Hawker-Crawford Channel. (See Exhibit V-44).

ON SITE SEWER SYSTEM



LEGEND

-  PHASE 1A
-  PHASE 1B
-  PHASE 1C
-  PHASE 2
-  PHASE 3
-  WITHIN TRACT
-  MASTER PLAN

Hunter's Ridge

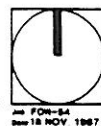
A SPECIFIC PLAN PREPARED FOR THE CITY OF FONTANA

AMENDED:

CITY COUNCIL ORDS. NOS. 1123(8/2/94)

1170(12/19/95)

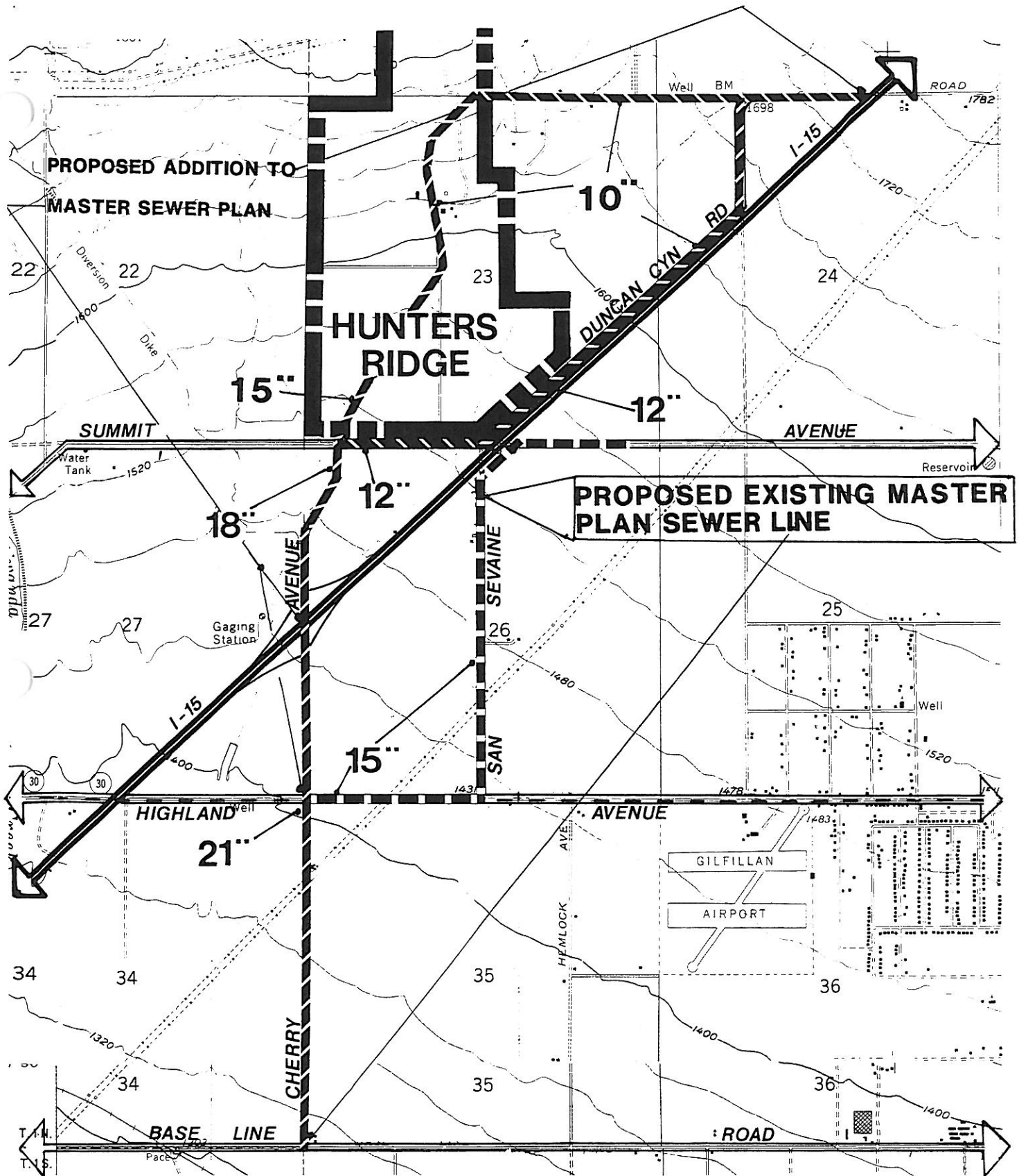
V-100



THE
PLANNING
CENTER
1000 DOVE STREET
NEWPORT SP, CA 92566
JAN 7 1994
DATE 18 NOV 1987

EXHIBIT V-44

MASTER SEWER PLAN EXTENSION



Hunter's Ridge

PREPARED FOR THE CITY OF FONTANA
SOURCE: JP KAPP & ASSOCIATES, INC.

V-101

THE PLANNING CENTER
240 NEWPORT CENTER DRIVE SUITE 215
NEWPORT BEACH CA 92660 (714) 640-4911

EXHIBIT V-45

The existing Master Sewer Plan from Highland to Baseline ranges in size from 18" to 21" diameter. The total build-out flow exiting the trunk at Foothill Boulevard.

Baseline and Cherry would be 13 cfs or 8.4 MGD, see Exhibit C. This flow would continue down the Cherry Avenue trunk to either the existing CBMWD Regional Treatment Plant No. 1 or the proposed CBMWD Regional Treatment Plant No. 4.

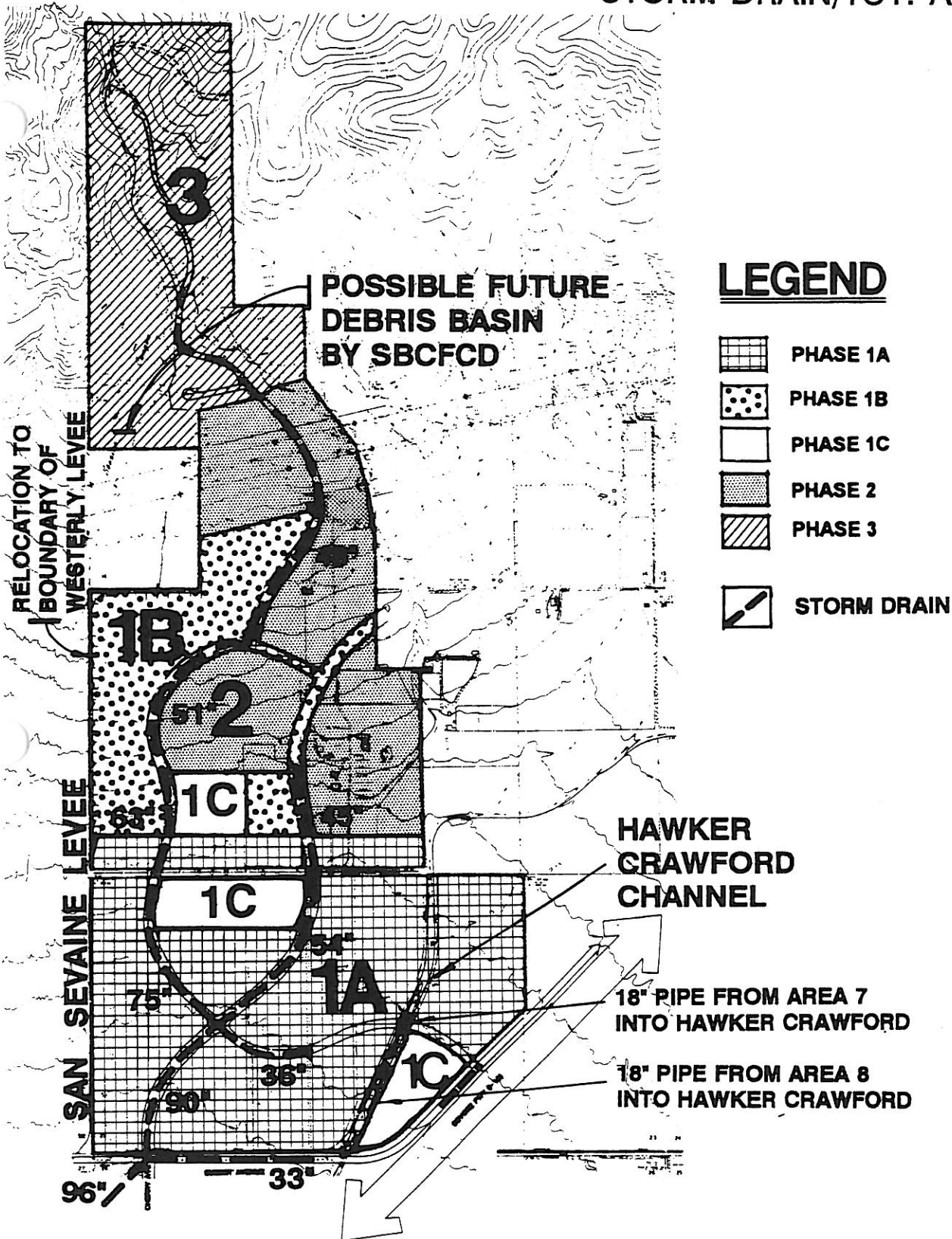
The sewer system for the Hunter's Ridge project has been integrated into the Master Plan Extension with the infrastructure as shown on Exhibit V-45. At the time of construction, sewer connection fees shall be paid, if applicable, by developer or builder in accordance with the schedule of fees established by City and CBMWD, and the Development Obligations Inventory (under separate cover) respectively. Construction of master plan facilities is reimbursable by the City of Fontana.

3. Conceptual Drainage Plan

The 570-acre Hunter's Ridge property lies on an alluvial fan directly east of the San Sevaine Channel and west of the Rich Basin with the Hawker-Crawford Channel crossing the easterly portion of the project, as shown in Exhibit A. The upstream watershed of the property is currently undeveloped. In its existing condition to the property drains 328 cfs in a 25-year frequency storm to the San Sevaine Basin located directly south of Summit Avenue. The proposed development will preserve this drainage pattern so as not to introduce overall diversion of storm flows.

Bill Mann and Associates, in conjunction with the San Bernardino County Flood Control District and the City of Fontana, has conducted a study of the regional facilities within the sphere of influence of the proposed Hunter's Ridge site. As shown on Exhibit V-46, these facilities include: San Sevaine levee along the westerly boundary of the project with a debris basin on the Hunter's Ridge site; Rich Retention Basin east of the Hunter's Ridge property; San Sevaine Retention Basin south of Summit Avenue; and the Hawker-Crawford Channel.

The San Bernardino County Hydrology Manual serves as the basis for design of all proposed flood control facilities that are a part of this project. Regional flood control facilities for the San Sevaine Wash and Basin, as well as the Hawker-Crawford Channel will be designed to convey the estimated 100 year frequency discharge. Proposed on-site storm drains designed to convey an estimated 25-year frequency discharged are as shown in Exhibit V-46, with a total of 1211 cfs exiting the project into the San Sevaine Basin.



Hunter's Ridge

A SPECIFIC PLAN PREPARED FOR THE CITY OF FONTANA

AMENDED:

CITY COUNCIL ORDS. NOS. 1123(8/2/94)

1170(12/19/95)

V-103

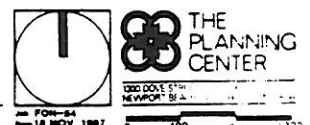


EXHIBIT V-46

Many of the regional drainage facilities downstream of the proposed development cannot adequately convey the anticipated 100-year frequency discharge. In order to prevent upstream development from compounding this problem, the increased runoff due to development must be mitigated. The SBCFCD and the City of Fontana requires that the mitigation be accomplished by enlarging one of their existing retarding basins to reduce the rate of runoff from the developed site.

The increased runoff from Hunter's Ridge has been mitigated by an enlargement of the Rich Basin located east of the property. The enlargement has been accomplished during construction of the development.

Fee required of the developer for this project would impose an acre charge for drainage facilities, and for flood control in accordance with the provisions of the Development Obligations Inventory (under separate cover). Prior to issuance of building permits, a drainage/flood control fund satisfactory to the Directors of the Maintenance Service Agency and Engineering Services shall be established. No occupancy permits shall be issued until adequate facilities are complete to safeguard the occupants in question. Construction of regional or masterplan facilities by the developer is reimbursable by the City of Fontana.

H. COMMUNITY FACILITIES/SERVICES

The plan for community facilities and services to support the Hunter's Ridge Specific Plan includes all public facilities not dealt with elsewhere in the plan.

1. Schools

The project site lies within the boundaries of both Etiwanda School District for kindergarten through eighth grade, and Chaffey Joint Union High School District for grades nine through twelve. The following table gives an overview of the schools that will serve the proposed development.

<u>School and Location</u>	<u>Attendance Level</u>	<u>Capacity</u>
Summit Avenue Elementary School at 13394 Summit Avenue, Rancho Cucamonga	692	690
Etiwanda Intermediate School at 6925 Etiwanda Avenue, Etiwanda	300	1,100
Etiwanda High School at 13500 Victoria Avenue, Etiwanda	1,519	2,500*

* NOTE: Capacity at completion of Phase Three, projected to occur within 3 to 5 years.

Enrollment at the elementary school is slightly above capacity while enrollment at the intermediate school is well below capacity. Etiwanda High School is being built in three phases: Phase One is completed; Phase Two will be completed in a few months; and Phase Three is a couple of years away. Etiwanda High School's enrollment is projected to go to 1,795 in this school year and 1,842 in the 1987-88 school year.

The two school districts assess the following school fees: Etiwanda School District charges \$1.03 per square foot of residential development plus \$1,600 per unit and \$.17 per square foot of commercial development; Chaffey Joint Union High School District assesses \$.47 per square foot of residential development and \$.08 per square foot of commercial development. (See General Provision, page II-61).

¹ Telephone conversation with Carl Lightfoot, Superintendent, Etiwanda School District, dated December 15, 1986 correspondence from Steven L. Butters, Director of Business Services, Chaffey Joint Union High School District, dated August 7, 1986.

2. Police

The Fontana Police Department provides full police service to the project area from its only station at 17005 Upland Avenue in Fontana. There are presently no police substations within the City nor is a police substation planned in the immediate future for the City of Fontana.

The police department has proposed a contact station as part of a large planned development in North Fontana. This development and proposed contact station would be in the area of Highland Avenue and Citrus Avenue, which is approximately three miles southeast of the site in question. The Hunter's Ridge development project would be incorporated into a geographical beat, which would become the primary responsibility of an assigned officer in each of the given three shifts. The police department's response time would depend on the availability of the beat unit and its immediate proximity to the call for service and is estimated to be about 3 to 4 minutes. In case of an emergency call for service, either the assigned beat unit or a so-called "roving unit" would be assigned. This assignment would be based on the unit closest to the emergency situation.

No building permits shall be issued until an agreement to provide adequate police services has been executed between the City and the developer.

3. Fire

Fire protection for the project area is requested to be provided by the Central Valley Fire Protection District. LAFCO is currently considering this request to amend fire district boundaries to make Central Valley the service entity for the entire site (and areas to the east). Station No. 8 is located at 6262 Citrus Avenue in Fontana, approximately two miles southeast of the site. The estimated response time to the project site is three to four minutes. The station provides fire suppression and rescue services to the project site. Station No. 8 is staffed with following personnel equipment:

- o Crew of 3 firefighters, also qualified as emergency medical technicians;
- o 1 engine; and
- o 1 water tender.

¹ 1980 Census.

² Correspondence from James W. Altman, District Chief, San Bernardino County Fire Agency, Central Valley Fire Protection District, dated December 22, 1986; Correspondence from John B. Roberts, Division Chief, Fire Agency, County of San Bernardino, dated March 6, 1987. Telephone conversation with the Fire Agency, dated March 26, 1987.

In the event of an emergency, two more fire stations would provide assistance. Station No. 1 is located at 16980 Arrow Boulevard and Station No. 3 is located at 14360 Arrow Boulevard. Response times range between 9 to 10 minutes for Station No. 1, and 11 to 12 minutes for Station No. 3.

4. Implementation

The overall implementation strategy incorporated in this Specific Plan includes the following:

- a. Setting aside appropriate school sites and construction;
- b. Allowing civic and support uses in appropriate use districts;
- c. Committing to cooperation with the City in its North Fontana financing strategy;
- d. Acknowledgment of existing service level deficiencies requiring resolution, either on a city-wide or redevelopment project area basis.
- e. Contribution of regional equestrian trail, equestrian trailhead and interpretive park for historic resources.
- f. Incorporation of a cost-effective phasing plan which recognizes that both the City and the Developer have rights and responsibilities under the provisions of the plan and makes the provision of public improvements feasible; and
- g. The flexibility to proceed with private use of property if good faith negotiations with public agencies result in elimination of public use sites from the plan.

NOTE: See Fiscal Report for fire protection fees and Wildland Fire Safety Report, EIR Appendix for safety recommendations.

APPENDIX A

PROPERTY DESCRIPTION

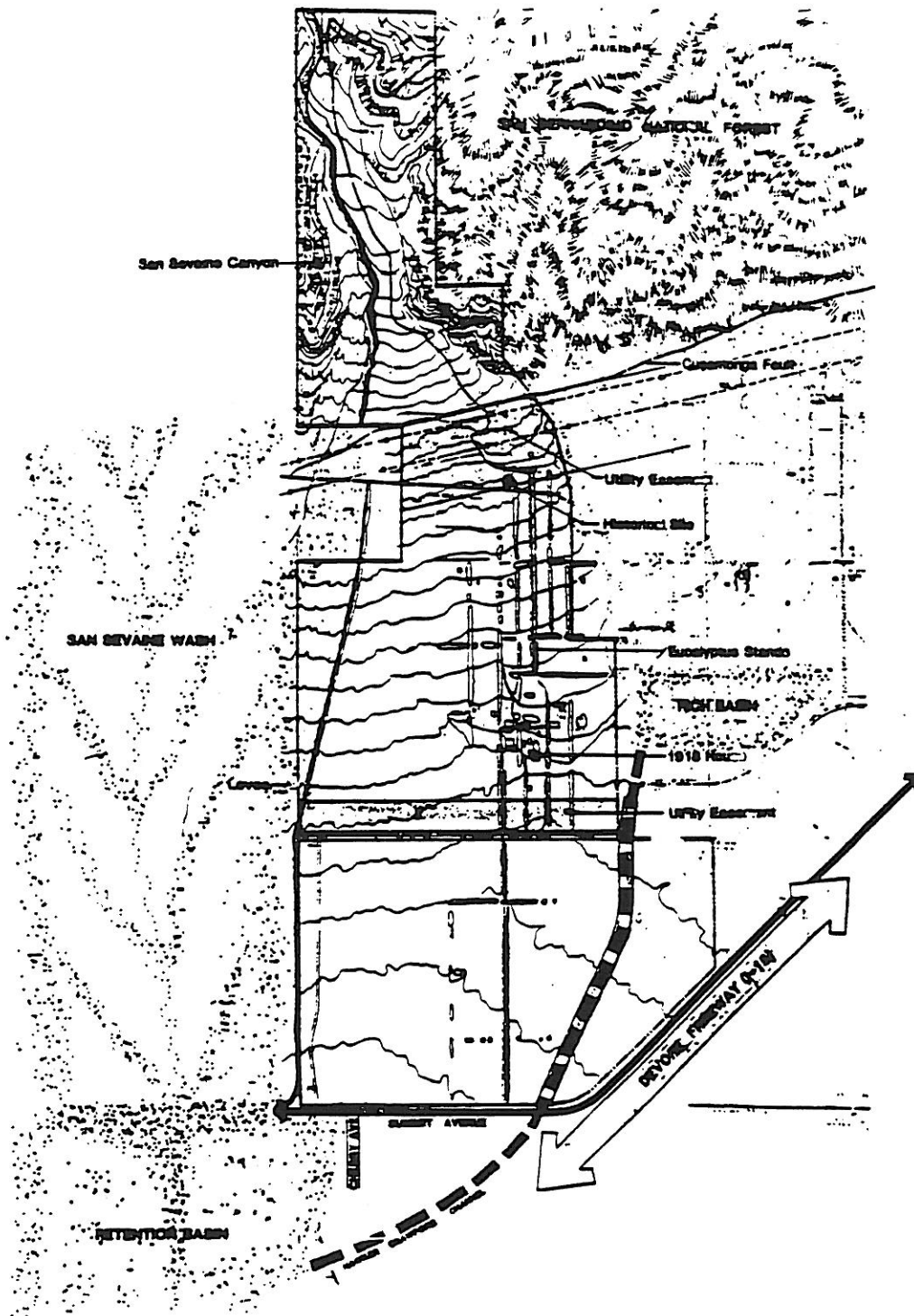
A. PROJECT DESCRIPTION

The Hunter's Ridge site is located three miles west of Lytle Creek at the base of the lower slopes of the San Gabriel Mountains in the northwestern corner of the City of Fontana. Summit Avenue and U.S. Interstate Highway 15 (Devore Freeway) form the southern property boundary, and San Sevaine Creek runs along the western boundary. To the east the property adjoins cultivated fields and the Rich Basin, and to the north the property merges with the San Bernardino National Forest. The site is adjacent to other regional jurisdictions including the City of Rancho Cucamonga to the south and the County of San Bernardino to the west. The proposed Foothill Freeway will lie south of the property adjacent to Highland Avenue. Its relationship to the region is depicted on the Regional Location Exhibit.

The property is vacant with the exception of the old Hunt Club (1918 rock house) and one homesite located just north of the lower easement to Southern California Edison Company for transmission lines. Significant features of the site include the San Sevaine Canyon and Creek; Bullock Canyon and Creek; and the ruins (historic site) of the old San Sevaine house, winery and watering pond. An expanse of the San Gabriel Mountains alluvial fan is quite distinct topographically, while the Alquist-Priolo Specific Studies Zone passes through the upper portion of the site along the Cucamonga Fault (see Existing Conditions, Exhibit A-2).

B. OWNERSHIP

First City Properties owns the property (570 acres).



NOT TO SCALE

Hunters Ridge

A SPECIFIC PLAN PREPARED FOR THE CITY OF FONTANA



THE
PLANNING
CENT

240 NEWPORT CITY DRIVE
NEWPORT BEACH, CALIF. 92660 (714) 440-4400

EXHIBIT A-2

EXHIBIT A-1

LEGAL DESCRIPTION

That portion of Section 23 and Section 14, Township 1 North, Range 6 West, San Bernardino Meridian, in the County of San Bernardino, State of California.

Beginning at a point on the existing City Limits of the City of Fontana, also being a point on the Sphere of Influence boundary of the City, also being the Southwest corner of the East half of Section 23, Township 1 North, Range 6 West, further described heretofore; thence Westerly along the South line of said Section 23 to a point being the Southwest corner of said Section 23; thence Northerly along the West line of said Section 23 to the Northwest corner of Section 23; thence Easterly along the North line of Section 23, a distance of 1,110 feet; thence Northerly along a line parallel to the West line of said Section 14, a distance of 1,340 feet; thence Westerly to a point on the West line of said Section 14; thence Northerly along the West line of said Section 14 to the Northwest corner of Section 14; thence Easterly along the North line of Section 14, a distance of 1,320 feet to a point of being the Northeast corner of the West one quarter of said Section 14; thence Southerly, a distance of 2,640 feet to a point being the Southeast corner of the East half of the Northwest corner of said Section 14; thence Easterly, a distance of 660 feet; thence Southerly, a distance of 660 feet; thence generally Southeasterly to a point on the West line of the East half of Section 14; thence Southerly along said West line, a distance of approximately 660 feet to the South line of said Section 14, also being the Northwest corner of the East half of said Section 23; thence Southerly along said West line, a distance of 750 feet; thence Easterly, a distance of 400 feet; thence Southerly, a distance of 1,850 feet; thence Easterly, a distance of 1,320 feet to a point being the Northwest corner of the East half of the Southeast one-quarter of said Farm Lot 23, also being a point on the City Limits and Sphere of Influence boundary of the City of Fontana, also being the centerline of Interstate 15 (Devore Cutoff); thence Southwesterly along said centerline to the point of beginning.

A RESOLUTION OF THE CITY COUNCIL OF THE CITY
OF FONTANA APPROVING THE HUNTER'S RIDGE
SPECIFIC PLAN NO. 10 AND CERTIFYING ENVIR-
ONMENTAL IMPACT REPORT NO. 88-1.

WHEREAS, the City Planning commission has conducted the necessary public hearing and recommended to the City Council that they certify the EIR, approve the attached Hunter's Ridge Specific Plan; and

WHEREAS, the City Council of the City of Fontana has conducted a public hearing on the proposed Hunter's Ridge Specific Plan; and

WHEREAS, the related General Plan Amendment has been prepared for the City Council adoption; and

WHEREAS, the City Council is desirous of promoting appropriate new development with high quality standards and served by adequate public facilities.

NOW, THEREFORE, BE IT RESOLVED, that the Fontana City Council:

Section 1. Hereby certifies that it has read and considered the attached Environmental Impact Report and that said document has been prepared in accordance with the California Environmental Quality Act.

Section 2. Hereby authorizes and directs the Planning Department staff to file a Notice of Determination with the County Clerk of the County of San Bernardino.

Section 3. Hereby adopts the Statement of Overriding Considerations as attached.

Section 4. Hereby adopts the Project Plan Findings as attached.

Section 5. Hereby resolves to adopt Ordinance No. 908 effectuating the Hunter's Ridge Specific Plan subject to all the conditions as included in the ordinance.

APPROVED AND ADOPTED this 1st day of March, 1988.

/s/ Nathan A. Simon

Mayor of the City of Fontana

ATTEST:

/s/ Patricia M. Murray

City Clerk of the City of Fontana

I, Patricia M. Murray, City Clerk of the City of Fontana and ex-Officio Clerk of the City Council, do hereby certify that the foregoing resolution was duly and regularly adopted by the City Council of the City of Fontana at a regular meeting thereof, held on the 1st day of March, 1988

AYES: Mayor Simon, Councilmen Day, Koehler, Kragness

NOES: Councilman Boyles

ABSENT: None

/s/ Patricia M. Murray

City Clerk of the City of Fontana

APPROVED AS TO FORM:

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY
OF FONTANA ADOPTING THE HUNTER'S RIDGE
SPECIFIC PLAN NO. 10

WHEREAS, the City Council has duly noticed and conducted a public hearing concerning the proposed adoption of the Hunter's Ridge Specific Plan and has considered written submissions and testimony with regard thereof; and

WHEREAS, the City Council has duly noticed and conducted a public hearing concerning the proposed adoption of an "Environmental Impact Report" pertaining to the Hunter's Ridge Specific Plan and has considered written submissions and testimony with regard thereto; and

WHEREAS, the Planning Commission has heretofore conducted a public hearing concerning the proposed adoption of the Hunter's Ridge Specific Plan and has recommended to the City Council that the City Council approve said Specific Plan No. 10 and General Plan Amendment No. 87-4; and

WHEREAS, the City Council has previously adopted Resolution No. 88-45 approving the above-mentioned Specific Plan and Environmental Impact Report.

NOW THEREFORE, THE CITY COUNCIL OF THE CITY OF FONTANA, CALIFORNIA, HEREBY ORDAINS AS FOLLOWS:

Section 1. The City Council finds and determines that the proposed Hunter's Ridge Specific Plan is consistent with the terms and conditions of the General Plan of the City of Fontana as amended in Amendment No. 87-4. The City Council further finds and determines that the adoption of said Specific Plan is consistent with and will further the public health, safety and welfare in that it sets forth development requirements and design standards which will ensure the orderly and planned development of the area subject to the Specific Plan.

Section 2. The City Council hereby approves and adopts as attached the Hunter's Ridge Specific Plan as set forth and incorporated herein by reference and subject to the attached conditions recommended by the Planning Commission.

Section 3. That the City Council directs that the provisions of the Hunter's Ridge Specific Plan shall not be in force and in effect until the following two actions have been completed:

- a. That General Plan Amendment No. 87-4 shall be adopted by the City Council after it conducts the necessary public hearing.
- b. That the applicant delivers One Hundred (100) copies of the full and complete text and maps of the Hunter's Ridge Specific Plan/EIR document integrating into such texts all the applicable conditions added by the Planning Commission and City Council. Delivery of acceptable copies and fulfillment of this condition shall be certified by the Planning Director in a letter addressed to the City Clerk after receipt of the required copies.

Section 4. This ordinance shall be effective thirty (30) days following the date of adoption and prior to the

shall be published by the City Clerk at least once in the Herald News, a newspaper of general circulation, published and circulated in the City of Fontana, and thenceforth and thereafter the same shall be in full force and effect.

APPROVED AND ADOPTED this 15th day of March 1988.

/s/ Nathan A. Simon
Mayor of the City of Fontana

ATTEST:

/s/ Patricia M. Murray
City Clerk of the City of Fontana

I, Patricia M. Murray, City Clerk of the City of Fontana and Ex-Officio Clerk of the City Council, do hereby certify that the foregoing ordinance, which was introduced at a regular meeting of said City Council held on the 1st day of March , 1988, was finally passed and adopted not less than five days thereafter, on the 15th day of March , 1988, by the following vote, to-wit:

AYES: Mayor Simon, Councilmen Koehler, Kragness

NOES: Councilman Boyles

ABSENT: Councilman Day

/s/ Patricia M. Murray
City Clerk of the City of Fontana

I further testify that said ordinance was thereupon signed by the Mayor of the City of Fontana.

/s/ Patricia M. Murray
City Clerk of the City of Fontana

jp:cc/srsp3-1-88

FINDINGS AND FACTS SUPPORTING FINDINGS ON
POTENTIAL ENVIRONMENTAL EFFECTS OF
THE HUNTER'S RIDGE SPECIFIC PLAN/
STATEMENT OF OVERRIDING CONSIDERATIONS

A. FINDINGS

The Final EIR for the project identified the following significant or potentially significant environmental effects associated with the project. Section 21081 of the California Environmental Quality Act (CEQA) and Section 15091 of the CEQA Guidelines require that public agencies must make written findings for each of these significant effects, accompanied by a brief explanation of the rationale for each finding, and supported by substantial evidence in the record.

1. Land Use/Relevant Planning

Significant Effects

The significant or potentially significant effects of the project relating to land use and planning are discussed on page IV-11 of the Final Environmental Impact Report (FEIR). Implementation of the proposed project would result in the loss of existing open space. If compared to the status quo, the loss of open space is a significant adverse impact. However, development would also occur under the provisions of the West Valley Foothills Community Plan. Therefore, implementation of the proposed specific plan is not a qualitative change from the existing planning for the site.

Mitigation Measures

Mitigation Measures pertaining to land use and planning are found on pages IV-11 and 12 of the FEIR. To summarize those measures, several buffer areas are proposed that will alleviate impacts pertaining to open space. Open space in the northern portion of the property will help buffer the site from the adjacent San Bernardino National Forest. Additionally, buffering will be required to protect the residential uses from neighborhood commercial uses on the site. Extra 20- and 30-foot setbacks will be required along Summit Avenue and Duncan Canyon Road, respectively, to buffer views of the site from adjacent areas. Fencing shall be required along the common boundary between the site and the National Forest to discourage unauthorized use of the forest lands. Finally, 159 acres of the total project area will be maintained in open space and park uses.

Findings and Facts Supporting Findings

The FEIR concludes, and the City concurs and finds, that the project will result in the loss of existing open space. All feasible mitigation measures, including the provision of substantial open space and park acreage, have been included. Nevertheless the City finds that on a cumulative basis, the conversion of such open space areas to urban uses does have unavoidable and potentially significant land use impacts.

2. Geology and Soils

Significant Effects

The significant or potentially significant effects of the project falling under the general category of "Geology and Soils" are discussed on pages IV-21 to IV-24 of the FEIR. The

Studies Zone. Proposed structures within and near the fault zone include a water reservoir, a relocated stone house, single-family homes in PUA's 15 and 16, and a debris dam. Ground shaking at the site may occur during the life of the project.

Mitigation Measures

Measures to mitigate seismic hazard are listed on pages IV-11 and 12 of the FEIR. Detailed geotechnical analysis will be required prior to development to locate more precisely the splays of the Cucamonga Fault zone. Measures will be required to eliminate or reduce potential impacts related to water tank rupture/inundation.

Findings and Facts Supporting Findings

The imposition and enforcement of the mitigation measures avoid or substantially lessen the potentially significant geology and soils impacts identified in the FEIR. The FEIR concludes, and the City finds, that the measures requiring sound engineering practices will ensure that persons and structures on the property will be protected to the maximum extent possible from the potential effects of seismic activity. The requirement for additional studies, and the development of regulations based upon those studies, if indicated, further ensures that the engineering and design for the project will incorporate industry standards for grading and construction.

3. Landforms/Aesthetics

Significant Effects

The landform and aesthetics impacts of the project are described on pages IV-30 through 39 of the FEIR. As discussed, the project will result in the loss of undeveloped land to urban uses, and the visual quality of the site will set the tone for the surrounding area, especially for traveler entering the basin from a northerly direction on the Devore Freeway. Development in the northern portion of the property will affect the aesthetic resources of San Sevaine and Bullock Canyons. Grading required for the project will entail movement of 1,123,000 cubic yards of earth.

Mitigation Measures

Mitigation measures relative to landforms and aesthetics are listed on pages IV-40 of the FEIR. Implementation of the required detailed landscaping plan will reduce the visual prominence of the project, as will the requirement of darker, non-reflective, variegated roofs on buildings, especially in hillside areas. Artificial fills will be minimized and stabilized immediately after grading to prevent run-off in open space areas.

Findings and Facts Supporting Findings

The FEIR concludes, and the City concurs and finds, that the project will result in the loss of existing open space, the alteration of existing topography and, admitting that aesthetic judgments are largely a matter of individual choice, will therefore have a potentially significant aesthetic effect. Numerous mitigation measures have been required to offset this effect; nonetheless, the City finds that the conversion of the property to urban uses does have unavoidable and potentially significant effects on the

The significant or potentially significant effects of the project relative to traffic are found on pages IV-52 through 63 of the FEIR. In summary, the project is estimated to generate 24,700 trips daily at build-out. Of these, 1,694 will be morning peak hour trips and 2,185 will be evening peak hour trips. The project will generate about 177,620 vehicle miles of travel daily. To accommodate the existing plus project-generated traffic, development requires the construction of the Cherry Avenue/Coyote Canyon Road loop to connect the project with the Cherry Avenue/I-15 interchange. If appropriate intersection geometrics are realized, intersections in the vicinity will operate at LOS D or better.

Mitigation Measures

Mitigation measures relative to traffic that have been incorporated into the project are identified on pages IV-63 through 65 of the FEIR. In summary, the developer shall participate in numerous road improvements in the project area, including construction of onsite roads identified on Exhibit III-3, page III-8 of the Specific Plan. Offsite roads (Duncan Canyon Road, Summit Avenue, Cherry Avenue, Coyote Canyon Road) will be improved as described in the FEIR. Traffic signals will be installed when warranted at identified locations. Phasing of these improvements will occur in conjunction with project phasing and as required to maintain traffic flow through the area.

Findings and Facts Supporting Findings

The incorporation of these mitigation measures, which were developed by expert traffic engineers, into the project approval substantially lessens the significant potential transportation and circulation impacts of the project to the extent feasible. Remaining level of service will be within acceptable ranges. Nonetheless, even with the imposition and enforcement of these mitigation measures, traffic/circulation impacts of this project will be cumulatively significant.

5. Cultural and Scientific Resources

Significant Effects

The effects of the project on archaeological, paleontological, and historic resources are discussed on pages IV-77 through 79 of the FEIR. To summarize, development of the project would preserve the remnants of the San Sevaine ranch house, winery and reservoir. The 1918 Rock House would be relocated to a historic interpretive park. The limestone quarry and lime burning pits, the trace of a wagon/stage coach road, the remains of a saw mill and one reservoir will be destroyed.

Mitigation Measures

Mitigation Measures pertaining to Cultural and Scientific Resources are itemized on pages IV-79 through 81 of the FEIR. As noted, the 1918 Rock House will be relocated in its entirety to an interpretive park within the project area. Other measures include grading monitoring by a qualified expert for the road within Phase III to check for any subsurface prehistoric remains; the developer will cooperate with the Fontana Historical Society in documenting the local history and features of the site, especially those that will be destroyed by development; and preservation of the remnants

project will result in the loss of existing historic features, although other significant historic features will be retained and preserved. All feasible mitigation measures have been included in the project. Nevertheless, the City finds that the loss of on-site features will have a cumulative effect on the diminishment of such resources in the area as a whole.

6. Biology

Significant Effects

Impacts of the project on biological resources are discussed on page IV-90 of the FEIR. In summary, project implementation will lead to the loss of biological resources including: alluvial fan scrub and alluvial wash scrub habitats; San Diego horned lizard habitat; potential loss of desert tortoise individuals; eucalyptus windrow raptor perch/nest sites; mountainside chaparral; and native grassland. In addition, the placement of estate lots contiguous to San Sevaine and Bullock Creeks threatens the viability of the canyon through direct habitat removal and from human spillover impact.

Mitigation Measures

Measures to reduce impacts to biology are discussed on pages IV-90 through 93 of the FEIR. In summary, a single-loaded street will be placed next to San Sevaine Canyon to reduce spillover impacts; a lotline setback of 35 feet will be maintained from Bullock Creek; special fencing will help protect key portions of San Sevaine and Bullock Creeks from human and equestrian impact; equestrian trails will avoid sensitive resource areas; the northern SCE easement shall be maintained as natural habitat area; a capture/relocation program will be implemented for the San Diego horned lizard; existing trees will be replaced on a 1:1 basis in accordance with specific criteria; nodding stipa and deergrass will be relocated; grading in the estate lots will be limited; and native trees with certain minimum sizes in the fuel modification area and estate areas will be maintained as feasible.

Findings and Facts Supporting Findings

The FEIR concludes, and the City concurs and finds, that the project will result in the loss of certain biological resources. All feasible mitigation measures have been incorporated to minimize this effect. Nevertheless, the City finds that on a site-specific and cumulative basis, the conversion of the site to urban uses will have an unavoidable adverse effect on biological resources.

7. Population, Housing and Employment

Significant Effects

The effects of the project relative to population, housing and employment are discussed on pages IV-98 through 100 of the FEIR. The project would result in the creation of 2,121 units to the local housing market, and will add about 5,529 residents. The expected increase in employment is 100 jobs.

Mitigation Measures

Inasmuch as these projections are within current SCAG regional projections, no significant adverse effect is anticipated to result; therefore, no mitigation is proposed.

The City finds that the project will not have a significant adverse effect on the population, housing and employment characteristics of the surrounding region.

8. Public Services and Utilities

Significant Effects

The impacts of the project relative to public services and utilities are found on pages IV-102 through 140 of the FEIR. In summary, project implementation will: create a need for 8 sworn police officers and 3 civilian personnel; place additional demands on existing levels of fire protection; generate about 636,300 gallons of sewage per day; generate a demand for up to 1,760 gallons per minute of water; contribute to additional storm water flows in the area; generate a need for 32,284,494 kWh of electricity per year; need about 150.6 million cubic feet of natural gas per year; require the extension of telephone and cable TV lines to serve the site; generate about 6.6 million pounds of solid waste per year; generate a need for about 400 ambulance responses per year; generate about 848 elementary, 424 middle school, and 318 high school students; place additional burden on the area's already overburdened library facilities; generate a need for 16.3 public park lands; and require the extension of public transportation services to the site.

Mitigation Measures

Mitigation measures to mitigate public services and utilities impacts are found on pages IV-102 through 140 of the FEIR. In summary, mitigation measures include:

- o fire: implementation of a Fuel Management Plan and fuel modification zones, fire-proof/resistant construction materials, adequate fire flows, and a fire access road for the estate area.
- o water: the developer shall finance all or a fair share of necessary water improvements; all practical water conservation measures will be implemented.
- o storm water: all required flood control and local drainage improvements will be designed and constructed in accordance with prescribed standards.
- o electricity, natural gas, telephone, cable TV: all lines and facilities will be built in accordance with applicable policies and standards.
- o solid waste: design standards have been included to screen trash enclosures; provisions for recycling materials will be in accordance with City policy.
- o schools: the developer will prepare a schools financing plan to provide for the construction of adequate school facilities to serve the site. The project includes a 10.4-acre school site.

Findings and Facts Supporting Findings

The FEIR concludes, and the City concurs and finds, that the project as designed and mitigated will not have significant site-specific impacts on sewer service, water service, storm water, schools, telephone, solid waste, emergency services, public transportation, cable television, and parks and recreation. There will, however, be cumulatively significant impacts on energy demand, sewer treatment plant capacity, landfill capacity and water supply/demand. In addition, the project creates the need for additional fire and police personnel and library service.

Potential impacts of the project on air quality are discussed on pages IV-145 through 152 of the FEIR. As discussed, in the short term during project construction air pollutants will be emitted by construction equipment, and fugitive dust will be generated during grading and site preparation. In the long term, following completion and occupancy of the project, emissions from motor vehicles resulting from the project will cumulatively and adversely impact ambient air quality. There will likewise be cumulative pollutant emission impacts from the combustion of natural gas for space and water heating in the project, and off-site emissions will be generated in the production of electricity consumed by the project.

Mitigation Measures

Mitigation measures relative to air quality are itemized on pages IV-152 and 153 of the FEIR. To summarize, SCAQMD rule 403 will be adhered to, ensuring the clean up of construction-related dirt on approach routes to the site. Adequate watering techniques will partially mitigate construction-generated dust. Building construction will comply with State energy use guidelines.

Findings and Facts Supporting Findings

The imposition and enforcement of these policies and conditions avoid or substantially lessen the significant or potentially significant air quality impacts of the project to the extent feasible. Nonetheless, even with these measures, on a cumulative basis the air quality impacts of the project cannot feasibly be mitigated to a level of insignificance.

10. Noise

Significant Effects

The effects of the project relative to noise are discussed on pages IV-158 through 163 of the FEIR. In summary, in the short term during project construction, noise will be generated by transport of workers to and from the site and by the operation of construction equipment on the site itself. In the long term, the primary impact will be in an increase to existing noise levels along streets and highways in which the project-related traffic will disperse. Noise increases along most access routes will not be sufficient, however, to generate audible noise after project implementation. Onsite noise impacts could result from ultimate traffic volumes on the Devore Freeway and the project's internal circulation system.

Mitigation Measures

Measures designed to mitigate noise are described on pages IV-163 through 166 of the FEIR. In summary, short-term impacts will be reduced by requiring construction to take place only during daylight hours as specified by City ordinance; construction equipment must be equipped with properly operating mufflers; and stationary equipment, stockpiles and staging areas should be located away from occupied dwellings. In the long term, building setbacks, berms and walls have been required to reduce noise levels in dwellings located within the 60 CNEL contour of the Devore Freeway. Architectural treatment to reduce noise within this area may be required at more detailed levels of planning; this need will be determined by detailed acoustic studies to be performed at the tentative tract level.

(which were developed by expert noise engineers) found in the FEIR will avoid or substantially lessen the significant noise impacts of the project to the extent feasible. Nevertheless, on a cumulative basis the noise impacts of the project cannot feasibly be mitigated to a level of insignificance.

B. STATEMENT OF OVERRIDING CONSIDERATIONS

The California Environmental Quality Act (CEQA) and the State CEQA Guidelines:

- o Require the decision maker to balance the benefits of a proposed project against its unavoidable risks in determining whether to approve the project. Where agencies have taken action resulting in environmental damage without explaining the reasons which supported the decision, courts have invalidated the actions.
- o Stipulate that where the decision of the public agency allows the occurrence of significant effects which are identified in the FEIR but are not at least substantially mitigated, the agency must state in writing the reasons to support its action based on the FEIR and/or other information in the record.
- o State that if an agency makes a Statement of Overriding Considerations, the statement should be included in the record of the project approval as well as in the Notice of Determination.

The proposed project consists of the adoption of a specific plan and general plan amendment. The FEIR concludes and the City finds that certain significant environmental effects of the project, both site-specific and on a cumulative basis, are unavoidable even after the incorporation of all feasible mitigation measures. For such significant effects, the City has balanced the benefits of the project against the unavoidable environmental impacts in deciding to approve the project. In this regard, the City Council of the City of Fontana finds that the remaining unavoidable environmental impacts are acceptable within the meaning of Sections 15092 and 15093 of the CEQA Guidelines for the following specific reasons:

1. The fiscal impact analysis prepared for the project has shown that the project will ultimately be of net fiscal benefit to the City, and at build-out will provide an estimated recurring annual revenue of \$81,585.00
2. Design concepts integral to the proposed project will lead to a harmonious and attractive urban environment consistent with city goals and objectives for the area, and which will further enhance the image of the City of Fontana.
3. The project will provide for the construction of a range of local street improvements that are not only required to mitigate the traffic from this project, but which will be used on a regional basis, resulting in a net improvement to the regional circulation system.
4. The project will provide for major flood control and storm drain improvements that will be not only of local but regional benefit, and which will enhance the safety of the City of Fontana and surrounding communities.
5. The project will provide for the construction of sewer

serve the site, but which will tie into and ultimately help serve a larger area of the City.

6. The project incorporates a number of planning and design amenities that are unique to the project and which could possibly not be obtained in the same manner through alternative designs or projects. Specifically, the project incorporates tie-ins to regional equestrian and recreational trails, as well as an equestrian trailhead that will serve the local and regional communities. The project provides a total of 159 acres (which comprises 28% of the total site area) of parks and open space. It provides for the preservation of the historic San Sevaire ranch house, winery and reservoir, as well as for the relocation of the 1918 Rock House to a special interpretive park onsite, all of which will be of City and regional benefit. Finally, a number of unique design features of the project, including 50 rural estate lots, and enhanced landscaping, theme wall, grading, signage and architectural treatments, have been required which will be of benefit to the City of Fontana.
7. Local control and response to environmental concerns (i.e., less density, etc.) is facilitated by the project in that the density proposed (3.74 units per gross acre) is less than the density that would have been allowed under County zoning and general plan designations (2700 units - 570 acres = 4.74 units per gross acre).

NOTICE OF DETERMINATION

Planning Department
8353 Sierra Avenue
Fontana, CA 92335

SUBJECT: Filing of Notice of Determination in compliance with
Section 21108 or 21152 of the Public Resources Code.

PROJECT TITLE: Hunter's Ridge Specific Plan

<u>87012111</u>	<u>Joanne Pease</u>	<u>(714) 350-7628</u>
State Clearinghouse Number	Contact Person	Telephone Number

PROJECT LOCATION: Northwest corner of Summit Avenue and
Duncan Canyon Road.

PROJECT DESCRIPTION: A 2121 unit development on 567.6 acre
parcel.

REFERENCED PROJECTS: GPA 87-4

This is to advise that the: -- Environmental Review Officer
-- Environmental Review Board
-- Lead Agency

has approved the above described project and has made the
following determinations regarding the above described project.

1. The project X will, will not, have a
significant effect on the environment.
2. X An Environmental Impact Report was prepared for
this project pursuant to the provisions of CEQA.
 A Negative Declaration was prepared for this
project pursuant to the provisions of CEQA.

The EIR or Negative Declaration and record of
project approval may be examined at the Planning
Department.
3. Mitigation measures X were, were not, made
a condition of the approval of the project.
4. A statement of Overriding Considerations X was,
 was not, adopted for this project.

DATE RECEIVED
FOR FILING:

Signature

DATE ACTION
TAKEN:

Environmental Review Officer
Title

--
[] CONDITIONAL APPROVAL: Subject to conditions attached.
--

APPENDIX B

CONDITIONS OF APPROVAL

Case: Hunter's Ridge Specific Plan Date: March 1, 1988

1. Development of the property shall be in accordance with the rules and specifications of the Hunter's Ridge Specific Plan; any situation not covered by the Specific Plan shall be regulated by the Fontana Municipal Code as applicable.
2. All mitigation measures proposed by the Final Environmental Impact Report 88-1 are herein adopted as conditions of approval for the Hunter's Ridge Specific Plan. Additional environmental data may be required as determined by the City at such time as precise development plans are initiated.
3. First City Properties shall use all efforts to develop the proposed neighborhood shopping center as early as possible in the development schedule for the project.

APPENDIX C
AUTHORITY AND SCOPE

The California Government Code authorizes cities to adopt specific plans either by resolution as policy or by ordinance as regulation. Both Planning Commission and City Council hearings are required. It must be adopted by the City Council to be in effect.

This is a regulatory specific plan. It serves as zoning for the property involved. Development plans and tentative tract maps or tentative parcel maps in this area must be consistent with this specific plan. If a project is consistent with this specific plan it is also consistent with the general plan because of the way the Hunter's Ridge Specific Plan is linked to the General Plan. If a development agreement is sought, it must also be found to be consistent with the general plan and this specific plan.

The scope of subjects covered is the same as the scope of the general plan, to the extent they apply to this planning area.

The Hunter's Ridge Specific Plan is established through the authority granted to the City of Fontana by the California Government Code, Title 7, Division 1, Chapter 3, Article 8, Sections 65450 through 65457. The preparation of a specific plan for the Hunter's Ridge area is also mandated by the City.

APPENDIX D
PURPOSE OF THE SPECIFIC PLAN

The purpose of this document is to ensure the responsible development of the Hunter's Ridge property through regulations based on thorough and comprehensive land use planning. The Specific Plan, when adopted by City legislative action, serves both a planning function and a regulatory function as well as establishing infrastructure service needs. It will be the major device for implementing the General Plan on this property.

It is also a purpose of the plan to ensure responsiveness to the unique conditions, opportunities and constraints which apply to this particular property at this point in the development of the north Fontana area.

Finally, it is a purpose of the plan to establish, in close collaboration with the City of Fontana, a prototype format for specific plans that can be responsive to unique requirements and, at the same time, facilitate clarity and ease of administration.

APPENDIX E

BACKGROUND

The following information describes history and process associated with this application:

1. Annexation Request - In 1984, First City Properties approached the City of Fontana asking the City to consider the annexation of the subject 570 acres. Such an action required an amendment to the City of Fontana's sphere of influence detaching this area from the sphere of influence of the City of Rancho Cucamonga. Subsequent annexation of the area was anticipated.
2. Pre-Annexation Agreement - The City Council of the City of Fontana committed to pursue the subject annexation. In early 1984, a pre-annexation agreement was formally adopted by resolution. This pre-annexation agreement expressly provide that:

"The City acknowledges the requirements of the developer to construct 2,700 dwelling units on the property. Subject to standard Specific Plan Procedure and Processing; the City agrees to use all efforts to successfully conclude a plan to allow such density."

The 2,700 units acknowledged by the City Council as being required by the applicant amounted to the maximum unit count permitted under the County's adopted West Valley/Foothill Community Plan for the subject 570 acres.

3. Lawsuit - An environmental analysis had been prepared by the County in support of the West Valley/Foothill Community Plan. This environmental analysis was recognized by LAFCO as sufficient for the proposed amendment to Fontana's sphere of influence and the subsequent annexation of the subject property.

The City of Rancho Cucamonga did not agree that the environmental analysis supporting the proposed sphere of influence amendment and annexation was adequate. A lawsuit resulted involving many months of negotiation.

4. Settlement Agreement - A settlement agreement was accepted by both parties. Among other items, the settlement agreement resulted in the developers acceptance of a maximum unit count of 4 units to the gross acre or approximately 2,280 units. This amounted to more than a

15 percent decrease in the unit count agreed to in the pre-annexation agreement with the City. Given the pre-annexation agreement and the subsequent reduction in units resulting from the settlement agreement, the Specific Plan Consultant, The Planning Center, was directed to use a unit count close to the 2,280 number as the basis for the creation of alternative "Site Utilization Concept Plans."

5. City of Fontana Planning Commission Comments - On November 17, 1986, the Planning Commission voted 3-2 to recommend Alternative #2 to the City Council included in the recommendation that there be consideration of certain "upgrading." This upgrading was recommended to include consideration of:

- larger minimum lot sizes;
- removal of rental apartments from the plan;
- (alternatively), removal of all multi-family units from the plan;
- inclusion of more larger lots; and
- inclusion of minimum unit sizes.

Additionally, the Planning Commission expressed concern over the concept of determining economic feasibility and the Commissions exclusion from the pre-annexation agreement process.

6. Rancho Cucamonga Planning Commission and City Council Review of the Alternatives - During January of 1987, the Rancho Cucamonga Planning Commission and City Council formally considered the three alternatives as presented by the consultant, The Planning Center.

City of Rancho Cucamonga's response include the following comments:

- a) None of the three land use alternatives is acceptable.
- b) The alternatives are not "qualitatively different" and therefore do not reflect the intent of the agreement between the two cities.
- c) None of the three alternatives is consistent with the land use directives of the West Valley Foothills Plan. For example, the plan calls for a level of development that is an extension of adjoining communities and also directs new development to be compatible with the character of adjacent communities. The three land use alternatives submitted do not reflect these land use guidelines.

- d) Improvement costs directly related to the project, but within Rancho Cucamonga, must be provided by the developer and/or the City of Fontana. Major items include: Improvement of Cherry Avenue to a major arterial between the project entrance and I-15, improvement of Summit Avenue and Duncan Canyon Road from the western boundary of the project site to the future freeway intersection east of the site, and flood control improvements at Summit Avenue and to the south resulting from realignment of the Hawker-Crawford Channel.
7. City of Fontana City Council - February 5, 1987, City Council selected Alternative II (2,121 dwelling units) as the "Preferred Alternative" upon which to base the Specific Plan, EIR and Fiscal Impact Report.
8. Draft Specific Plan, EIR and Fiscal Impact Report Submitted for Public - Review and Comment: May 30, 1987.
9. Development Advisory Board Meetings - Review and Comment: August 18 and 27, 1987.
10. Planning Commission Workshop - October 5, 1987 to update and discuss changes in the Specific Plan (included below for reference). The following is the staff report and reflects changes from June to October.
Since the submittal of the Draft Hunter's Ridge Specific Plan to the City in June of this year, the document has been reviewed by a variety of state, local and city agencies. Numerous changes have been made to the Specific Plan as a result of the reviewing process; the major changes are summarized as follows:
- a) A draft report has recently been received from the applicant regarding on-site fire hazard. This report, which was prepared by the Hunt Research Corporation, analyzes fire hazards on the property and recommends detailed measures to minimize these hazards. Suggested measures include specific architectural features, access roads and adequate road widths, water supply, fire breaks, and fuel modification zones.
- b) The street cross-sections shown on Exhibit III-3 (page III-7) of the Specific Plan have been revised in accordance with Engineering Services comments. The revised sections will be shown on a wall exhibit at the workshop, as well as included in the Final Specific Plan document. Engineering has stated that, as now proposed, road sections "A" through "E", as well as "F" Option 2, are acceptable. It should be noted that all bike lanes on-site are now to be located within the street right-of-way.

- c) The Fire Agency has stated that the project is acceptable given certain standard conditions and the following additional conditions:
- 1) The fire access road will be a paved, all-weather surface 20 feet in width, with fire hydrants. It will have grades not exceeding 12 percent, except for a few short stretches where it will not exceed 15 percent.
 - 2) No parking will be allowed on the west side of the rural residential (Section "F") road so as to allow for emergency fire access.
 - 3) All fuel modification zones will be evaluated in conjunction with the options presented in the Hunt Report.
 - 4) The northerly extension of the rural residential (Section "F") road will be 36 feet curb-to-curb.
- d) The General Services Agency (GSA) has coordinated with Engineering Services regarding the above street rights-of-way. Other GSA comments include:
- 1) In residential areas, yards shall be landscaped by the developer with turf, trees and shrubs, and shall be maintained by the developer until the unit is occupied. Each lot shall have two minimum 15-gallon street trees. Automatic irrigation systems shall be required.
- e) On Exhibit II-2 (and throughout the text of the Specific Plan wherever appropriate), the number of dwelling units in the R1-7,200 category has changed from 276 to 273 units; in the R1-5,000 category it has changed from 737 to 740 units.
11. Final Specific Plan, EIR and Fiscal Impact Report - Submitted December 23, 1987. (See staff report for final changes and upgrades made from October to December submittal).

fon.7

APPENDIX F
COMMUNITY SETTING

The site is not currently designated on the City of Fontana General Plan. A Specific Plan and General Plan Amendment is required prior to any development. The West-Valley Foothill Community Plan provides land use guidance by establishing a maximum dwelling yield (2,700 du) for the project in the past. The settlement agreement (see Background) has more recently established 4.0 du per gross acre. Residential development at a maximum overall gross density of 4.0 dwelling units per acre is presently requested. This would yield a maximum dwelling unit count of 2,121 units on 567.6 acres.

The Duncan Canyon area located east of Hunter's Ridge is designated SF Res 1.0 and is currently undeveloped. To the west is the San Sevaine Wash and further to the west across the San Sevaine Wash is a proposed development called the "Etiwanda/San Sevaine Project," to be a single-family planned unit development (PUD) containing 9,000 to 18,000 square feet lots (475 du). The project site is vacant and is in the eastern portion of the West Valley Foothills Community Plan. To the south, across Summit Avenue, the Etiwanda Specific Plan designates the adjacent property as VL-Very Low Density Residential (1-2 du/ac). This area is currently undeveloped and is part of the City of Rancho Cucamonga.

The property is vacant with the exception of two or three homesites located just north of the lower SCE powerline. Several older eucalyptus windrows are growing on the property along with a few scattered eucalyptus. Two early water reservoirs, the Old San Sevaine house and winery in various stages of deterioration are located on the site. In addition, a 1918 rock house exists and will be saved.

The Hunter's Ridge planning area is adjacent to a larger 14+ square mile area known as North Fontana. With the exception of two older subdivisions along Highland Avenue and scattered rural residential uses, the North Fontana area is largely undeveloped. The 1980 population of North Fontana was approximately 3,000 persons, representing about 8 percent of the 1980 City of Fontana population of 37,000.

The area is largely devoid of urban services and utility improvements. Cherry, Summit and Duncan Canyon Road are improved to only two paved travel lanes. There are no sewer lines, and only limited local water systems to serve the existing rural land uses. There are several large flood control improvements - notably the Hawker-Crawford Channel

which crosses the project on the southeast, and a levee of the San Sevaine Wash on the west boundary. All of these are under study for improvement currently. The lack of public facilities has been and remains a major impediment to suburban development throughout North Fontana. Infrastructure deficiencies were a major ingredient in the findings of blight justifying establishment of the North Fontana Redevelopment Project by the City in 1982.

The community of Fontana has developed in response to two major factors: the regional transportation systems represented by east-west freeway and rail routes, and the industrial development initiated by the construction of the Kaiser Steel Plant during World War II. Urban land uses provided housing and support needs for the working class homeowner. Much of the city is still undeveloped. The three basic land uses within the City are: residential, industrial, and undeveloped land.

Development within Fontana has largely focused along Sierra Avenue, with primarily commercial and residential uses oriented to the north-south Sierra corridor. A major new community, Southridge, is well under way south of I-10 and Walnut Village and the Village of Heritage are developing just to the southeast and south of Hunter's Ridge respectively.

Anticipating the changes accompanying the closing of the Kaiser Facility, the City undertook to reshape its economic future without that major influence. This Specific Plan is part of that strategy.

In recognition of these regional growth trends and existing potentials, the Southern California Association of Governments has adopted growth projections which identify the west San Bernardino Valley as the most rapidly growing area in metropolitan Southern California.

APPENDIX G ISSUES, CONSTRAINTS AND OPPORTUNITIES

This section documents the localized issues, constraints and opportunities which apply to the development site. Some are similar to City-wide issues; others are peculiar to this Specific Plan.

1. PROJECT RELATED ISSUES

Several key issues have been identified below as important considerations in the planning and design of the site. All of these issues have been evaluated by the consultant team.

- a. Flood Control - The Hawker Crawford Channel traverses the site on the east from north to south, and the San Sevaine Creek and its levee border the property to the west providing major drainages from the mountain. Future improvements are presently being evaluated in a regional study by Bill Mann and Associates.
- b. Utility Easements - Two major electrical transmission lines, operated by SCE and the Department of Water and Power traverse the site. Their relationship to development is addressed.
- c. Historic Sites - The ruins of the San Sevaine house and winery, and a house built in 1918 exist on the property today. A cultural and paleontological resource survey has been undertaken to evaluate these sites.
- d. Equestrian Trailhead - A regional equestrian/hiking trail is identified in the West Valley Foothills Community Plan on the western boundary of the project. In addition, an equestrian facility on the property to service this trail is addressed.
- e. The desire for Estate Lots - The location, size and number of large residential estate lots overlooking the City has been addressed.
- f. Market - Regional and local market trends have been evaluated to insure that the land use mix and market orientation of the plan is supportable.
- g. Seismic Faults - The Cucamonga fault zone passes through the upper portion of the property. The faults are primarily in the utility easements and residential uses are setback from this area.

- h. Traffic - The traffic impacts of the project on Cherry Avenue and the Devore (I-15) Freeway have been assessed and analyzed in the EIR.
- i. Infrastructure - The infrastructure needs of the project have been analyzed and are part of the Specific Plan. In addition, a Data Identification and Obligations Inventory identifies who is to do what, at what cost, when and to what standards.
- j. Community Identity - The development concept has been prepared to offer alternative choices in community identity and character.
- k. Land Uses - The type of land uses, their location, relationship and intensity are addressed in the land use concepts.

2. CITY-RELATED ISSUES

- a. The desire by the City to improve its image and the quality of development that is allowed.
- b. The need to provide for necessary on-site improvements, off-site improvements, interim improvements and participation in the funding of these improvements.
- c. The need to plan and provide for major sewer, drainage, water, and to assist in planning and financing school facilities which are essential for development of the area, given the current inadequacy of such facilities.
- d. The need to mitigate traffic noise impacts along the Devore Freeway and the planned major arterial highways.
- e. The need for strategies to reduce cumulative air quality impacts.
- f. The desire to capitalize on the site's excellent proximity to the mountains and views over the City.
- g. The need for a diversity of housing types.
- h. Recognition of regional, community and freeway-oriented commercial development potential.
- i. The need to provide for adequate public facilities and services, including means of financing.

- j. The desire to create a quality, unique community design with identifiable residential neighborhoods supported by parks, schools and trails.
- k. The need for an efficient, yet aesthetically attractive system of arterial highways and collector streets.
- l. The desire to create consistent and attractive streetscapes.
- m. The necessity to consider the City's fiscal condition and resultant variety of infrastructure financing mechanisms, including developer contributions, assessment districts, and possible Redevelopment Agency participation.

3. CONSTRAINTS

- a. Lack of sewer, water and flood control facilities at both local and regional scales;
- b. Current limitations on housing marketability for up-scale housing;
- c. Adverse air quality conditions;
- d. An incomplete arterial highway system;
- e. Uncertainty regarding timing and design of the Foothill Freeway implementation;
- f. Severe fiscal limitations on local government;
- g. Semi-arid climate;
- h. School overcrowding at all grade levels.
- i. Growing frustration over workable strategies to achieve desired development quality; and
- j. Difficulty in effectuating a financing strategy on a sufficient scale to capitalize needed infrastructure;

4. OPPORTUNITIES

- a. City desire for quality development;
- b. Potential for competitive housing prices;

- c. Adopted Foothill Freeway (route 30) as part of the State Master Plan of Freeways;
- d. Active planning under way by appropriate governmental agencies responsible for public facilities and services;
- e. City experience with and commitment to the Specific Plan tool;
- f. City interest in an aggressive scenic corridor program for at least the north Fontana area.

APPENDIX H

GENERAL PLAN CONSISTENCY

Government Code Section 65860 requires consistency of a zoning ordinance with a City's General Plan. Since this Specific Plan is partially regulatory in nature, it must therefore be consistent with the City of Fontana General Plan.

Moreover, the law clearly intends that the Specific Plan be used to carry out the General Plan. That does not preclude amending the General Plan in conjunction with consideration of a Specific Plan, but it does preclude enacting a Specific Plan contrary to the General Plan. In fact, this specific plan incorporates both a Specific Plan and a General Plan Amendment along with supporting environmental and fiscal documentation.

The General Plan goals and objectives are the basic foundation for determining consistency.

1. GENERAL PLAN GOALS AND OBJECTIVES

Since the General Plan applies to the entire City and its sphere of interest, some aspects of the plan are more relevant to a particular location than are others. Accordingly, those statements of General Plan Guidance which are considered most applicable are summarized herein as the policy context for this plan.

One major policy directive is that the City of Fontana will allow major urban development to occur in areas general planned S-RES only after a specific plan has been adopted for the area. The Specific Plan shall be designed and developed to implement the goals, objectives, policies and programs in the adopted General Plan.

The following General Plan goals and objectives, clustered under major headings useful in structuring the Specific Plan, are those which have had the greatest influence on the design of the Hunters Ridge Specific Plan.

2. COMMUNITY DESIGN GOALS

It is a goal of the General and Specific Plans to create a sense of place through the design of the community. Community identity and efficiency should be achieved.

a. Community Identity Objectives:

- 1) Promote nucleated commercial centers at appropriate circulation intersections;
- 2) Focus future commercial uses on marketing and locational standards;
- 3) Control strip commercial development;
- 4) Reinforce neighborhoods and urban units;
- 5) Improve recreational and aesthetic qualities;
- 6) Allow alternative forms of density compensation, where appropriate;
- 7) Provide for commercial needs within the anticipated residential areas in northern Fontana;
- 8) Provide recreational, cultural and social opportunities to meet the needs of the planned community; and
- 9) Use open spaces to create a visually pleasing environment, as well as to distinguish City and neighborhood boundaries.

b. Community Efficiency Objectives:

- 1) Provide commercial facilities to meet the retail and service needs of the planned community and, where feasible, with convenient access by bicycle and by foot, as well as by automobile;
- 2) Organize educational, cultural and recreational activities in close proximity to one another and conveniently accessible to their potential users;
- 3) Coordinate residential development to encourage an integrated residential area with maximum flexibility and access to the regional circulation network;
- 4) Integrate various housing types in close proximity to commercial areas;
- 5) Locate schools and parks together whenever possible.

c. Community Enhancement Objectives:

- 1) Preserve windrows and other existing trees;
- 2) Replace trees which need to be removed for urban development;
- 3) Connect parks to linear open space corridors;
- 4) Use open space, landscaping and urban form to strengthen identity and image.

3. TRANSPORTATION GOAL

It is a goal of the General and Specific Plans to promote an efficient transportation system which is environmentally acceptable.

a. Efficiency Objectives:

- 1) Facilitate the movement of traffic in an east/west direction;
- 2) Promote greater efficiency in transportation through logical placement of land uses and intensities;
- 3) Locate basic public facilities and services in such a relationship to their user groups so as to minimize the need for supplemental transportation systems;
- 4) Promote land use patterns that encourage non-motorized modes of transportation;
- 5) Organize land uses to promote maximum opportunities for transit usage;
- 6) Connect schools, parks and commercial areas by trails when possible;
- 7) Provide adequate right-of-way and improvements for bike lanes when called for in future street dedications;
- 8) Provide pedestrian facilities that are direct and convenient, with safe and direct pedestrian accessibility between residential areas, schools, parks and shopping areas; and
- 9) Integrate the development of bicycle routes and pedestrian pathways in areas in new development. Encourage the utilization of such routes for commuting as well as recreation purposes.

b. Environmental Objectives:

- 1) Design streets and trail systems to reduce length of trips;
- 2) Establish specific programs designed to improve targeted major arterial function and appearance;
- 3) Establish special treatments for corridors; and
- 4) Create a program establishing a theme and quality controls for major boulevards.

4. HOUSING GOAL

It is a goal of the General and Specific Plans to promote development approaches and techniques which provide a broad range of housing types and opportunities, architectural variation and a pleasant living environment.

a. Housing Opportunity Objectives:

- 1) Provide for the housing needs of the retired population within Fontana;
- 2) Develop more residential opportunities appealing to the upper spectrum of the homebuyers market;
- 3) Create land use opportunities that provide the maximum amount of flexibility at implementation levels and encourage the free market system to provide a maximum variety of housing types;
- 4) Provide major incentives for a variety of housing opportunities through a complete housing mix; and
- 5) Provide a range of housing choices throughout the planning area that will meet the needs of all age groups, household types and income groups.

b. Architectural Objectives:

- 1) Encourage opportunities to mix different, but compatible, residential densities and architectural styles; and
- 2) Use innovative building techniques to increase the range of housing opportunities.

c. Environmental Objectives:

- 1) Provide buffers between incompatible land uses;

- 2) Develop specific performance standards between residential and commercial land uses;
- 3) Site uses to reduce potential noise impacts; and
- 4) Use open spaces to create a visually pleasing environment as well as to distinguish neighborhood boundaries.

5. PUBLIC FACILITIES GOAL

It is a goal of the General and Specific Plans to locate basic public facilities in such a way as to make them convenient to the community, efficient and inexpensive and to promote the health, safety and welfare of the residents of the City.

a. Convenience Objectives:

- 1) Provide for multiple uses of flood water drainage and retention areas; and
- 2) Connect schools, parks and local commercial areas to residential areas by a system of pathways and trails which utilize easements, excess rights-of-way, etc.

b. Efficiency Objectives:

- 1) Plan for the timely, coordinated construction of utilities;
- 2) Develop innovative solutions to current development dilemmas such as storm drainage systems; and
- 3) Locate schools, parks and other public facilities together whenever possible.

6. CONSISTENCY DOCUMENTATION

The following subsections describe how the Hunters Ridge Specific Plan is consistent with each of the mandated General Plan elements.

a. Land Use

The land use element of the General Plan requires a specific plan for this area. Adoption of this specific plan will satisfy that requirement.

The land use designation requested is S-RES 4.0, specific planned residential use at an overall density of 4.0 dwelling units per gross acre. This density reflects the provision of the settlement agreement of 4.0 units per gross acre. The dwelling unit count in Hunter's Ridge is 2,121 or 3.74 units per gross acre.

The provision of public facilities and service to support designated land uses is given extensive attention in this Specific Plan.

b. Circulation

Cherry Avenue is proposed as a modified major divided highway of 110' ROW. Its standards are consistent with other specific plans and standards.

All secondary arterial highways in the Specific Plan are consistent with the City's adopted circulation element as to location and classification.

Collector systems are proposed according to standards consistent with other specific plans and City standards.

A local road standard (56' to 42' ROW) is proposed for consideration to minimize hillside impacts while providing access for residents and emergency vehicles. NOTE: All local roads provide 36' pavement curb-to-curb.

Anticipated traffic can be handled within proposed rights-of-way and road sections.

A system of bikeways and pedestrianways link various parts of the community to each other and to regional trail segments, thus augmenting the City's transportation system.

c. Housing

A diversity of housing types, densities and probable cost ranges is provided for in the plan. The range of housing opportunities envisioned in Hunter's Ridge is unusually broad, anticipating responsiveness to all expected income ranges in the City in accordance with the State law and the City General Plan.

d. Conservation

The most notable resource on the property is the natural canyon and San Sevaine/Bullock Creek. These areas will be protected and development will be set-back to safeguard these resources.

e. Open Space

Scenic open space (80 acres) is provided in the canyon area and will not be developed. In addition, 21.6 acres of SCE easement will be improved for recreational uses. An equestrian trailhead/interpretive park will also be provided for regional recreation use.

f. Seismic Safety

Seismic hazard is uniquely applicable to this property. The general rules regarding seismic considerations in building design and construction will, of course, be observed in accordance with City ordinances.

g. Noise

The most troublesome noise source is potential traffic on arterial highways and the Devore Freeway. the primary way of insulating noise sensitive uses (residential) is to place the high density on the Devore Highways, buffered by unusually large setbacks 30' and a landscaped screen. In addition, a 20' setback will be provided along Summit Avenue for noise and visual screening.

h. Scenic Highways

Extensive attention is devoted to landscape/street-scape treatment along arterial highways and collector streets. The basic collector system is curvilinear in form to contrast with the prevailing arterial grid system.

i. Safety

No significant safety issues apply to Hunter's Ridge Fontana that do not generally apply within the surrounding area. Fire, police and flooding protection are provided for in the community facilities concept plan.

A special safety aspect of the plan is its extensive separation of vehicular and nonmotorized transportation modes, thus minimizing traffic conflicts and attendance accident rates.

j. Sewer

Amend Master Plan.

k. Drainage

Amend Master Plan.

APPENDIX I

CALIFORNIA ENVIRONMENTAL QUALITY ACT COMPLIANCE

This Specific Plan is accompanied by a complete Environmental Impact Report. It has been prepared in accordance with the most recently adopted guidelines of the State of California and City of Fontana. The EIR contains an introduction, description of existing conditions, assessment of environmental impacts, identification of mitigation measures, and evaluation of project alternatives, as well as supporting technical documentation.

The EIR covers all elements of the Hunter's Ridge Specific Plan, as well as its Design Guidelines and implementation mechanisms. The EIR is also applicable to future development projects (development plans, tentative tract maps, conditional use permits, etc.) which are processed on conformance with this Specific Plan.

Finally, though not required by the California Environmental Quality Act, there is also integrated into the Hunter's Ridge Specific Plan a financing plan.

APPENDIX K
PROJECT TEAM

City Contact Persons

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Reed Flory

City Specific Plan Consultant

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ENDO ENGINEERING
Vicki Endo

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Traffic

KUNZMAN ASSOCIATES
John Kain
Lee Royalty

Fire Engineering Consultant

HUNT RESEARCH CORPORATION
Jim Hunt

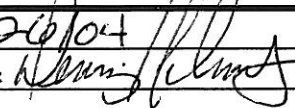
Geotechnical Consultant

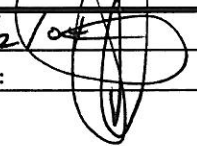
GEOLABS - WESTLAKE VILLAGE
Jeffrey O'Brecht

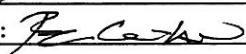
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\$20 EACH


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		FONTANA		
	PHONE:	909 - 350-1815	AMOUNT PAID:	\$ 20.00
	REMARKS:			

NO: 2.	COMPANY:	HOLLAND PARTNER	DATE:	3/2/04
	ADDRESS:	63 1225 DEXTER AVE N.	SIGNATURE:	
		SEATTLE, WA 98115		
	PHONE:	(206) 528-1001	AMOUNT PAID:	\$ 20.00
	REMARKS:			

NO: 3.	COMPANY:	SOMMERVILLE-CONZELMAN	DATE:	3/2/04
	ADDRESS:	14841 Yorba St Ste 205	SIGNATURE:	
		Tustin, CA 92780		
	PHONE:	714 505 7090 x227	AMOUNT PAID:	\$ 20.00
	REMARKS:			

NO: 4.	COMPANY:	CHARLES JOSEPH ASSOCIATES	DATE:	3/4/04
	ADDRESS:	10681 Foothill Blvd #395	SIGNATURE:	
		Rancho Cucamonga, Ca		
	PHONE:	909-461-1822	AMOUNT PAID:	\$ 40.00
	REMARKS:	Will you guys do a CD to save paper?		

NO: 5.	COMPANY:	FORECAST HOMES	DATE:	3/9/04
	ADDRESS:	4240 E. JURUPA ST. STE 402	SIGNATURE:	
		ONTARIO, CA. 91714		
	PHONE:	909. 937. 3270	AMOUNT PAID:	\$ 20.00
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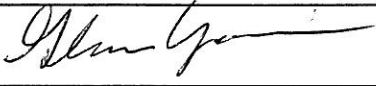
NO: 6.	COMPANY: FDS Research	DATE: 3/16/04
	ADDRESS: P.O. Box 25678	SIGNATURE: Jim Corle
	Santa Ana	
	PHONE: 949-548-7076	AMOUNT PAID: \$20
	REMARKS:	

NO: 7.	COMPANY: Apartments O.C.	DATE: 3/16/04
	ADDRESS: 517 S. Broadway	SIGNATURE: Barbara B de Souza
	Santa Ana, CA 92701	
	PHONE: 714-836-1700	AMOUNT PAID: N/A
	REMARKS:	

NO: 8.	COMPANY: THE WANG GROUP.	DATE: 3/16/04
	ADDRESS: 338 CALLE BECERRA	SIGNATURE: Reto Wang
	WALNUT, CA. 91789	
	PHONE: 909-282-8490	AMOUNT PAID: \$
	REMARKS:	

NO: 9.	COMPANY: Reworld Real Estate	DATE: 3/17/04
	ADDRESS: 202 Fashion Ln #223	SIGNATURE: Bruce Wang
	Tustin, Ca 92780	
	PHONE: 714-544-9638	AMOUNT PAID: \$
	REMARKS:	

NO: 10.	COMPANY: Faith Face Inc. - Ming Ming Chao Lee	DATE: 3-25-04
	ADDRESS: 20523 Corona Hills Rd.	SIGNATURE: Bing Chao
	Corona, CA 91724	
	PHONE: 626-331-7865	AMOUNT PAID: \$ 20.00
	REMARKS:	

NO: 11.	COMPANY:	Star Bridge Corp.	DATE:	3/27/04
	ADDRESS:		SIGNATURE:	
	PHONE:	909 818 5914 Cell	AMOUNT PAID:	\$
	REMARKS:			

NO: 12.	COMPANY:	ARENITEX SUNS	DATE:	4/1/04
	ADDRESS:	2121 W. MISSION RD #303 ALHAMBRA CA 91803	SIGNATURE:	
	PHONE:	626-284-4009	AMOUNT PAID:	\$ 25
	REMARKS:			

NO: 13.	COMPANY:	MCA	DATE:	4-5-04
	ADDRESS:	C mail - mchhend@yahoo.com FAX 626-288-3470	SIGNATURE:	
	PHONE:	642 E. Dewey Ave	AMOUNT PAID:	\$ 20.00
	REMARKS:	Suit B San Gabriel 91776		

NO: 14. Dev. Code	COMPANY:	Hillview Dev., LLC	DATE:	4-5-04
	ADDRESS:	910 N. Amelia Ave San Dimas 91773	SIGNATURE:	
	PHONE:	909-592-4014	AMOUNT PAID:	\$ 20.00
	REMARKS:	FAX 494-4158 Receipt # 080390		

NO: 15.	COMPANY:	MASON + MASON	DATE:	4/20/04
	ADDRESS:	2609 HONOLULU AVE #100 MONTROSE CA 91020	SIGNATURE:	
	PHONE:	918 457 1881	AMOUNT PAID:	\$ 20
	REMARKS:			

		DATE: 4/26/04
NO: 16	COMPANY: Z. SUN & Assoc. INC	SIGNATURE:
	ADDRESS: 9698 Telstar Ave. #304	
	EL MONTE, CA 91731	
	PHONE: 626-4010528	AMOUNT PAID: \$ 70
	REMARKS:	

		DATE: 5/4/04
NO: 17	COMPANY: LILBURN CORPORATION	SIGNATURE: [Signature]
	ADDRESS: 1905 BUSINESS CENTER DR.	
	PHONE: (909) 890-1818	AMOUNT PAID: \$
	REMARKS:	

		DATE: 5-11-2004
NO: 18	COMPANY: Integra Real Estate	SIGNATURE: [Signature]
	ADDRESS: 2439 Olympic View Drive	
	Chino Hills, CA 91709	
	PHONE: 909-517-3837	AMOUNT PAID: \$ 20
	REMARKS:	

		DATE:
NO: 19	COMPANY: Roberts Realty Advisors	SIGNATURE:
	ADDRESS: 5 W. Yale Loop	
	Irvine CA 92604	
	PHONE: 714 403-7182	AMOUNT PAID: \$
	REMARKS:	

		DATE: 5-24-04
NO: 20	COMPANY: TKIM ASSO.	SIGNATURE: [Signature]
	ADDRESS: 2500 Wilshire Blvd #810	
	L.A. CA 90057	
	PHONE: (213) 487-3636	AMOUNT PAID: \$ 20.00
	REMARKS:	

		DATE:
NO: 21	COMPANY:	D & G Investment Inc.
	ADDRESS:	1915 E. Acacia St.
		Ontario, CA 91761
	PHONE:	909-673-0087
	REMARKS:	
		SIGNATURE:
		AMOUNT PAID: \$

		DATE:
NO: 22	COMPANY:	BALDWIN REALTY CO
	ADDRESS:	900 S. GINSEY AVE
		AVCLADIA CA 91006 ATT Mike HUMAS
	PHONE:	626 421 5244
	REMARKS:	
		SIGNATURE:
		AMOUNT PAID: \$

		DATE: 6/22/04
NO: 23	COMPANY:	TIDWELL APPRAISAL CO
	ADDRESS:	4125 S. Figueroa St #104
		LA, CA 90037
	PHONE:	323) 235 5274
	REMARKS:	
		SIGNATURE: Beverly Tidwell
		AMOUNT PAID: \$

		DATE:
NO: 24	COMPANY:	AV Design & Construction
	ADDRESS:	9251 Gentry Ave #2
		S. EL Monte CA 91733
	PHONE:	(626) 433-4888
	REMARKS:	
		SIGNATURE:
		AMOUNT PAID: \$

		DATE:
NO: 25	COMPANY:	CSG TRADEMARK, LLC
	ADDRESS:	1028 N. LAKE AVE. SUITE 207
		PASADENA, CA. 91104
	PHONE:	(626) 797-3803
	REMARKS:	
		SIGNATURE:
		AMOUNT PAID: \$

		DATE: 8-4-04
NO: 26	COMPANY: The William Warren Group	SIGNATURE:
	ADDRESS: 301 Shipyard Way	
	Stc A, Newport, Beach 92663	
	PHONE: 949-675-5291	AMOUNT PAID: \$20.00
	REMARKS:	

		DATE:
NO: 27	COMPANY: Police Dept	SIGNATURE:
	ADDRESS:	
	PHONE:	AMOUNT PAID: \$
	REMARKS:	

		DATE:
NO: 28	COMPANY:	SIGNATURE:
	ADDRESS:	
	PHONE:	AMOUNT PAID: \$
	REMARKS:	

		DATE:
NO: 29	COMPANY:	SIGNATURE:
	ADDRESS:	
	PHONE:	AMOUNT PAID: \$
	REMARKS:	

		DATE:
NO: 30	COMPANY:	SIGNATURE:
	ADDRESS:	
	PHONE:	AMOUNT PAID: \$
	REMARKS:	

NO: 31		DATE:
	COMPANY:	SIGNATURE:
	ADDRESS:	
	PHONE:	AMOUNT PAID: \$
	REMARKS:	

NO: 32		DATE:
	COMPANY:	SIGNATURE:
	ADDRESS:	
	PHONE:	AMOUNT PAID: \$
	REMARKS:	

NO: 33		DATE:
	COMPANY:	SIGNATURE:
	ADDRESS:	
	PHONE:	AMOUNT PAID: \$
	REMARKS:	

NO. 34		DATE:
	COMPANY:	SIGNATURE:
	ADDRESS:	
	PHONE:	AMOUNT PAID: \$
	REMARKS:	

NO: 35		DATE:
	COMPANY:	SIGNATURE:
	ADDRESS:	
	PHONE:	AMOUNT PAID: \$
	REMARKS:	

NO: 36	COMPANY:	DATE:
	ADDRESS:	SIGNATURE:
	PHONE:	AMOUNT PAID: \$
	REMARKS:	

NO: 37	COMPANY:	DATE:
	ADDRESS:	SIGNATURE:
	PHONE:	AMOUNT PAID: \$
	REMARKS:	

NO: 38	COMPANY:	DATE:
	ADDRESS:	SIGNATURE:
	PHONE:	AMOUNT PAID: \$
	REMARKS:	


NO: 39	COMPANY:	DATE:
	ADDRESS:	SIGNATURE:
	PHONE:	AMOUNT PAID: \$
	REMARKS:	

NO: 40	COMPANY:	DATE:
	ADDRESS:	SIGNATURE:
	PHONE:	AMOUNT PAID: \$
	REMARKS:	

CITY OF FONTANA
Community Development Department
Planning Division

MEMORANDUM

TO: PLANNING STAFF

FROM: DEBBIE BRAZILL, PLANNING MANAGER 

DATE: APRIL 1, 1998

SUBJECT: PATIO COVERS/ENCLOSURES/ADDITIONS IN HUNTER'S RIDGE

Amendment #5 to the Hunter's Ridge Specific Plan adopted by the City Council on May 6, 1997 (Ordinance No. 1218) states the following (also see attached):

"All open patio covers shall be architecturally compatible with residential units and shall be constructed of wood or other similar materials (i.e., open lattice). No plastic patio covers shall be permitted. Only metal patio covers with a clear and distinct wood appearance (this includes wood grain and a thickness to the metal to simulate a standard wooden lattice patio) shall be permitted; all other types of metal patio covers are not permitted.

The standards herein for open patio covers are not applicable to enclosed patio covers or additions (refer to City's Development Code)."

As of the date of this memo, the following shall be the interpretation/policy regarding this matter:

I. "OPEN" PATIO COVERS may be permitted as follows:

1. Wood lattice with a flat surface.
2. Lattice with a flat surface that looks like wood but is actually made of some other material (metal, vinyl-covered wood, etc.).
3. Must meet required setbacks as noted in the Hunter's Ridge Specific Plan.

II. "SOLID" PATIO COVERS may be permitted as follows:

1. Lattice with a flat surface that looks like wood but is actually made of metal and has clear or frosted skylights.
2. Solid wood patio cover with roofing materials and slope to match the existing structure.
3. Must meet required setbacks as noted in the Hunter's Ridge Specific Plan.

III. "ENCLOSURE" OF AN "EXISTING" PATIO COVER may be permitted as follows:

1. It shall be a room intended for recreational or outdoor living purposes only and not used as a habitable room, and is in compliance with the latest adopted Building Code.
2. Must meet required setbacks (like a room addition) as noted in the Development Code.


IV. "NEW" ROOM ADDITIONS may be permitted as follows:

1. The architecture of the proposed addition shall be compatible in design with the main structure. The roof shall be of the same style and materials as the main structure, i.e. gabled tile roof, etc. No flat, lean-to or shed-type roofs.
2. Must meet required setbacks as noted in the Development Code.

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2. Must meet required setbacks as noted in the Development Code.

Provision

Applicable To

R C P O

X X X

19. Outside Use Areas

Outside use or display in conjunction with a permitted use is allowed under a conditional permit. Such areas are included in coverage and floor area limitations. Such areas shall be designed and maintained to blend with the overall development and, where necessary, be screened from adjacent residential uses and roadways. Outside use areas shall not be overflow storage facilities. Outside display shall be allowed only during business hours. Limited time "Parking Lot" sales may be permitted by special provision in the conditional permit setting forth frequency; duration; extent; means of accommodating vehicular and pedestrian traffic; and security provisions.

20. Patios

X

Open patio covers shall be permitted within the rear yard setback area for all single-family detached residential units. Open patio covers may encroach into the required rear yards to a depth from the rear property line as follows:

- 4,500 sq. ft. lots: Five (5) feet*
- 5,000 sq. ft. lots: Five (5) feet*
- 7,200 sq. ft. lots: Refer to City's Development Code
- 10,000 sq. ft. lots: Refer to City's Development Code

* Note: Patio covers can not exceed more than 50% of lot width. Patio covers shall be constructed with support posts only and shall not have any walls (solid, transparent, translucent, lattice or otherwise).

All open patio covers shall be architecturally compatible with residential units and shall be constructed of wood or other similar materials (i.e., open lattice). No plastic patio covers shall be permitted. Only metal patio covers with a clear and distinct wood appearance (this includes wood grain and a thickness to the metal to simulate a standard wooden lattice patio) shall be permitted; all other types of metal patio covers are not permitted.

The standards herein for open patio covers are not applicable to enclosed patio covers or additions (refer to City's Development Code).

R C P O

Amended:

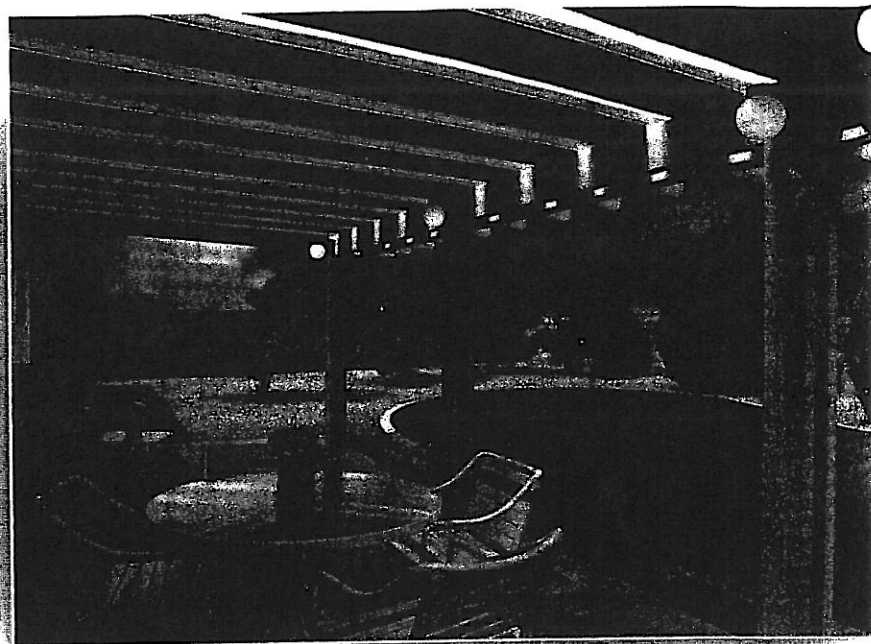
City Council Ord. Nos. 1170 (12/19/95)
1158 (06/20/95)
1218 (5/6/97)

Ultra-Lattice.

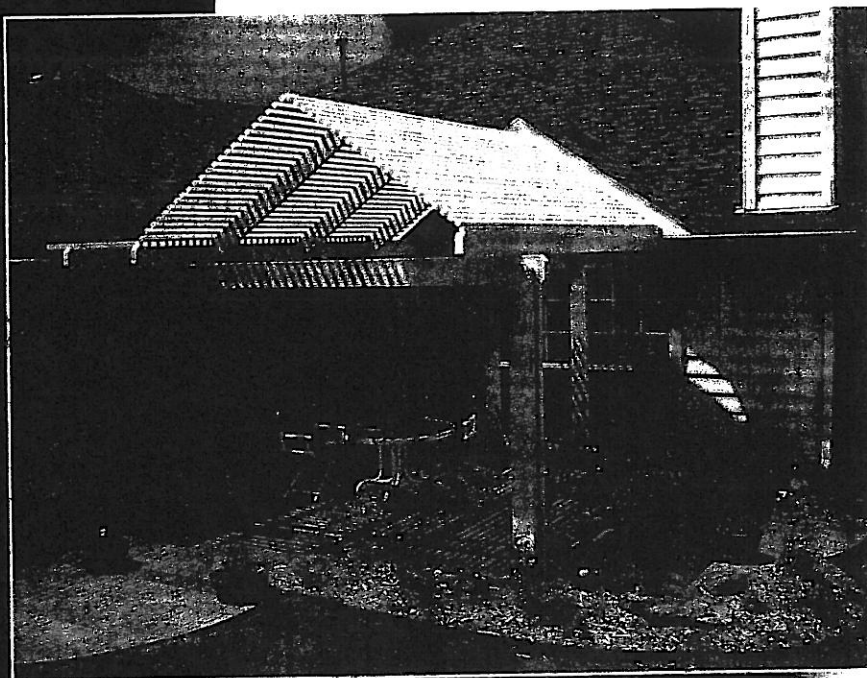
The first and only shade structure with a Lifetime Limited Warranty.

Imagine a shade structure that looks like perfectly cut, premium-grade wood—yet never needs paint or stain. Never warps, splits, or cracks. Won't burn or become infested with insects.

That's the enduring beauty and advantage of an Ultra Lattice shade structure. Crafted from heavy gauge virgin aluminum, Ultra Lattice has a very realistic, deep wood grain look, coated with an ultra-tough, sun-and-time-tested Kynar 500®-based finish.



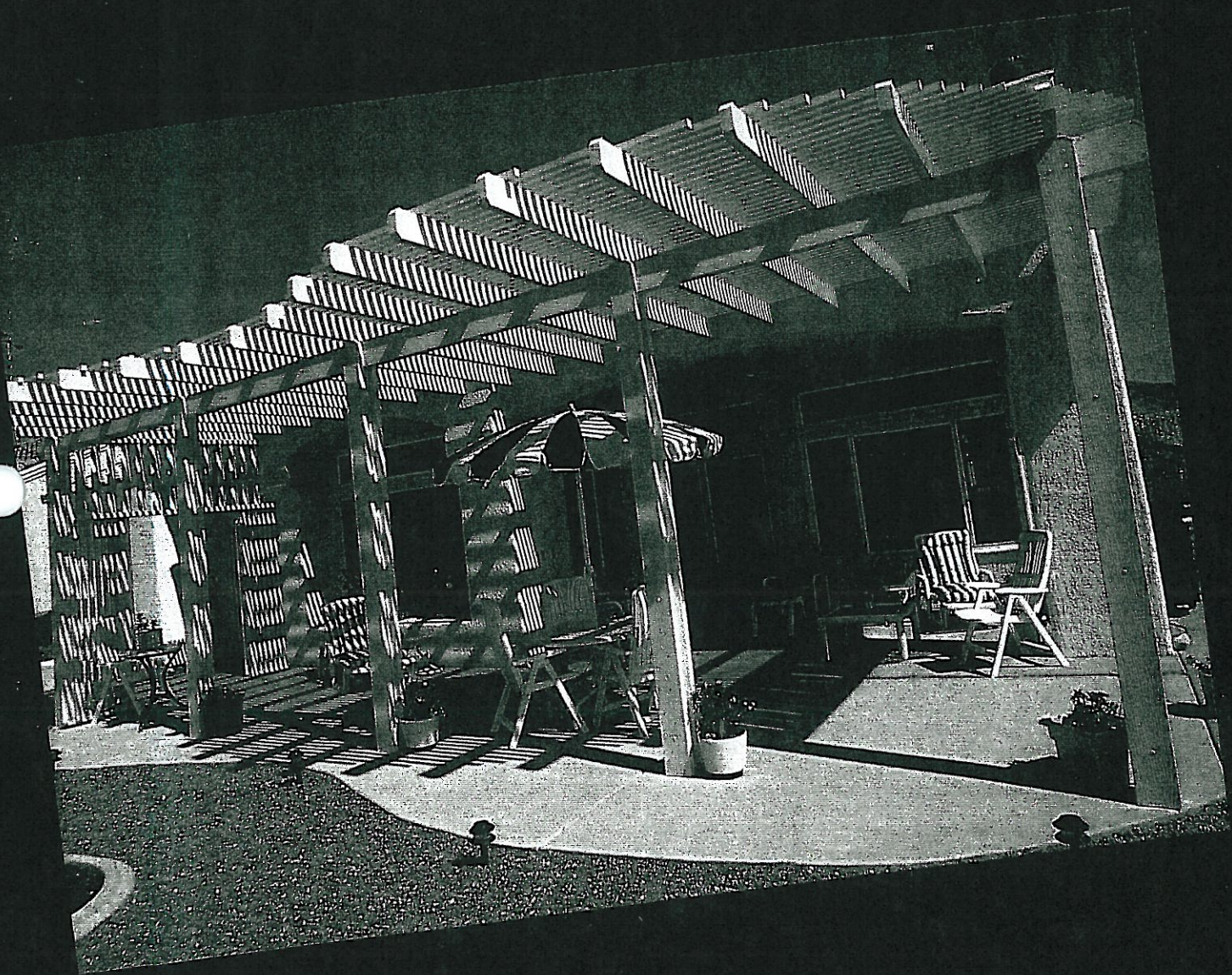
*An Ultra Flat Pan solid roof - with the same deep wood grain look
- provides complete protection from sun, snow, or rain.*



If you can imagine it in wood, we can construct it with Ultra Lattice. For instance, this distinctive-looking design blends beautifully with the existing gable rooflines of the home.



Shade Never Looked So Attractive

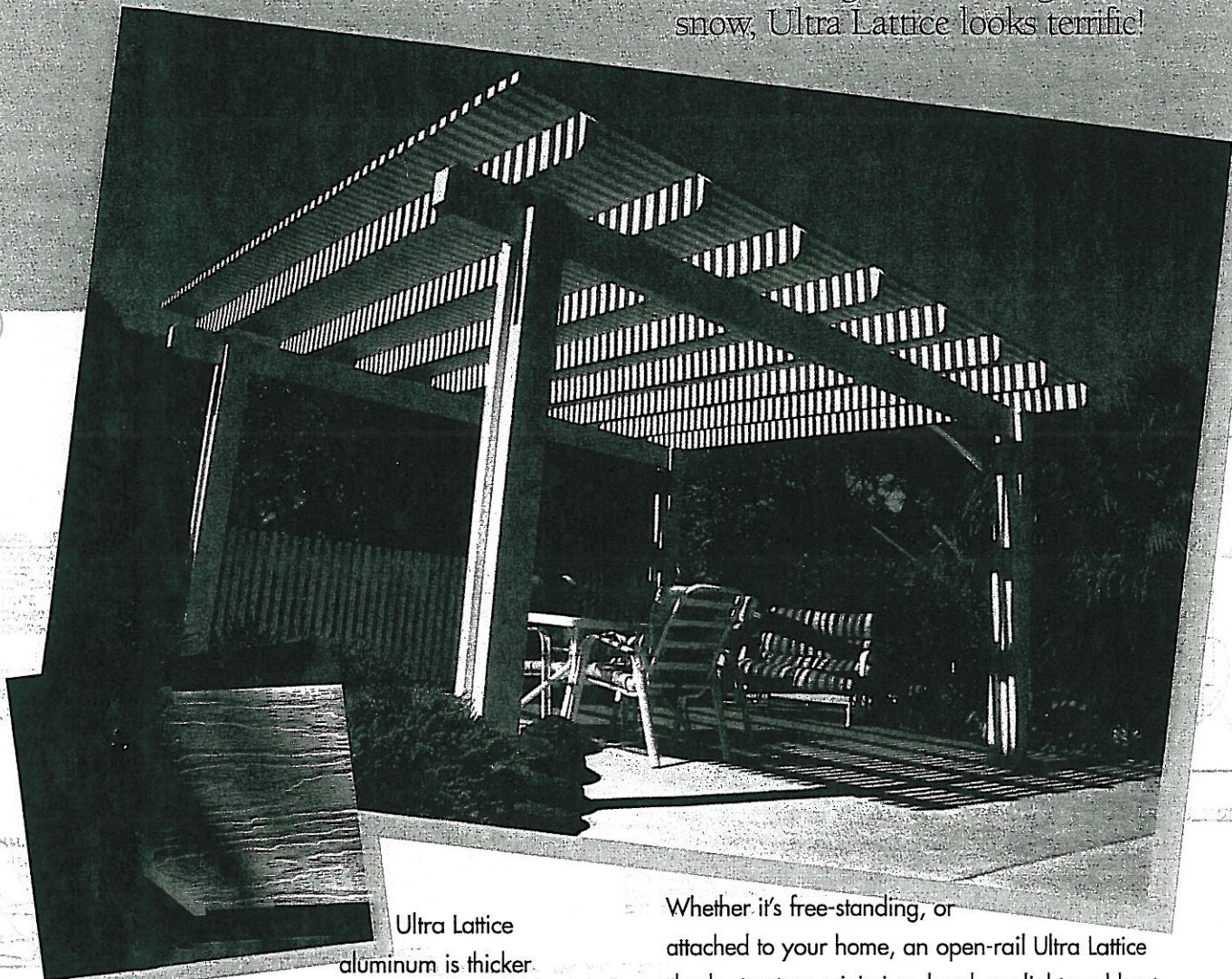


or lasted so long,

Ultra-Lattice.™ The first and only shade structure with a 20-year warranty.

Imagine a shade structure that looks like perfectly cut, premium-grade wood - yet never needs paint or stain. Never warps, splits, or cracks. Won't burn or become infested with insects.

That's the enduring beauty and advantage of an Ultra Lattice shade structure. Crafted from heavy gauge virgin aluminum, Ultra Lattice has a very realistic, deep wood grain look, coated with an ultra-tough, sun-and-time-tested Kynar 500®-based finish. So even after years of brutal heat and sun, soaking rain, freezing cold and snow, Ultra Lattice looks terrific!



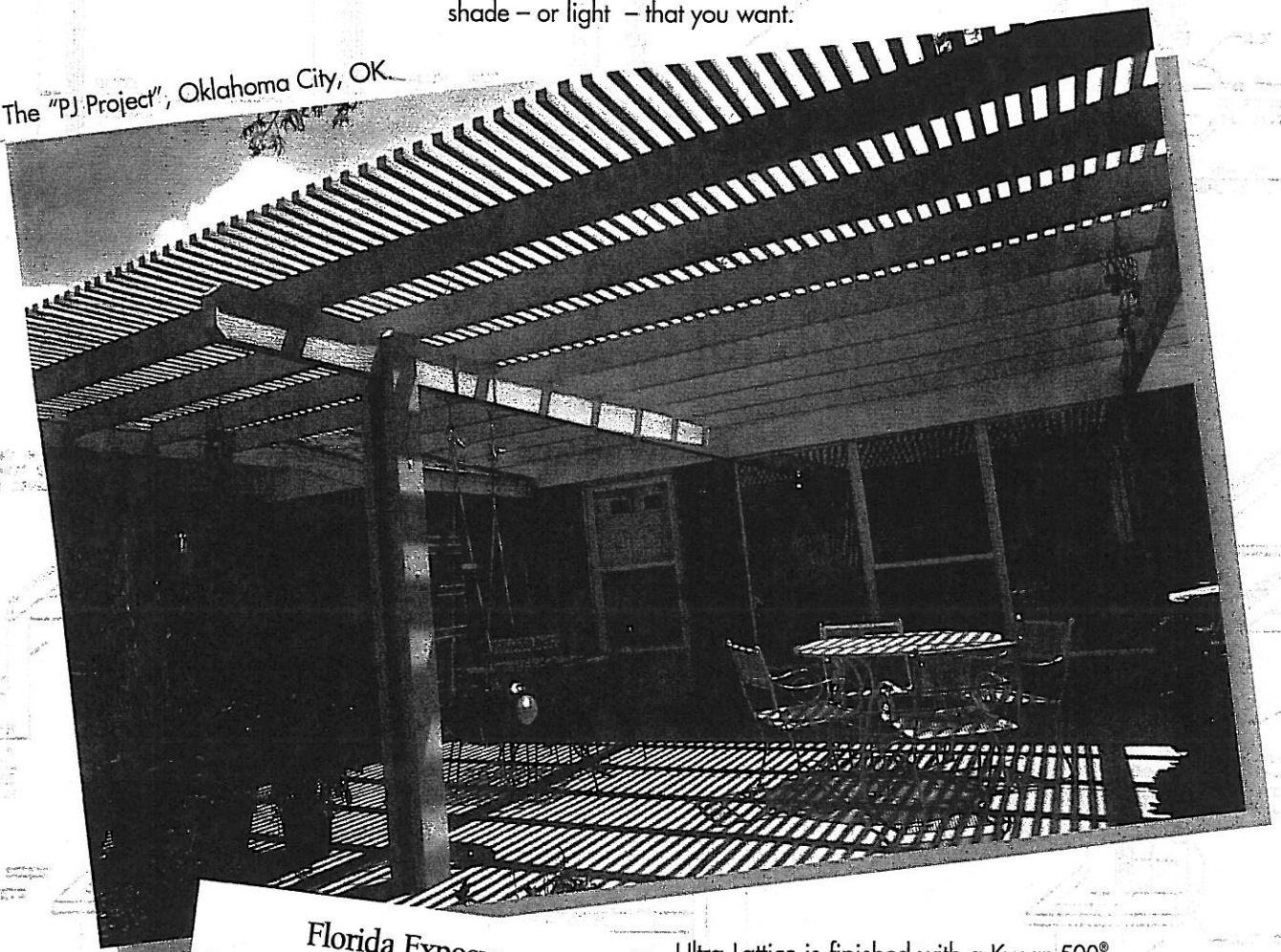
Ultra Lattice aluminum is thicker than the competition. In fact, Ultra Lattice 1 1/2" rails are up to 30% thicker. That not only provides superior strength and rigidity, it's also necessary to produce the realistic and eye-pleasing deep wood-grain look.

Whether it's free-standing, or attached to your home, an open-rail Ultra Lattice shade structure minimizes harsh sunlight and heat, yet admits plenty of light and allows the free-flow of cool circulating breezes. Just as important, it can increase the re-sale value of your home.

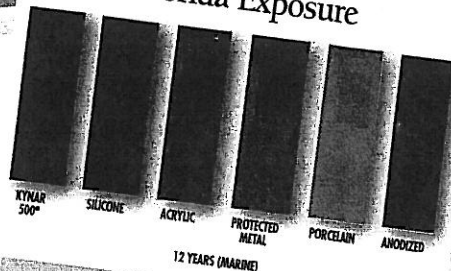
with virtually no maintenance

The fully engineered Ultra Lattice System is designed to work in any climate. For instance, rails can be spaced closer or farther apart, depending on the amount of shade – or light – that you want.

The "PJ Project", Oklahoma City, OK



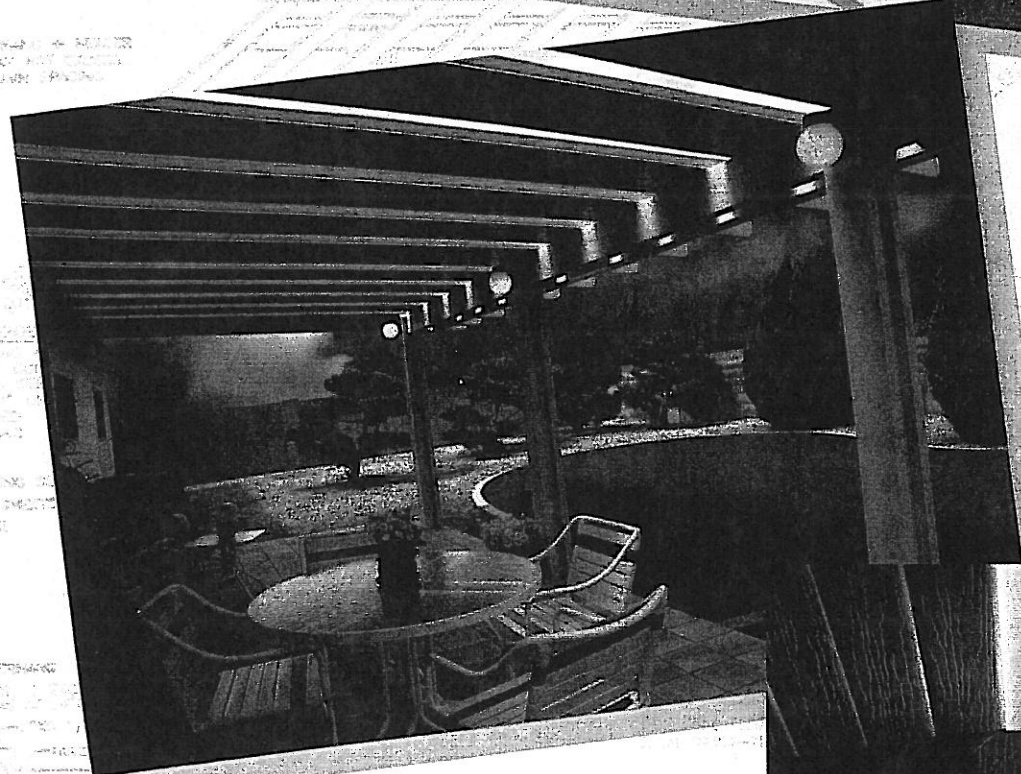
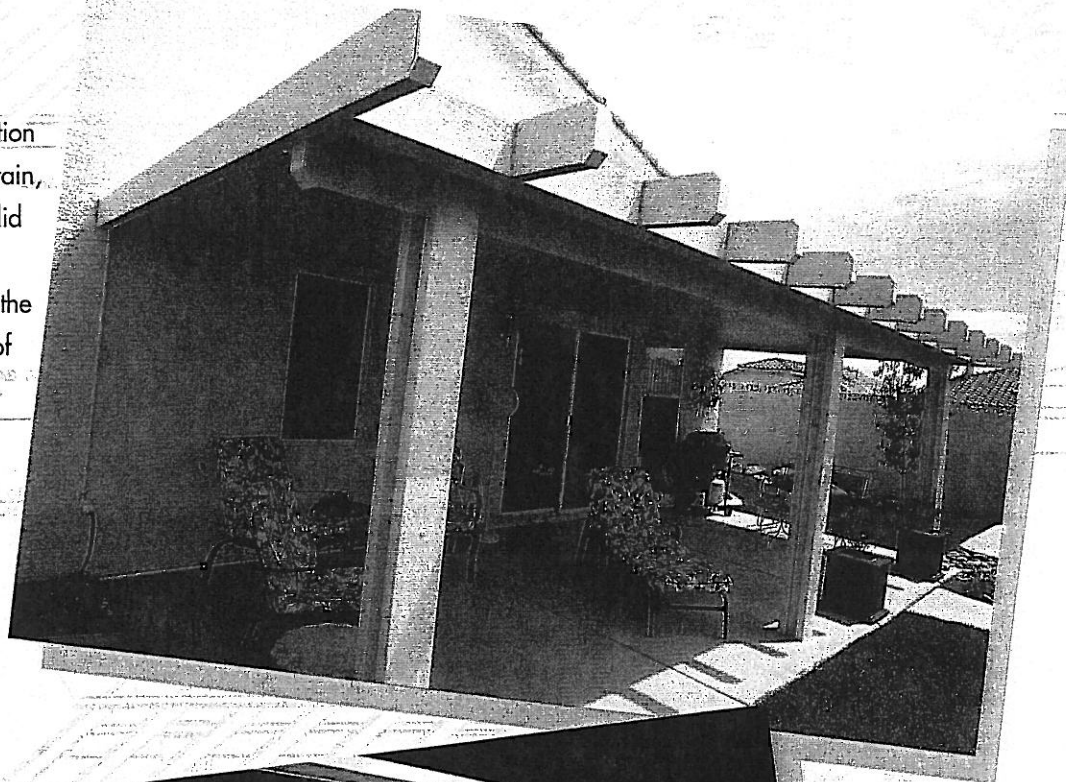
Florida Exposure



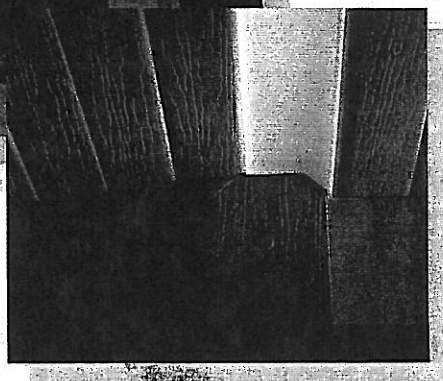
Ultra Lattice is finished with a Kynar 500® resin-based coating system, the toughest, most weather-resistant coating available - and the only one warranted for a full 20 years!

or with so many options.

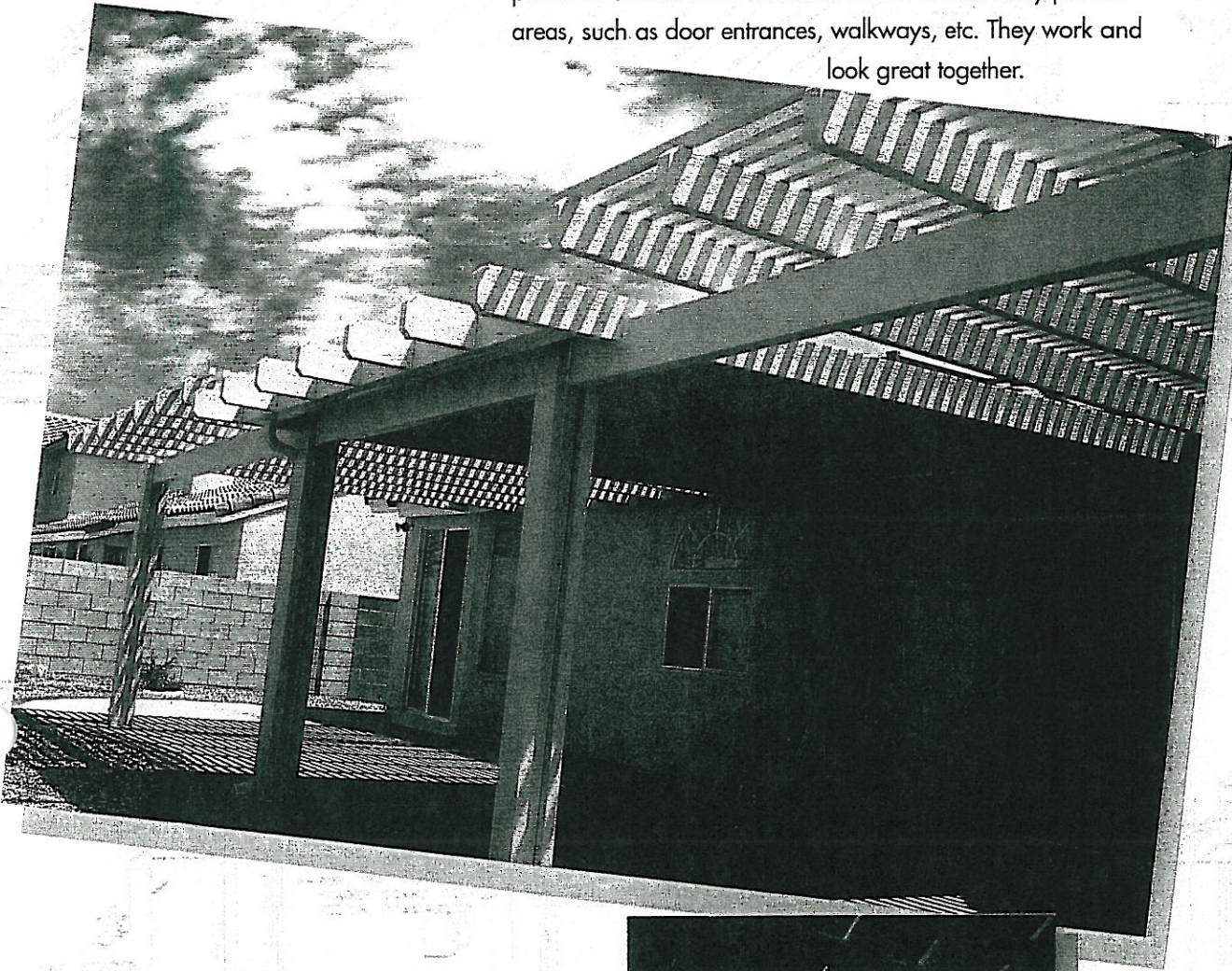
For complete protection from sun, snow, or rain, an Ultra Flat Pan solid roof is an attractive alternative. Just like the open rails, these roof panels feature the same deep, wood grain look.



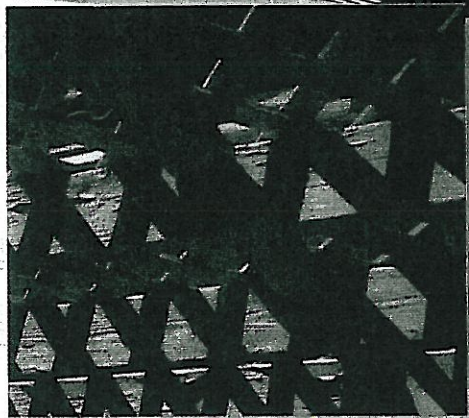
Optional skylights not only increase available light underneath your Ultra Flat Pan solid roof, they also create a distinctively different look.

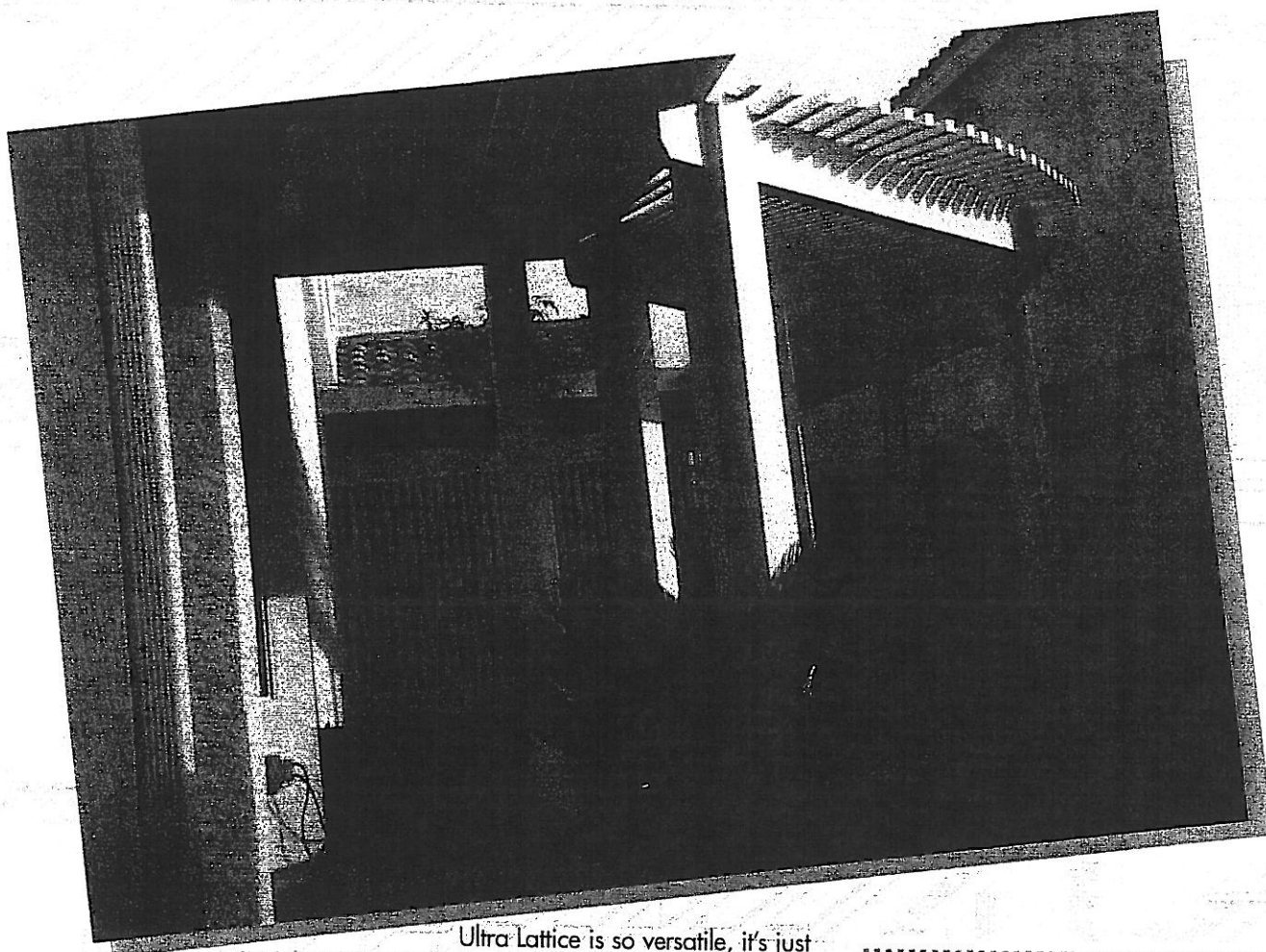


Want the best of both worlds? Use Ultra Flat Pan solid roof panels in combination with Ultra Lattice to selectively protect areas, such as door entrances, walkways, etc. They work and look great together.



Wooden lattice and shade structures look great - for about a year. But what about all the painting to begin with, and even more work and expense to prep and re-paint - or replace it - every few years?





Ultra Lattice is so versatile, it's just like working with wood, only better, because Ultra Lattice is perfectly formed and requires virtually no maintenance. That makes it ideal for any number of uses, including handsome, long-lasting privacy screens.

20-Year Limited Warranty

Alumet Building Products warrants Ultra Lattice against manufacturing defects causing peeling, blistering, flaking, splitting, rusting, chipping, or cracking for a period of twenty (20) years from the date of installation.

